

26 February 2025

Charters Towers Regional Council
PO BOX189
CHARTERS TOWERS QLD 4820

Dear Council,

**3 VULTURE STREET, CHARTERS TOWERS CITY QLD 4820
LOT 2 AND LOT 3 ON SP260871
COUNCIL MCU2024/0003
CIVIL DESIGN CERTIFICATION AND CONSTRUCTION COST SUMMARY**

Council

Apropos the above development, SMCE has prepared engineering drawings to support an Operational Works application sought over the subject site. In particular, the prepared civil design addresses Section 8.3.1- Development Code and Planning Scheme Policy 4.2 of the development Works Town Plan Policy.

The civil works cost component for addressing the conditions of development is costed at less than **\$137,500** including GST, outlined by a construction cost summary below prepared as part of this submission.

<u>General</u> – Private Works ERSED controls, dust management, dumped rock controls Contractor insurance, signage, WPHS	\$15,000+GST
<u>Site Earthworks</u> – Private Works Bulk earthworks, cut to subgrade	\$2,500+GST
<u>Carpark Works</u> – Private Works Reinforced concrete pavements, for carparking and roadways Linemarking to AS2890.1, with proprietary wheel stops	\$15,000+GST
<u>Water Reticulation</u> Works- Council Works Connection to existing Council main on Vulture Street, under bore to New lot 3 Connection to existing Council main on Mill Street, 22m of OD63 poly to New Lot 2	\$25,000+GST

<u>Sewer Reticulation</u> Works- Council Works	\$35,000+GST
Connection to existing Council sewer manhole (No. 5)	
New DN150 sewer line to new sewer manhole within Lot 3	
New DN150 sewer line to new sewer manhole within Lot 3, adjacent to St Pats boundary	
Augmentation for existing sanitary drainage	
Total	\$92,500+GST \$101,750 Incl. GST

The Application Fee due to Council has been calculated as **\$1,250** plus 1.5% of \$101,750 (**\$1,526.25**), calculating to a fee of **\$2,776.25**.

The Applicant will finalise payment of the above in the imminent future once Council confirm the OPW reference details.

Please call Mr. Ryan McKenzie of the Townsville office on (07) 4724 4551 if you wish to discuss further.

Yours faithfully,



Mr. Ryan McKenzie
Principal Engineer
BEng (Hons)
MIEAust CPEng NER
RPEQ 18480 (Civil/Structural)
NPEV (Civil & Structural)
TAS Building Services 100244417 (Civil & Structural)
NTBPB
RIW
WET/ SARC
GAICD
IPWEA
Institution of Civil Engineers 85382795 (UK)

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	CLOANBOASH PTY LTD
Contact name (only applicable for companies)	C/- SMCE PTY LTD
Postal address (P.O. Box or street address)	18 INGHAM ROAD
Suburb	WEST END
State	QUEENSLAND
Postcode	4810
Country	AUSTRALIA
Contact number	07 47244551
Email address (non-mandatory)	ADMIN@SMCE.NET.AU
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	24106QK

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		3	BOYSTON LANE	CHARTERS TOWERS CITY
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	2	SP260871	CHARTERS TOWERS REGIONAL COUNCIL
b)	Unit No.	Street No.	Street Name and Type	Suburb
		3	VULTURE STREET	CHARTERS TOWERS CITY
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	3	SP260871	CHARTERS TOWERS REGIONAL COUNCIL

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

CIVIL WORKS FOR MULTIPLE DWELLING UNIT DEVELOPMENT

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use Yes – complete division 1 if assessable against a local planning instrument

Reconfiguring a lot Yes – complete division 2

Operational work Yes – complete division 3

Building work Yes – complete *DA Form 2 – Building work details*

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?

Yes

No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

Yes – provide details below or include details in a schedule to this development application

No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

Subdivision *(complete 10)*

Dividing land into parts by agreement *(complete 11)*

Boundary realignment *(complete 12)*

Creating or changing an easement giving access to a lot from a constructed road *(complete 13)*

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

Yes – provide additional details below
 No

How many stages will the works include? _____

What stage(s) will this development application apply to? _____

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input checked="" type="checkbox"/> Stormwater	<input checked="" type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input checked="" type="checkbox"/> Earthworks	<input checked="" type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

Yes – specify number of new lots: _____

No



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$101,750 for the documented scope on 24106QK civil drawings

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

CHARTERS TOWERS REGIONAL COUNCIL

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material *(from a watercourse or lake)*
- Water-related development – referable dams
- Water-related development – levees *(category 3 levees only)*
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	4987550/ MCU2024/0003	24 October 2024	CHARTERS TOWERS REGIONAL COUNCIL
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**Queensland
Government**

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

29 October 2024

Our Ref: 4987550
File Ref: MCU2024/0003
Enquiries: Peter Boyd

Clanboash Pty Ltd
C/- BNC Planning
PO Box 5493
TOWNSVILLE QLD 4810

Sent via email: enquire@bncplanning.com.au

Dear Ben

Decision Notice – Approval
(Given under Section 63 of the *Planning Act 2016*)

The assessment manager wishes to advise that the application was approved under delegated authority on 24 October 2024. The approval is subject to reasonable and relevant conditions and supported by a notice of reasons as detailed below:

Applicant details

Applicant name: Clanboash Pty Ltd C/- BNC Planning

Location details

Street address: 3 Vulture Street, Charters Towers City QLD 4820
Real property description: Lot 2 and Lot 3 on SP260871

Application details

Application number: MCU2024/0003
Approval type: Development Permit
Development type: Material Change of Use
Category of assessment: Code Assessment
Description of development: Dual occupancy x 2
Categorising instrument: Charters Towers Regional Town Plan Version 2

1. Details of the approval

Details of the approval are listed below in accordance with the *Planning Regulation 2017*.



Date: 29 October 2024
Our Ref: 4987550

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Conditions of approval

Condition Number	Condition	Timing																
Approved Plans/Documents																		
1.	<p>Development is to be carried out generally in accordance with the submitted application including the following plans and supporting documentation except where amendments are required to satisfy the conditions of this approval:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Drawing Title:</th> <th>Prepared by:</th> <th>Date Printed:</th> <th>Reference No:</th> </tr> </thead> <tbody> <tr> <td>Site plan</td> <td>Concepts Building Design</td> <td>22/05/2024</td> <td>24-004 SK02 Revision 1</td> </tr> <tr> <td>Site layout</td> <td>Concepts Building Design</td> <td>22/05/2024</td> <td>24-004 SK03 Revision 1</td> </tr> <tr> <td>Elevations</td> <td>Concepts Building Design</td> <td>22/05/2024</td> <td>24-004 SK04</td> </tr> </tbody> </table>	Drawing Title:	Prepared by:	Date Printed:	Reference No:	Site plan	Concepts Building Design	22/05/2024	24-004 SK02 Revision 1	Site layout	Concepts Building Design	22/05/2024	24-004 SK03 Revision 1	Elevations	Concepts Building Design	22/05/2024	24-004 SK04	At all times
Drawing Title:	Prepared by:	Date Printed:	Reference No:															
Site plan	Concepts Building Design	22/05/2024	24-004 SK02 Revision 1															
Site layout	Concepts Building Design	22/05/2024	24-004 SK03 Revision 1															
Elevations	Concepts Building Design	22/05/2024	24-004 SK04															
General																		
2.	<p>a) Comply with all conditions within this Development Permit with conditions prevailing over the approved plan(s) and document(s) in all instances</p> <p>b) Meet the cost of all works associated with the development including any alterations, relocations or repairs to damaged Council infrastructure, and</p> <p>c) All repairs, alterations and relocations of Council infrastructure are to be in accordance with the relevant Council policy and/or Australian Standard.</p>	At all times																
Damage																		
3.	The developer is responsible for the repair of any damage that is caused to Council's infrastructure as a result of the construction works associated with the proposed development. The developer must make any damage safe and then notify Council immediately. Council will make the decision	At all times																

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 29 October 2024
Our Ref: 4987550

Condition Number	Condition	Timing
	as to who will carry out the rectification works and the timing for the completion of those works.	
Compliance with Council Standards		
4.	All design and construction for the development must be in accordance with Council's Policies, Engineering Design Guidelines, Standard Drawings and Standard Specifications.	At all times
Existing Services		
5.	Written confirmation of the location of existing services for the land must be provided to Council. Arrange registration of necessary easements in favour of Council prior to the commencement of use.	Prior to commencement of use
Car Parking		
6.	The car parking area must be constructed, sealed, line marked and drained for a minimum of four (4) B85 sized car parking spaces.	At all times
Stormwater		
7.	All stormwater run-off must be piped from roofed areas and discharged to a kerb and channel drainage system in a Council controlled road, or an approved inter allotment stormwater drainage system, in accordance with <i>Queensland Urban Drainage Manual 2016</i> and <i>AS3500.3:2018 Plumbing and Drainage - Stormwater Drainage</i> .	At all times
Waste Management		
8.	Waste storage area/s are to be sufficient in size to house all waste collection containers including recycling waste containers.	Prior to the commencement of the use
Lawful Commencement		
9.	Request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.	Prior to the commencement of the use
10.	Notify Council within 20 business days that this approved use has lawfully commenced.	Prior to the commencement of the use
Sewerage Infrastructure Plan and Works		
11.	A Sewerage Master Plan for the whole development site, accompanied by supporting calculations, must be approved by Council prior to the issue of a Development Permit for Operational Work. The Master Plan is to:	As stated.

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Date: 29 October 2024
Our Ref: 4987550

Condition Number	Condition	Timing
	<p>i. ensure that any new sewer main is at least 1.2m from the proposed development;</p> <p>ii. include a new sewer main, access chamber and associated connection branch to service Lot 1 on SP260871.</p> <p>Infrastructure works required by this condition are considered to be non-trunk infrastructure for the purposes of Section 145 of the Planning Act 2016 (Qld).</p>	
12.	<p>The works required by the approved Sewerage Infrastructure Plan must be completed prior to the issue of a Development Permit for Building Work.</p> <p>All works must be carried out in accordance with the approved plan(s), to the requirements and satisfaction of Council.</p> <p>Infrastructure works required by this condition are considered to be non-trunk infrastructure for the purposes of Section 145 of the Planning Act 2016 (Qld).</p>	As stated
Water Supply		
13.	Provide a connection to Council's reticulated water supply at the frontage of each lot.	Prior to the issue of a Development Permit for Building Work

Advice Notes

Scale or Intensity of Use

- A. Any proposal to increase the scale or intensity of the use/new use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the *Planning Act 2016* and would have to comply with the requirements of the relevant provisions.

Aboriginal and Cultural Heritage

- B. The *Aboriginal Cultural Heritage Act 2003* and *Torres Strait Islander Cultural Heritage Act 2003* requires anyone who carries out a land-use activity to exercise a duty of care. Land users must take all reasonable and practicable measures to ensure their activity does not harm Aboriginal or Torres Strait Islander cultural heritage. Prior to carrying out works, it is advised that you contact the Department of Aboriginal and Torres Strait Islander Partnerships on (07) 4799 7470 or by post at PO Box 5620 TOWNSVILLE QLD 4810. For further information on cultural heritage duty of care please visit: <https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-duty-care>

Abandoned Mine Shafts

- C. The city of Charters Towers is subject to a significant number of abandoned mine shafts due to the former gold rush era. It is recommended that all searches be undertaken through the Queensland State

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Date: 29 October 2024
Our Ref: 4987550

Advice Notes	
	Government's Department of Natural Resources Mines and Energy (DNRME) to ensure that the development is not unduly impacted upon by these shafts. The DNRME can be contacted on 13 74 68.
Workplace Health and Safety	
D.	Ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the project manager is obliged to ensure construction work is planned and managed in a way that prevents or minimises risks to the health and safety of members of the public at or near the workplace during construction work. It is the principal contractor's responsibility to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the principal contractor is obliged on a construction workplace to ensure that work activities at the workplace prevent or minimise risks to the health and safety of the public at or near the workplace during the work. It is the responsibility of the person in control of the workplace to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the person in control of the workplace is obliged to ensure there is appropriate, safe access to and from the workplace for persons other than the person's workers.
Environmental nuisance	
E.	<p>Ensure compliance with the <i>Environmental Protection Act 1994</i>. It states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks and construction phases of this development, are to adhere to their "general environmental duty" to minimise the risk of causing environmental harm.</p> <p>Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area because of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council to cause undue disturbance or annoyance to persons or affect property not connected with the use.</p>
Ergon Energy and Telstra Corporation Contact Details	
F.	<p>Where a condition requires connections to reticulated electricity and/or telecommunications or a certificate of supply, please contact the below:</p> <ul style="list-style-type: none"> a) Ergon Energy Connection Solution's Team – (07) 4931 1012, and/or b) NBN Co – 1800 687 626.

3. Currency period for the development application approval

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of six years.

4. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Development Permit for Operational Work.
2. Development Permit for Building Work.

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

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3. Plumbing and Drainage Works

5. Referral agencies

Not applicable.

6. Submission(s)

Not applicable.

7. Notice of reasons

This notice is prepared in accordance with Section 63(5) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a development application.

Description of the development:	Development Permit for Material Change of Use for Dual Occulancy.	
Reasons for the decision:	The proposed development was assessed against the Charters Towers Regional Town Plan Version 2 and was found to generally comply with the relevant Acceptable and Performance Outcomes. Where compliance was not achieved, the development demonstrated compliance with the Strategic Framework.	
Assessment benchmarks:	The proposed development was assessed against the relevant assessment benchmarks of the Charters Towers Regional Town Plan including the: 1) Zone Code	
	The proposed development was assessed against all the assessment benchmarks listed above and complies with all except those listed and responded to below.	
	Assessment benchmark:	Reasons for the approval despite non-compliance with benchmark:
	Not applicable	
Relevant matters:	The assessment did not have regard to any relevant matters as per section 45(5)(b) of the Planning Act 2016.	
Matters raised in submissions:	Submission Point:	Council Response:
	Not applicable	

8. Other requirements under section 43 of the *Planning Regulation 2017*

There are no other requirements.



Date: 29 October 2024
Our Ref: 4987550

9. Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision are set out in Chapter 6, Part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*). Information about how to proceed with an appeal to the Planning and Environment Court may be found on the Court's website: <http://www.courts.qld.gov.au/courts/planning-and-environment-court>.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*. The timeframes for starting an appeal in the Planning and Environment Court are set out in Section 229 and Schedule 1 of the *Planning Act 2016*.

Should you wish to discuss this matter, please contact Peter Boyd, Consultant Town Planner on (07) 4761 5300.

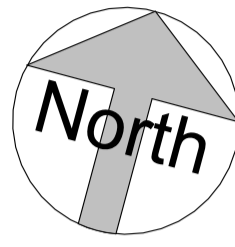
Yours faithfully



Hayley Thompson
Executive Manager Corporate & Community Building

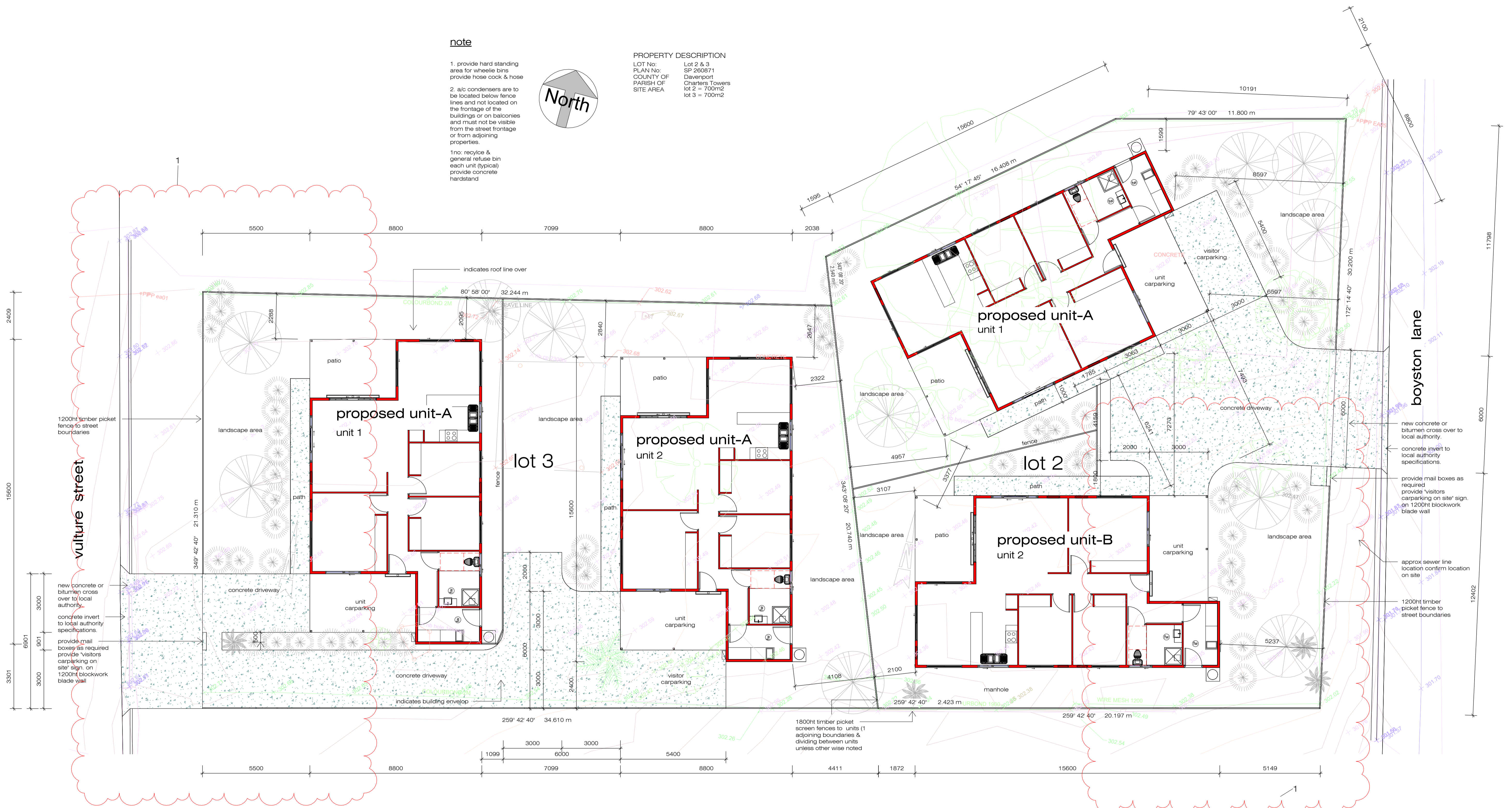
note

1. provide hard standing area for wheeled bins provide hose cock & hose
2. a/c condensers are to be located below fence lines and not located on the frontage of the buildings or on balconies and must not be visible from the street frontage or from adjoining properties.
- 1no. recycle & general refuse bin each unit (typical) provide concrete hardstand



PROPERTY DESCRIPTION

LOT No: Lot 2 & 3
 PLAN No: SP 260871
 COUNTY OF: Davenport
 PARISH OF: Charters Towers
 SITE AREA: lot 2 = 700m²
 lot 3 = 700m²

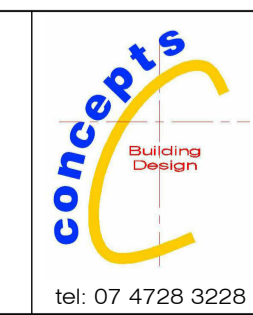


2 site plan
 sk_02 1 : 100

issued for
 planning
 issue date: 24.04.08

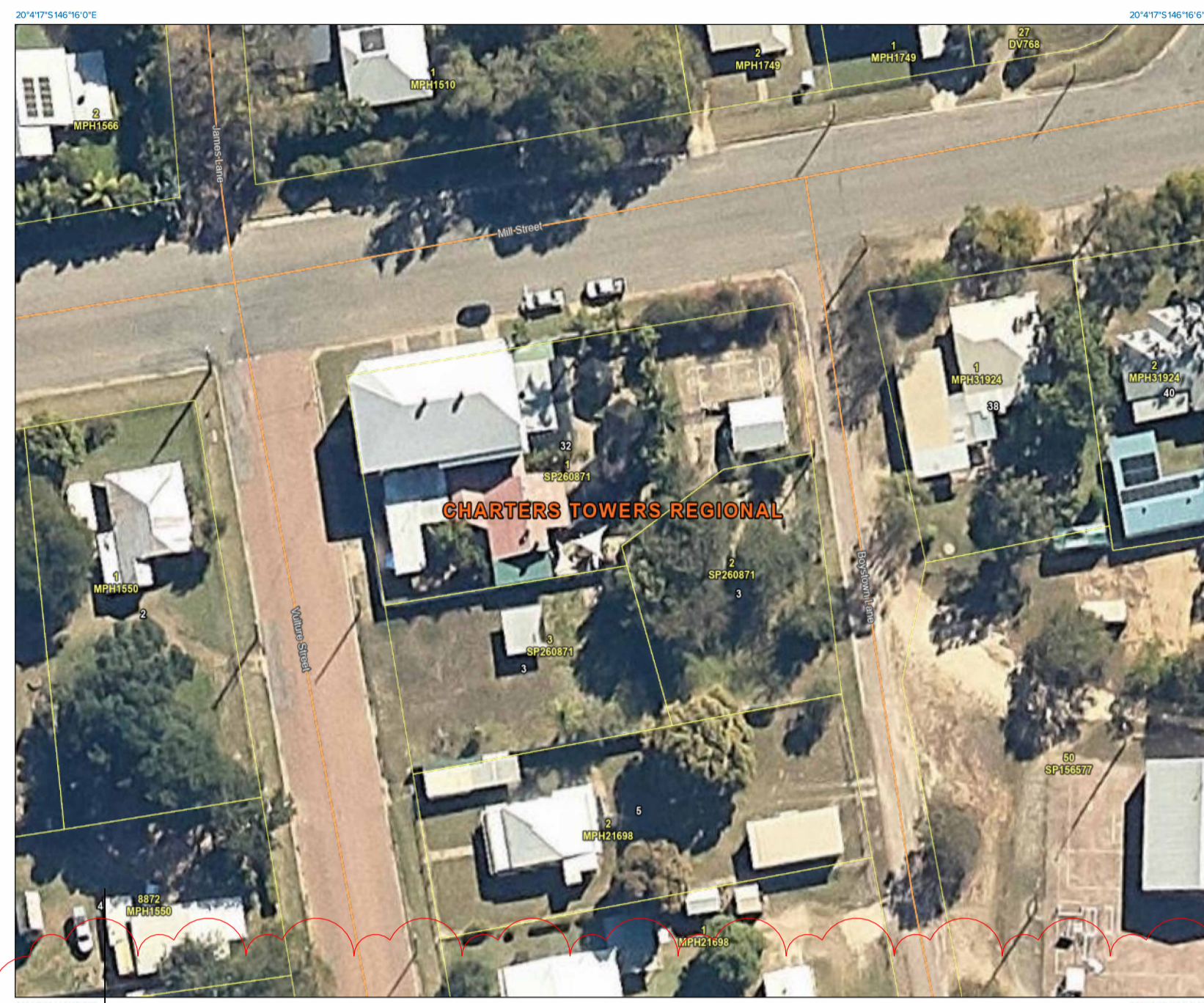
NOTES:
 THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT.
 COMPLY WITH ALL RELEVANT AUTHORITY REG. & BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

Revision Schedule		
No	Description	Date
1	revised building locations	24.05.22



project:
 Proposed Multiple Dwellings
 for:
 Q.Kersh
 at:
 Lot 3 Vulture Street & Lot 2 Boyston Lane,
 Charters Towers

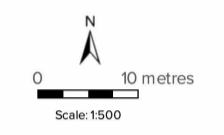
Issue Date	12/13/05
Drawn	Author
scale	As indicated
sheet	sk_02
24-004	
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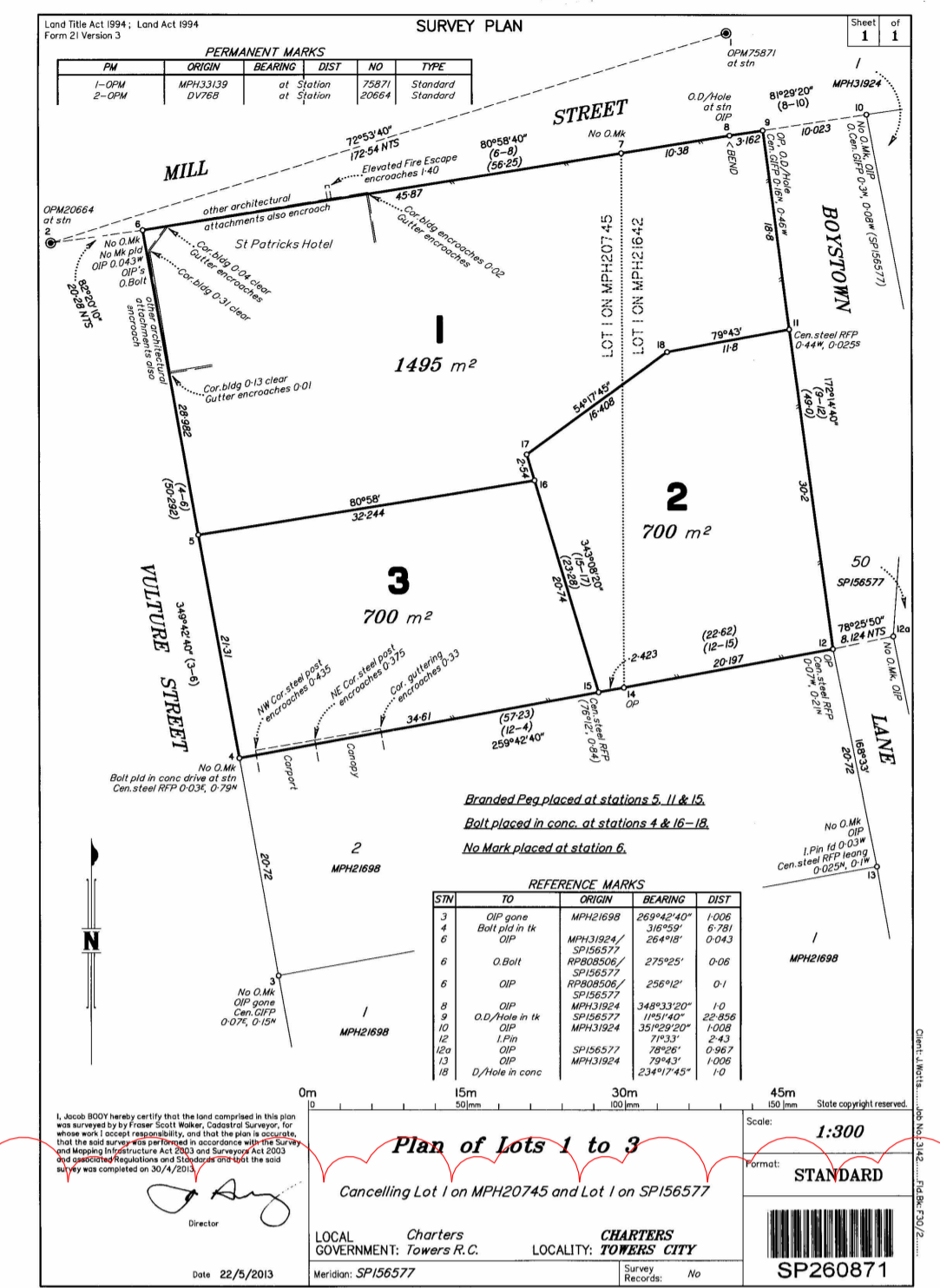
A product of
Queensland Globe



Legend located on next page



Printed at A3
Print Date: 16/03/2024
Not suitable for accurate measurement.
Projection: Web Mercator (EPSG:31466) (2873)
For more information, visit <https://qgis.queensland.gov.au/help/info/contact-us.html>
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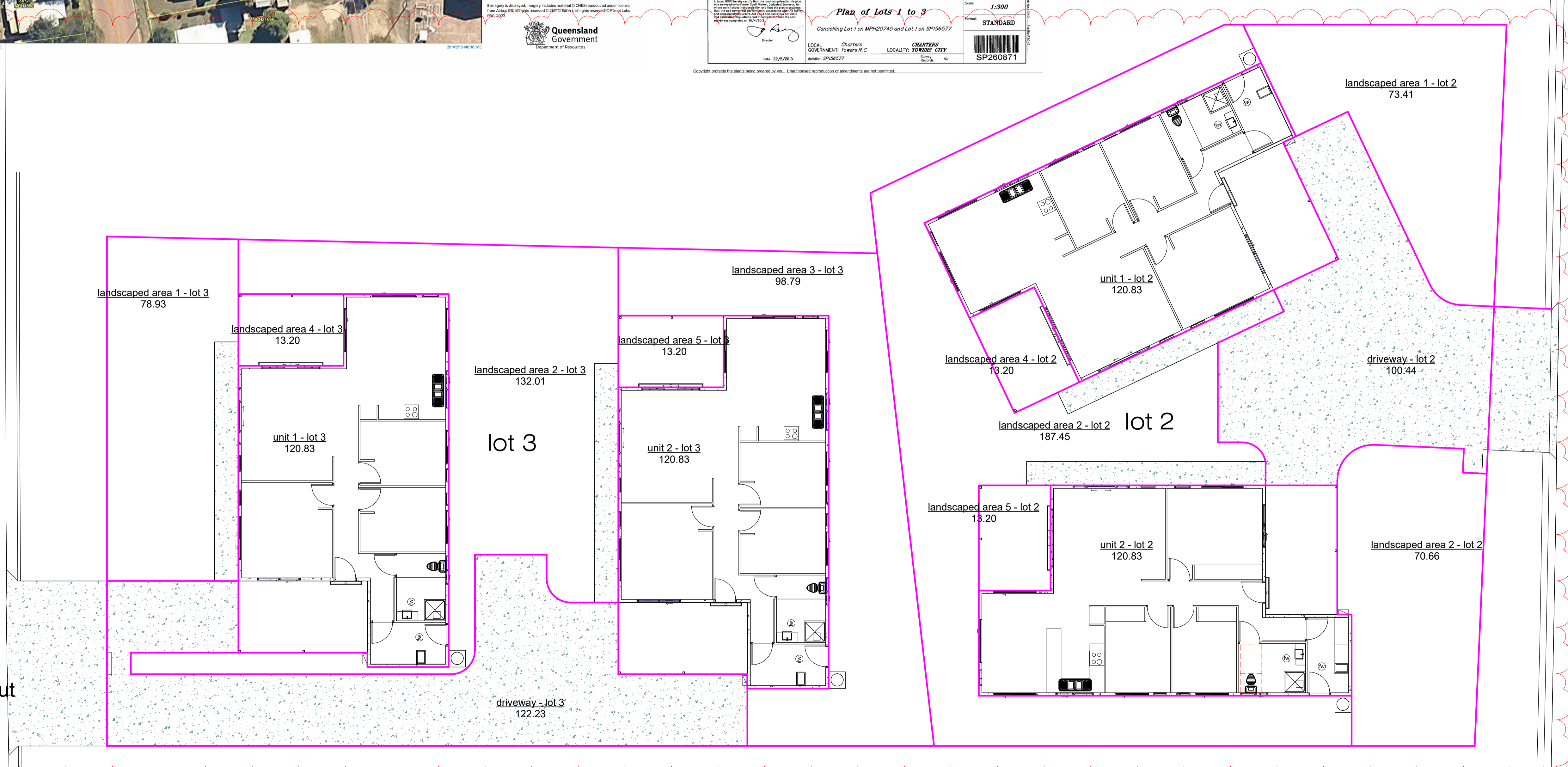


Area Schedule (site area breakdown)

Count	Name	Area	%
lot 2			
1	driveway - lot 2	100.44	7%
1	landscaped area 1 - lot 2	73.41	5%
1	landscaped area 2 - lot 2	187.45	13%
1	landscaped area 3 - lot 2	70.66	5%
1	landscaped area 4 - lot 2	13.20	1%
1	landscaped area 5 - lot 2	13.20	1%
1	unit 1 - lot 2	120.83	9%
1	unit 2 - lot 2	120.83	9%
8		700.03	50%
lot 3			
1	driveway - lot 3	122.23	9%
1	landscaped area 1 - lot 3	78.93	6%
1	landscaped area 2 - lot 3	132.01	9%
1	landscaped area 3 - lot 3	98.79	7%
1	landscaped area 4 - lot 3	13.20	1%
1	landscaped area 5 - lot 3	13.20	1%
1	unit 1 - lot 3	120.83	9%
1	unit 2 - lot 3	120.83	9%
8		700.02	50%
16		1400.05	100%

Plan of Lots 1 to 3
Cancelling Lot 1 on MPH20742 and Lot 1 on SP156577
Scale: 1:300
STANDARD
SP260871

1 site layout
sk_03 1 : 100

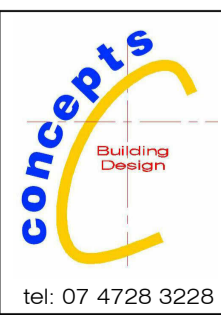


issued for
planning
issue date: 24.04.08

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COMPLY WITH ALL RELEVANT AUTHORITY REG. & BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

Revision Schedule

No	Description	Date
1	revised building locations	24.05.22



project:
Proposed Multiple Dwellings
for:
Q.Kersh
at:
Lot 3 Vulture Street & Lot 2 Boyston Lane,
Charters Towers

Issue Date	04/07/24
Drawn	Author
scale	1 : 100
sheet	sk_03
24-004	
printed 22/05/2024 8:09:06 AM	



vulture street

4
sk_04 west elevation
1 : 100



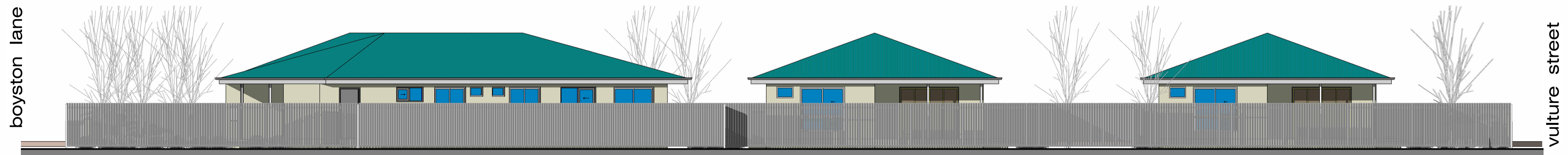
boyston lane

1
sk_04 east elevation
1 : 100



vulture street south elevation boyston lane

3
sk_04 south elevation
1 : 100



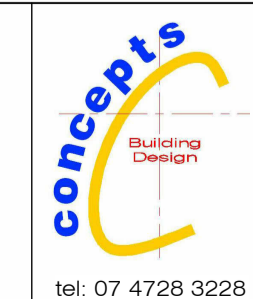
boyston lane north elevation vulture street

2
sk_04 north elevation
1 : 100

issued for
planning
issue date: 24.04.08

NOTES:
THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT.
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No	Revision Schedule	Date
	Description	



project:
Proposed Multiple Dwellings
for:
Q.Kersh
at:
Lot 3 Vulture Street & Lot 2 Boyston Lane,
Charters Towers

Issue Date	04/07/24
Drawn	Author
scale	1 : 100
sheet	sk_04
24-004	
<small>printed 22/05/2024 8:09:14 AM</small>	

Planning Act 2016

Reprint current from 2 August 2024

Chapter 6 > Part 1

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against a decision of the Minister, under chapter 7, part 4, to amend the registration of premises to include additional land in the affected area for the premises—20 business days after the day a notice is published under section 269A(2)(a); or
 - (e) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (f) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the

applicant gives the deemed approval notice to the assessment manager; or

- (g) for an appeal relating to the Plumbing and Drainage Act 2018—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the Plumbing and Drainage Act 2018, section 143(2)(a) (i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the Plumbing and Drainage Act 2018—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the Plumbing and Drainage Act 2018—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and

- (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
- (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

25-055 2 BOYSTOWN LANE UNIT DEVELOPMENT

HYDRAULIC SERVICES

GENERAL NOTES:

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH:-
 - PLUMBING AND DRAINAGE ACT
 - PLUMBING AND DRAINAGE REGULATION
 - STANDARD PLUMBING AND DRAINAGE REGULATION
 - BUILDING ACT
 - NATIONAL CONSTRUCTION CODE
 - AS2419.1:2021
 - AS2441:2005
 - AS2444:2001
 - AS3500:2021 (ALL PARTS)
 - QUEENSLAND PLUMBING & WASTEWATER CODE
 - TOWNSVILLE CITY COUNCIL REGULATIONS AND REQUIREMENTS and
 - ALL OTHER RELEVANT AUSTRALIAN STANDARDS AS REQUIRED
- CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECTS, ENGINEERS AND LANDSCAPE CONSULTANT DRAWINGS AND SPECIFICATIONS
- CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS AND COVER OVER WASTE DRAINAGE LINES ARE CORRECT AND OBTAINABLE BEFORE COMMENCEMENT OF WORK ON SITE
- LOCATIONS OF EXISTING SERVICES ON SITE ARE ONLY APPROXIMATE AND HAVE NOT BEEN VERIFIED, THE CONTRACTOR SHALL VERIFY LOCATIONS AND SIZES OF SERVICES BEFORE COMMENCEMENT OF WORK.
- CONCEAL ALL PIPEWORK WHERE POSSIBLE
- ALL PIPES LAID UNDER SLAB TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL AND SHALL BE 100mm DIA U.N.O.
- ALL PIPE SIZES SHOWN ARE NOMINAL BORE UNLESS NOTED OTHERWISE

HOT AND COLD WATER:

- PIPES LOCATED IN MASONRY WALLS TO BE INSULATED KEMLAG TUBE OR SIMILAR APPROVED
- LOCATIONS OF CONTROL VALVES ARE SHOWN DIAGRAMMATICALLY ONLY. LOCATE ON SITE IN ACCESSIBLE POSITIONS
- HOT AND COLD WATER PIPEWORK ON THESE DRAWINGS ARE SHOWN DIAGRAMMATICALLY ONLY.
- ALL HOT AND COLD WATER LINES TO INDIVIDUAL FIXTURES TO BE A MINIMUM OF 15mm DIA AND 20mm DIA TO TWO OR MORE FIXTURES, OR AS SHOWN ON THE DRAWINGS
- HOT WATER UNITS TO BE CAPABLE OF ATTAINING AND MAINTAINING TEMPERATURES IN EXCESS OF THOSE REQUIRED AT THEIR POINT OF USE AND INSTALLED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
- MATERIALS:
 - COLD WATER SERVICE: COPPER TYPE B - CHROME PLATED WHERE EXPOSED, POLYETHYLENE PEX A
 - HOT WATER SERVICE: COPPER TYPE B - CHROME PLATED WHERE EXPOSED, POLYETHYLENE PEX A
 - COPPER CRIMPED FITTINGS SHALL BE OF THE VEIGA TYPE WITH DOUBLE "O" RINGS OR APPROVED EQUAL
- HOT WATER UNITS TO BE LOCATED IN NON-CORROSIVE SAFE TRAY WITH 50mm DIA WASTES IN ACCORDANCE WITH AS 3500.4 DISCHARGING AS SHOWN ON THE DRAWINGS
- ALL HC'S SHALL BE FITTED WITH APPROVED BACKFLOW PREVENTION DEVICES
- ALL HOT WATER PIPEWORK TO BE INSULATED TO AS 3500.4:2021
 - HOT WATER FLOW AND RETURN LINE PIPEWORK SHALL BE FULLY INSULATED WITH 25mm THICK THERMOTEC 4 ZERO INSULATION OR APPROVED EQUAL
 - ALL BRANCHES FROM A HOT WATER FLOW AND RETURN LINE SHALL BE INSULATED A MINIMUM OF 1m ALONG EACH BRANCH
 - ALL HOT WATER PIPEWORK SHALL BE INSULATED WITH THE CORRECT SIZE FOR THE PIPE IT IS INSULATING

SANITARY PLUMBING AND DRAINAGE:

- ALL DRAINAGE SHALL BE 100mm DIA. UPVC RUN AT MINIMUM GRADE OF 1:60 U.N.O.
- ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500.2:2021
- ALL L.O'S UNDER CONCRETE ARE TO BE TAKEN TO SURFACE LEVEL AND FITTED WITH APPROVED BRASS SCREW CAPS
- ALL FWG'S SHALL HAVE 100mm DIA RISERS AND REMOVABLE METAL SCREW GRATES CHROME PLATED WHERE EXPOSED. FWG RISER SHALL BE STRAIGHT WITH NO BENDS OR DEVIATIONS WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIALS IN ACCORDANCE WITH AS 3500.2:2021
- MATERIALS:
 - WASTE AND VENT PIPES AND FITTINGS: UPVC CLASS "SN6" SMOOTH WALL PIPE TO AS 1260:2009 AND FITTED WITH FIRE STOP COLLARS WHERE REQUIRED OR COPPER TYPE D TO AS 1432
 - HOUSE DRAINAGE: UPVC CLASS "SN6" SMOOTH WALL PIPE TO AS 1260
 - TRADEWASTE DRAINAGE: HIGH DENSITY POLY ETHYLENE OR REHAU RAUPIANO
- ALL WC'S TO BE SCREW FIXED TO THE FLOOR WITH NYLON PLUGS AND NON-CORROSIVE METAL SCREWS.
- ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTES INCLUDING TRAPS SHALL BE INSULATED

WATER MANAGEMENT:

- ALL WC PANS SHALL BE FITTED WITH A 6/3 LITRE DUAL FLUSH TYPE CISTERN AND PAN.
- ALL TAPWARE OUTLETS TO BE FITTED WITH FLOW CONTROL REGULATORS WITH THE FOLLOWING FLOW RATES:
 - SINKS: 9 LITRES PER MINUTE
 - SHOWERS: 9 LITRES PER MINUTE
 - BASINS: 6 LITRES PER MINUTE
 - TUBS: 9 LITRES PER MINUTE
- ALL FIXTURES AND TAPWARE SHALL BEAR THE MARK OF A WATER MARK APPROVAL

SOILS INFORMATION:

- SOIL CLASSIFICATIONS AS2870-2011 TABLE 2.1 CLASSIFICATION BASED ON SITE REACTIVITY
- CLASS A - MOST SAND AND ROCK SITES WITH LITTLE OR NO GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - 0
 - CLASS S - SLIGHTLY REACTIVE CLAY SITES, WHICH MAY EXPERIENCE ONLY SLIGHT GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - >0mm - <20mm
 - CLASS M - MODERATELY REACTIVE CLAY OR SILT SITES, WHICH MAY EXPERIENCE MODERATE GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - >21mm - <40mm
 - CLASS H1 - HIGHLY REACTIVE CLAY SITES, WHICH MAY EXPERIENCE HIGH GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - >41mm - <60mm
 - CLASS H2 - HIGHLY REACTIVE CLAY SITES, WHICH EXPERIENCE VERY HIGH GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - >61mm - <75mm
 - CLASS E - EXTREMELY REACTIVE SITES, WHICH MAY EXPERIENCE EXTREME GROUND MOVEMENT FROM MOISTURE CHANGES
 - DIFFERENTIAL OF MOVEMENT - >75mm

AS2870-2011 RESIDENTIAL SLABS AND FOOTINGS, SECTION 5 DETAILING REQUIREMENTS, CLAUSE 5.6 ADDITIONAL REQUIREMENTS FOR CLASSES M, H1, H2 AND E SITES, CLAUSE 5.6.4 PLUMBING REQUIREMENTS, BUILDINGS ON HIGHLY OR EXTREMELY REACTIVE SITES SHALL BE PROVIDED WITH A SYSTEM OF PLUMBING DETAILED IN ACCORDANCE WITH THE FOLLOWING:

- PENETRATIONS OF THE EDGE BEAMS OF A RAFT AND PERIMETER STRIP FOOTINGS SHALL BE AVOIDED WHERE PRACTICABLE, BUT WHERE NECESSARY SHALL BE DETAILED TO ALLOW FOR MOVEMENT. CLOSED CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER AND SANITARY PLUMBING DRAIN PIPE PENETRATIONS THROUGH FOOTINGS. THE LAGGING SHALL BE A MINIMUM OF 20mm THICK ON CLASS H1 SITES AND 40mm THICK ON CLASS H2 AND E SITES. VERTICAL PENETRATIONS DO NOT REQUIRE LAGGING.
 Note: Sleeves allowing equivalent movements may be used as an alternative to the lagging.
 - DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1m OF THE BUILDINGS PERIMETER TO ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT OF THE SITE (VS). IN THE ABSENCE OF SPECIFIC DESIGN GUIDANCE, THE FITTINGS OR OTHER DEVICES THAT ARE ALLOWED FOR THE MOVEMENT SHALL BE SET AT THE MID-POSITION OF THEIR RANGE OF POSSIBLE MOVEMENT AT THE TIME OF INSTALLATION, SO AS TO ALLOW FOR MOVEMENT EQUAL TO 0.5ys IN ANY DIRECTION FROM THE INITIAL SETTING. THIS REQUIREMENT APPLIES TO ALL STORMWATER AND SANITARY PLUMBING DRAINS OF DISCHARGE PIPES.
 - ON-SITE WASTEWATER TREATMENT UNITS AND ASSOCIATED LAND APPLICATION AREAS SHALL BE LOCATED TO MINIMIZE SOIL MOISTURE INCREASE WITHIN THE FOUNDATION.
 - DRAINAGE UNDER A SLAB SHALL BE AVOIDED WHERE PRACTICABLE.
- NOTES:
- Pipes may be encased in concrete or in recesses in the slab when provided with flexible joints at the exterior of the slab.
 - Methods used should comply with the AS/NZS 3500 Series
- COLD WATER PIPES AND HEATED OR HOT WATER PIPES SHALL NOT BE INSTALLED UNDER SLAB, UNLESS THE PIPES ARE INSTALLED WITHIN A CONDUIT SO THAT IF THE PIPES LEAKS WATER IT WILL BE NOTICED ABOVE THE SLAB OR OUTSIDE THE SLAB AND WILL NOT LEAK UNNOTICED UNDER THE SLAB.
 NOTE: Water service pipes installed under concrete slabs should comply with the relevant requirements of AS/NZS 3500.1. Heated water pipes installed under concrete slabs should comply with the relevant requirements of AS/NZS 3500.4

DURING CONSTRUCTION, WATER RUNOFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE BUILDING. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION AS DESCRIBED IN CLAUSE 5.6.3 (b).

- NOTES:
- For example, excavations should be backfilled above or adjacent to the footing with moist clay compacted by hand-rodging or tamping
 - Porous materials such as sand, gravel or building rubble should not be used.
- WATER SHALL NOT BE ALLOWED TO POND IN TRENCHES.

SOIL REPORT DETAILS:
 GEOTECHNICAL REPORT PREPARED BY
 CONSTRUCTION SCIENCES PTY LTD
 37 CARMEL STREET, GARbutt QLD 4814

DATED: 09/05/2024

REF No: H24/0141

THE SOIL CLASSIFICATION IS:
CLASS P

DRAWING SCHEDULE		
SHEET #	SHEET TITLE	ISSUE
H100	TITLE PAGE AND NOTES	A
H200	SANITARY PLUMBING AND DRAINAGE	A
H300	WATER RETICULATION	A
H400	BUILDING STORMWATER	A

LEGEND

B	BASIN
BTH	BATH
C	COLD
COS	CLEAR OUT TO SURFACE
CS	CLEANERS SINK
CW	COLD WATER
CWD	COLD WATER DROPPER
CWR	COLD WATER RISER
DG	DISCONNECTOR GULLY
DP	DOWN PIPE
DV	DUO VALVE
DW	DISH WASHER
e	EXISTING
FJ	FLEXIBLE JOINT
FWG	FLOOR WASTE GULLY
H	HOT
HC	HOSE COCK
HW	HOT WATER
HWR	HOT WATER RISER
HWU	HOT WATER UNIT
I.L	INVERT LEVEL
IO	INSPECTION OPENING
IP	INSPECTION PIPE
IS	INSPECTION SHAFT
MH	MANHOLE
N.T.S	NOT TO SCALE
ORG	OVERFLOW RELIEF GULLY
PLV	PRESSURE LIMITING VALVE
S	SINK
SHR	SHOWER
SV	STOP VALVE
SW	STORM WATER
TD	TUNDISH
TUB	LAUNDRY TUB
TV	TEMPERING VALVE
TW	TEPID WATER
TWR	TEPID WATER RISER
UVG	UNDERSOUND
VP	VENT PIPE
WC	WATER CLOSET
WM	WASHING MACHINE

LEGEND

	COLD WATER
	EXISTING COLD WATER
	HOT WATER
	TEPID WATER
	SEWER
	EXISTING SEWER
	VENT
	STORM WATER



AMENDMENTS		
ISSUE	SUBJECT	DATE
A	FOR APPROVAL	09/03/2026

PROJECT
2 BOYSTOWN LANE UNIT DEVELOPMENT

ADDRESS
2 BOYSTOWN LANE, CHARTERS TOWERS CITY QLD 4820 LOT 2 & 3 SP 260871

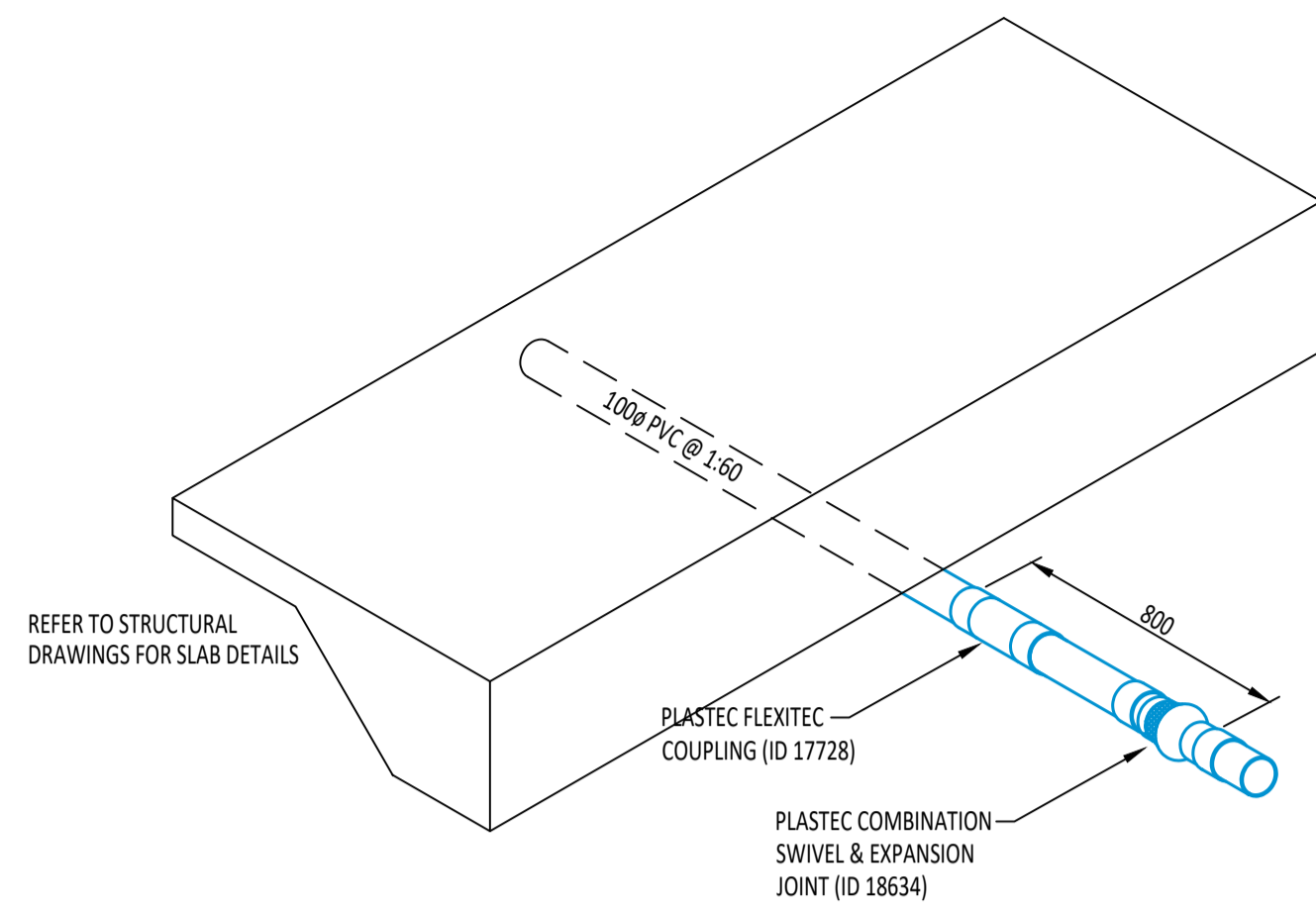
ARCHITECT/BUILDING DESIGNER
 Concepts Building Design (Nq) Pty Ltd
 22 Surrey St HYDE PARK Q 4812
 07 4728 3228
 QBCC: 1144862

HYDRAULIC CONSULTANT
PARKER HYDRAULIC DESIGNS
 HYDRAULIC SERVICES & WET FIRE PROTECTION CONSULTANTS
 ABN 46 658 444 145 QBCC - 15304577 ACN 658 444 145
 UNIT 2 / 21 TAVERN STREET
 KIRWAN, 4817
 PHONE - 07 4766 8363
 EMAIL - admin@parkerhydraulicdesigns.com.au

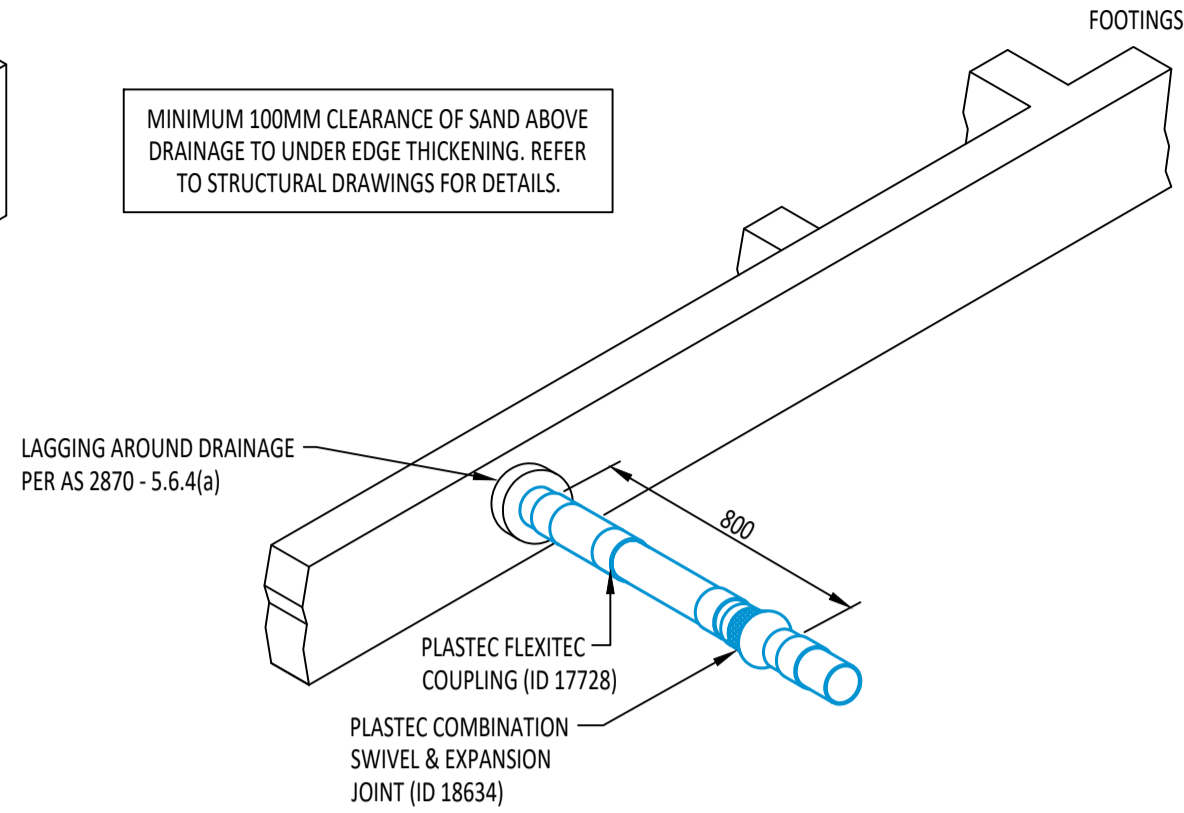
CLIENT
Q. KERSH

TITLE
HYDRAULIC SERVICES TITLE PAGE AND NOTES

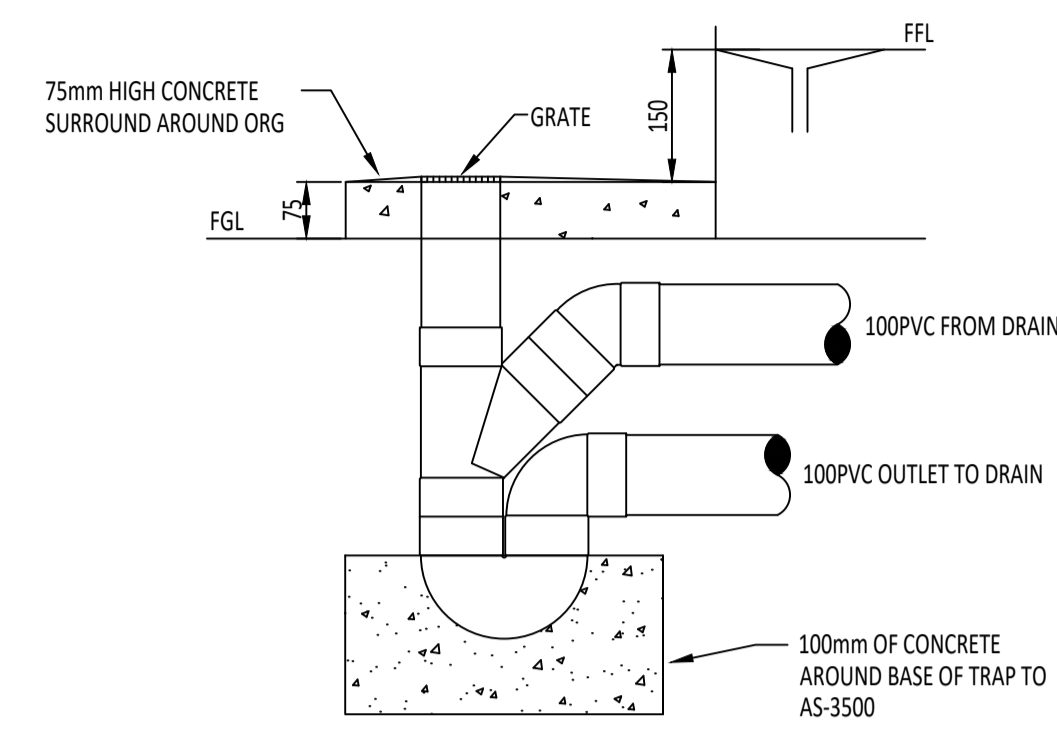
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DATE	09/03/2026	DRAWN	JS	CHECKED	MWP
DWG. No.	25-055-H100				
<p>SCALE IN METRES - 1:200</p>					



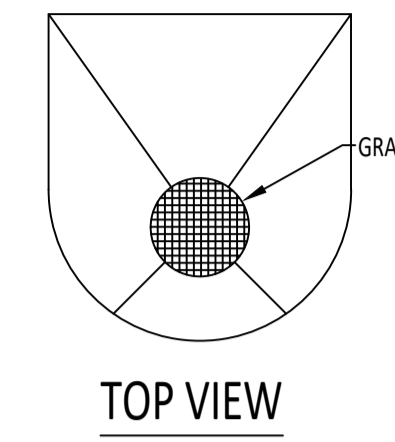
MINIMUM 100MM CLEARANCE OF SAND ABOVE DRAINAGE TO UNDER EDGE THICKENING. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.



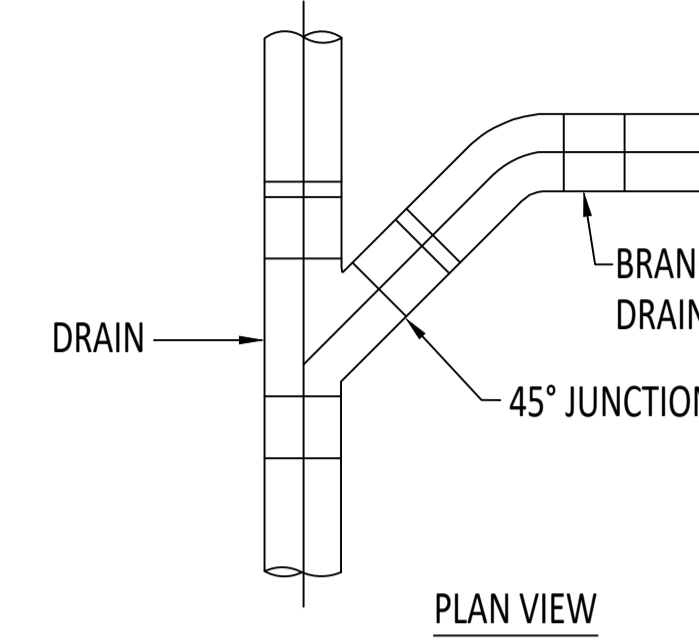
FLEXIBLE CONNECTIONS EXITING SLAB DETAIL (PVC)
N.T.S.



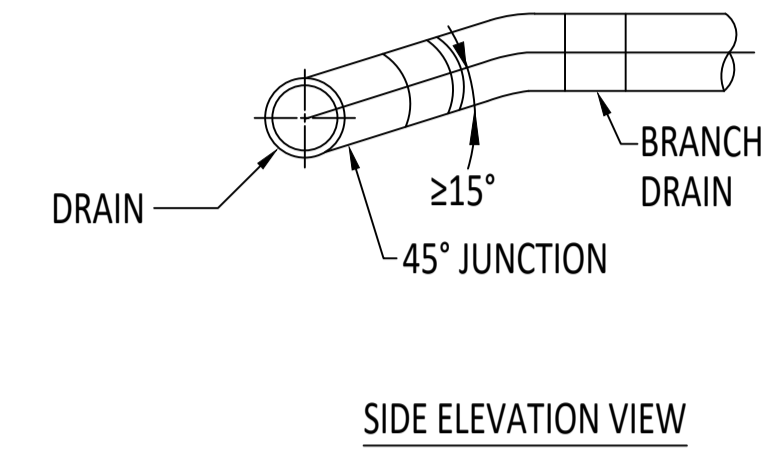
SIDE VIEW
N.T.S.



TOP VIEW
N.T.S.

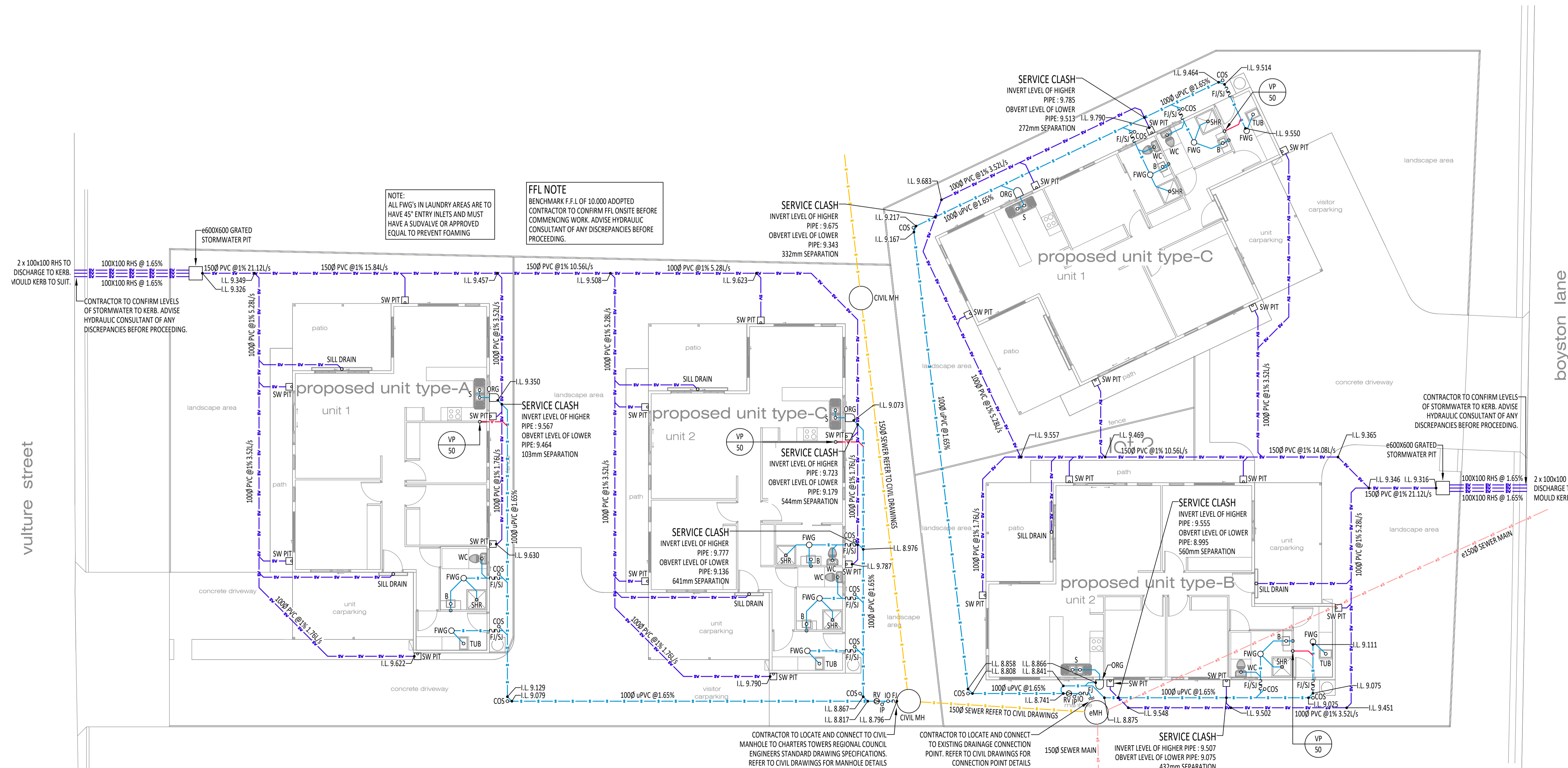


PLAN VIEW
N.T.S.



SIDE ELEVATION VIEW
N.T.S.

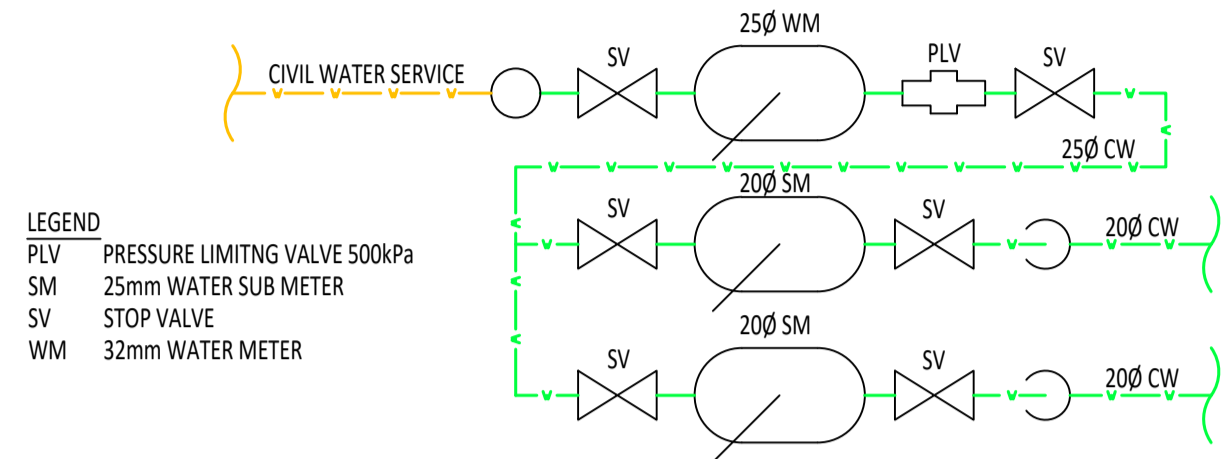
TYPICAL ARRANGEMENT FOR A GRADED BRANCH DRAIN ENTERING ANOTHER DRAIN
N.T.S.



SANITARY PLUMBING AND DRAINAGE PLAN
Scale: 1:100@A1

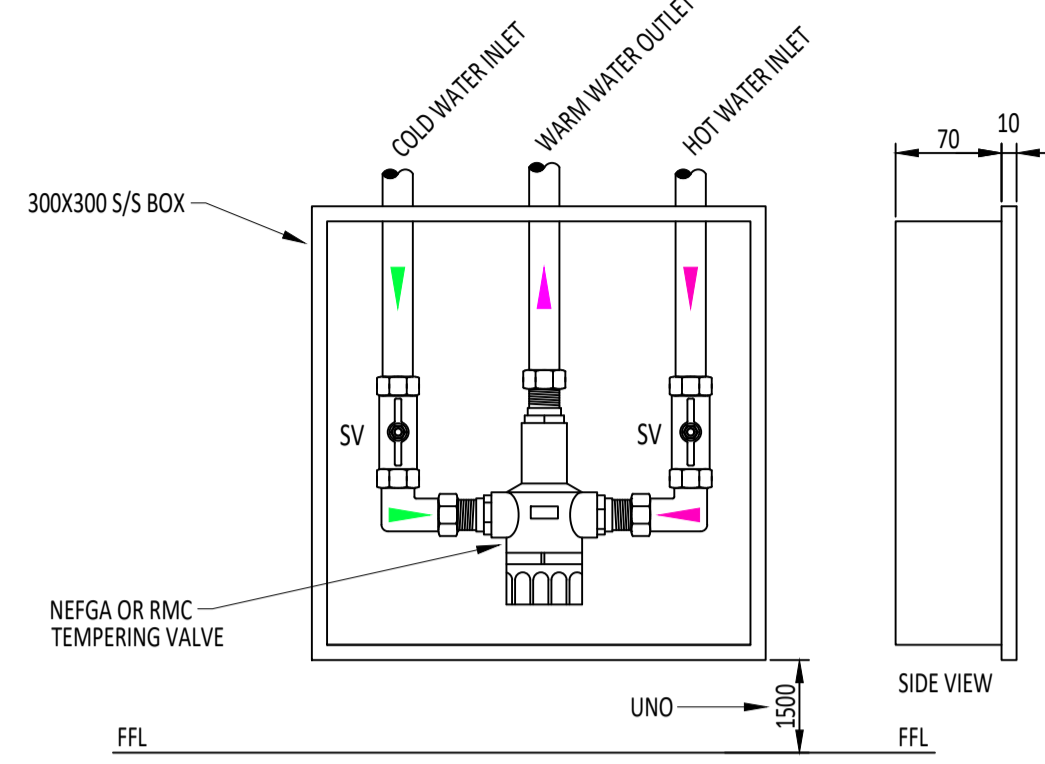
A	FOR APPROVAL	09/03/2026
ISSUE	SUBJECT	DATE
AMENDMENTS		
PROJECT		
2 BOYSTOWN LANE UNIT DEVELOPMENT		
ADDRESS		
2 BOYSTOWN LANE, CHARTERS TOWERS CITY QLD 4820 LOT 2 & 3 SP 260871		
ARCHITECT/BUILDING DESIGNER		
 Concepts Building Design (Nq) Pty Ltd 22 Surrey St HYDE PARK Q 4812 07 4728 3228 QBCC: 1144862		
HYDRAULIC CONSULTANT		
 PARKER HYDRAULIC DESIGNS HYDRAULIC SERVICES & WET FIRE PROTECTION CONSULTANTS ABN 46 658 444 145 QBCC - 15304577 ACN 658 444 145 UNIT 2 / 21 TAVERN STREET KIRWAN, 4817 PHONE - 07 4766 8363 EMAIL - admin@parkerhydraulicdesigns.com.au		
CLIENT		
Q. KERSH		
TITLE		
HYDRAULIC SERVICES SANITARY PLUMBING AND DRAINAGE		
JOB No.	DESIGNED	QBCC No.
25-055	MARK W PARKER	1292354
DATE	DRAWN	CHECKED
09/03/2026	JS	MWP
DWG No.	ISSUE	
25-055-H200	A	
 SCALE IN METRES - 1:100		

CONTRACTOR TO ORGANISE AND PAY ALL ASSOCIATED COSTS TO LOCATE AND CONNECT TO THE CIVIL COLD WATER SERVICE AND PROVIDE A 32Ø WATER METER ASSEMBLY AS SHOWN

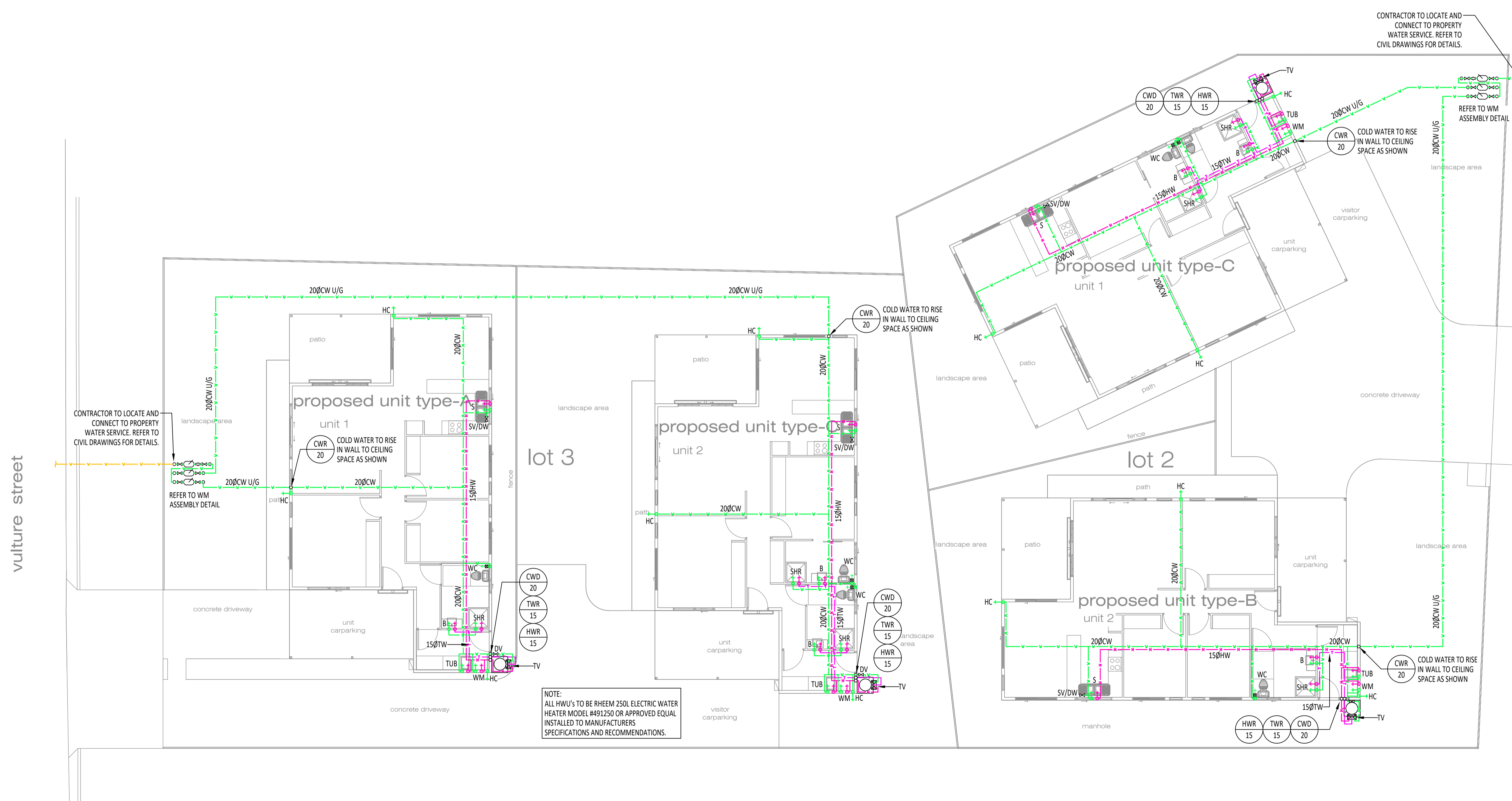


LEGEND
 PLV PRESSURE LIMITING VALVE 500kPa
 SM 25mm WATER SUB METER
 SV STOP VALVE
 WM 32mm WATER METER

WATER METER ASSEMBLY
N.T.S.



TV TYPICAL SETOUT
N.T.S.



WATER RETICULATION PLAN

Scale: 1:100@A1

boystown lane

A	FOR APPROVAL	09/03/2026
ISSUE	SUBJECT	DATE

AMENDMENTS
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2 BOYSTOWN LANE UNIT DEVELOPMENT

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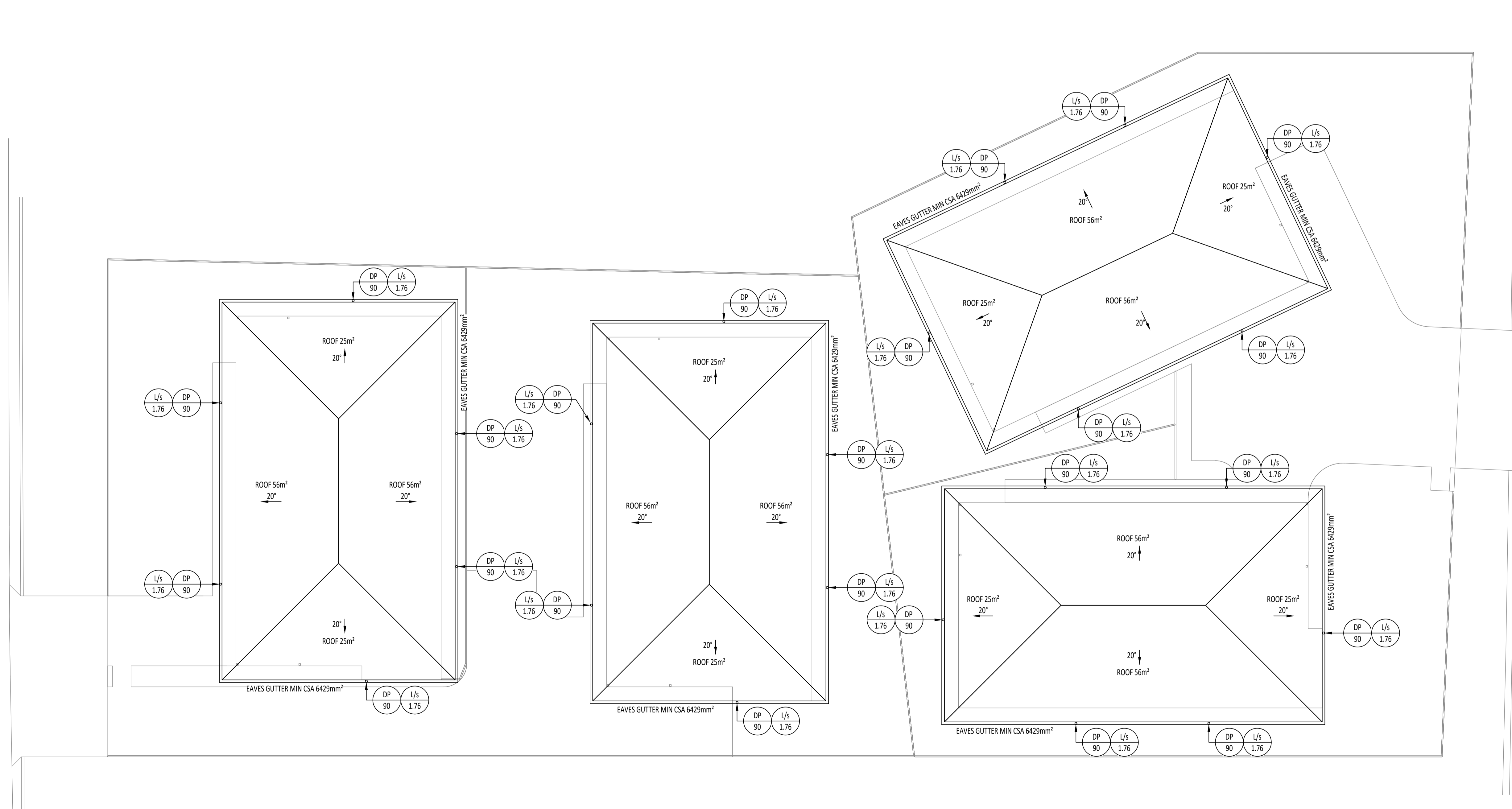
CLIENT
Q. KERSH

TITLE
HYDRAULIC SERVICES WATER RETICULATION

JOB No.	DESIGNED	QBCC No.
25-055	MARK W PARKER	1292354
DATE	DRAWN	CHECKED
09/03/2026	JS	MWP
DWG. No.	ISSUE	A

25-055-H300

SCALE IN METRES - 1:100

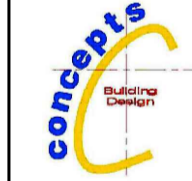


BUILDING STORMWATER PLAN
Scale: 1:100@A1

A	FOR APPROVAL	09/03/2026
ISSUE	SUBJECT	DATE

AMENDMENTS
PROJECT
2 BOYSTOWN LANE UNIT DEVELOPMENT

ADDRESS
2 BOYSTOWN LANE, CHARTERS TOWERS CITY QLD 4820 LOT 2 & 3 SP 260871

ARCHITECT/BUILDING DESIGNER
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22 Surrey St HYDE PARK Q 4812
07 4728 3228
QBCC: 1144862



HYDRAULIC CONSULTANT
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KIRWAN, 4817
PHONE - 07 4766 8363
EMAIL - admin@parkerhydraulicdesigns.com.au

CLIENT
Q. KERSH

TITLE
HYDRAULIC SERVICES BUILDING STORMWATER

JOB No.	DESIGNED	QBCC No.
25-055	MARK W PARKER	1292354
DATE	DRAWN	CHECKED
09/03/2026	JS	MWP
DWG. No.	ISSUE	
	A	

25-055-H400

SCALE IN METRES - 1:100

