



30 March 2026

Our Ref: 5190897
File Ref: OPW2026/0002
Enquiries: Luke Acreman

Dalrymple Villa Incorporated
C/ - SMCE Pty Ltd
Attn: Ryan McKenzie
18 Ingham Road
WEST END QLD 4810

Sent via email: admin@smce.net.au

Dear Ryan,

Decision Notice – Approval
(Given under Section 63 of the *Planning Act 2016*)

The assessment manager wishes to advise that the application was approved under delegated authority on 27 March 2026. The approval is subject to reasonable and relevant conditions and supported by a notice of reasons as detailed below:

Applicant details

Applicant name: Dalrymple Villa Incorporated C/- SMCE Pty Ltd (Ryan McKenzie)

Location details

Street address: 15-23 Fraser Street, Richmond Hill
Real property description: Lot 14 on SP289342
Current lawful use: Residential care facility

Application details

Application number: OPW2026/0002
Approval type: Development Permit
Development type: Operational Works
Category of assessment: Code Assessment
Description of development: Stormwater and earthworks associated with a current development approval (MCU2025/0012)
Definition of use: Residential care facility
Categorising instrument: Charters Towers Regional Town Plan Version 2

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



1. Details of the approval

Details of the approval are listed below in accordance with the *Planning Regulation 2017*.

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Conditions of approval

Condition Number	Condition	Timing																																																												
Approved Plans/Documents																																																														
1)	<p>Development is to be carried out generally in accordance with the submitted application including the following plans and supporting documentation except where amendments are required to satisfy the conditions of this approval:</p> <table border="1"> <thead> <tr> <th>Drawing Title:</th> <th>Prepared by:</th> <th>Date:</th> <th>Ref.:</th> <th>Rev.:</th> </tr> </thead> <tbody> <tr> <td>Cover Sheet</td> <td>SMCE</td> <td>8/2/2026</td> <td>C01.1</td> <td>B</td> </tr> <tr> <td>Notes and detail plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C02.1</td> <td>A</td> </tr> <tr> <td>Notes and detail plan+1</td> <td>SMCE</td> <td>8/2/2026</td> <td>C02.2</td> <td>A</td> </tr> <tr> <td>General Arrangement Layout Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C03.1</td> <td>B</td> </tr> <tr> <td>Site Survey and Demolition Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C03.2</td> <td>A</td> </tr> <tr> <td>Site and Earthworks Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C03.3</td> <td>A</td> </tr> <tr> <td>Bulk Earthworks Sections</td> <td>SMCE</td> <td>8/2/2026</td> <td>C03.4</td> <td>A</td> </tr> <tr> <td>Site Pavements Layout Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C04.1</td> <td>A</td> </tr> <tr> <td>Pavement Joints Layout Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C04.2</td> <td>A</td> </tr> <tr> <td>Roadworks and Carpark Layout Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C05.1</td> <td>B</td> </tr> <tr> <td>Stormwater Management Layout Plan</td> <td>SMCE</td> <td>8/2/2026</td> <td>C06.1</td> <td>A</td> </tr> </tbody> </table>	Drawing Title:	Prepared by:	Date:	Ref.:	Rev.:	Cover Sheet	SMCE	8/2/2026	C01.1	B	Notes and detail plan	SMCE	8/2/2026	C02.1	A	Notes and detail plan+1	SMCE	8/2/2026	C02.2	A	General Arrangement Layout Plan	SMCE	8/2/2026	C03.1	B	Site Survey and Demolition Plan	SMCE	8/2/2026	C03.2	A	Site and Earthworks Plan	SMCE	8/2/2026	C03.3	A	Bulk Earthworks Sections	SMCE	8/2/2026	C03.4	A	Site Pavements Layout Plan	SMCE	8/2/2026	C04.1	A	Pavement Joints Layout Plan	SMCE	8/2/2026	C04.2	A	Roadworks and Carpark Layout Plan	SMCE	8/2/2026	C05.1	B	Stormwater Management Layout Plan	SMCE	8/2/2026	C06.1	A	At all times
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Condition Number	Condition	Timing
2)	<ul style="list-style-type: none"> a) Comply with all conditions within this Development Permit, with conditions prevailing over the approved plan(s) and document(s) in all instances b) Meet the cost of all works associated with the development including any alterations, relocations or repairs to damaged Council infrastructure, and a) All repairs, alterations and relocations of Council infrastructure are to be in accordance with the relevant Council policy and/or Australian Standard. 	At all times
Environmental		
3)	Ensure that erosion and sedimentation control management is undertaken and maintained to prevent soil erosion and sedimentation runoff to watercourses and Council's storm water drainage system. Erosion and sediment control is to be in accordance with <i>International Erosion Control Association – Best Practice Erosion & Sediment Control guidelines</i> and the <i>Queensland Urban Drainage Manual 2017</i> .	As part of construction and thereafter
4)	The construction of the development (not operation) must be limited to 0630—1830 Monday to Saturday and not at all on Sunday and public holidays as per Section 440R of the <i>Environmental Protection Act 1994</i> . Noise generated from construction must be within the limits set by the <i>Environmental Protection Act 1994</i> and the <i>Environmental Protection (Noise) Policy 20019</i> .	At all times
5)	Ensure that: <ul style="list-style-type: none"> a) Works occur so they do not cause unreasonable interference with the amenity of adjoining premises because of noise, air or other chemical pollutants b) The premises including the adjoining Council controlled road reserve are kept in a safe, clean and tidy state, and c) All construction materials are contained wholly within the premises. 	As part of construction
6)	Do not place earth fill adjacent or in proximity to any site boundary unless: <ul style="list-style-type: none"> a) The fill is retained on the boundary with approval from Council, and b) Adjoining properties are not adversely affected with respect to a loss of privacy and safety (caused by the ability for example to look over boundary fences) and changes in the natural drainage pattern because of the works. 	As part of construction
Earthworks		
7)	All site and earthworks must: <ul style="list-style-type: none"> a) Be undertaken in accordance with AS/NZ 3798 Guidelines on Earthworks for Commercial and Residential Developments b) Be in accordance with Australian Standard 1289 Methods of Testing Soils for Engineering Purposes, c) Comprise of clean fill and be compacted to building pad standard. A Supervision certificate by a Registered Professional Engineer of Queensland must be submitted to Council upon completion of works, and 	As part of construction



Condition Number	Condition	Timing
	d) Ensure compliance with Part 3B of the Environmental Protection Act 1994, which prohibits unlawful environmental nuisance caused by dust, beyond the boundaries of the property.	
Earthworks Construction		
8)	All earthworks must be constructed in accordance with AS 3798: Guidelines on earthworks for commercial and residential developments. At the completion of works, RPEQ Certification of the works and test results are required to be provided to Council.	Prior to Works Acceptance.
RPEQ Certification for Earthworks		
9)	Within 5 business days of the completion of the work, provide RPEQ certification to Council that confirms that all earthworks have been constructed in accordance with the certified drawing	As stated.
Retaining Walls		
10)	All retaining walls must be designed in accordance with AS/NS 4678 <i>Earth-retaining structures</i> . Retaining walls must not impose loads on underground services, within allotments or external to allotments. The design and construction of retaining walls must be certified by a RPEQ experienced in this type of work.	As part of construction
Discharge of Stormwater		
11)	Discharge of Stormwater associated with development is discharged to: <ul style="list-style-type: none"> a) a lawful connection provided from the premises to Council's stormwater network; or b) land under Local Government control that has a lawful drainage function immediately adjoining to the premises; or c) an easement for drainage purpose immediately adjoining to the premises; or d) where the site cannot discharge to a, b or c, stormwater is discharged from the site in a manner that does not result in: <ul style="list-style-type: none"> i. change to the location of stormwater discharge; ii. an increase to peak flow velocity or volume; or iii. a concentration in stormwater discharge. 	At all times
Lawful Point of Discharge		
12)	All stormwater from the land must be directed to a lawful point of discharge as per the approved plan(s) such that it does not adversely affect surrounding properties or properties downstream from the development, in accordance with the Queensland Urban Drainage Manual.	At all times.
Runoff Generally		
13)	All reasonable and practicable measures must be taken to prevent pollution entering existing creeks, waterways or drainage lines, as a result of silt runoff, oil and grease spills from any machinery. Wastewater as a result of cleaning equipment must not be discharged directly or in-directly	At all times.



Condition Number	Condition	Timing
	to any watercourses, stormwater systems or private properties (in accordance with the requirements of the <i>Environmental Protection Act (1994)</i> and Best Practice Erosion & Sediment Control – IECA Australasia).	
Stormwater Certification RPEQ		
14)	Within 5 business days of the completion of the work, provide RPEQ certification to Council that confirms that all stormwater works have been constructed in accordance with the certified drawings.	As stated.

Advice Notes	
Scale or Intensity of Use	
A.	Any proposal to increase the scale or intensity of the use/new use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the <i>Planning Act 2016</i> and would have to comply with the requirements of the relevant provisions.
Aboriginal and Cultural Heritage	
B.	The <i>Aboriginal Cultural Heritage Act 2003</i> and <i>Torres Strait Islander Cultural Heritage Act 2003</i> requires anyone who carries out a land-use activity to exercise a duty of care. Land users must take all reasonable and practicable measures to ensure their activity does not harm Aboriginal or Torres Strait Islander cultural heritage. Prior to carrying out works, it is advised that you contact the Department of Aboriginal and Torres Strait Islander Partnerships on (07) 4799 7470 or by post at PO Box 5620 TOWNSVILLE QLD 4810. For further information on cultural heritage duty of care please visit: https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-duty-care
Abandoned Mine Shafts	
C.	The city of Charters Towers is subject to a significant number of abandoned mine shafts due to the former gold rush era. It is recommended that all searches be undertaken through the Queensland State Government's Department of Natural Resources Mines and Energy (DNRME) to ensure that the development is not unduly impacted upon by these shafts. The DNRME can be contacted on 13 74 68.
Workplace Health and Safety	
D.	Ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the project manager is obliged to ensure construction work is planned and managed in a way that prevents or minimises risks to the health and safety of members of the public at or near the workplace during construction work. It is the principal contractor's responsibility to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the principal contractor is obliged on a construction workplace to ensure that work activities at the workplace prevent or minimise risks to the health and safety of the public at or near the workplace during the work. It is the responsibility of the person in control of the workplace to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the person in control of the workplace is obliged to ensure there is appropriate, safe access to and from the workplace for persons other than the person's workers.
Environmental nuisance	
E.	Ensure compliance with the <i>Environmental Protection Act 1994</i> . It states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks and construction phases of



Advice Notes

this development, are to adhere to their "general environmental duty" to minimise the risk of causing environmental harm.

Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area because of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council to cause undue disturbance or annoyance to persons or affect property not connected with the use.

3. Currency period for the development application approval

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of two years.

4. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Building Works
2. Plumbing and Drainage Works

5. Referral agencies

Not applicable.

6. Submission(s)

Not applicable.

7. Notice of reasons

This notice is prepared in accordance with Section 63(5) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a development application.

Description of the development:	The proposed development is for a Operational Works - Stormwater and earthworks associated with a current development approval (MCU2025/0012)
Reasons for the decision:	The application for the Operational Works has been assessed against the relevant provisions of the North Queensland Regional Plan 2020 and the Charters Towers Regional Town Plan Version 2. It is considered that the proposal is reasonable and is recommended for approval subject to relevant conditions.
Assessment benchmarks:	The proposed development was assessed against the relevant assessment benchmarks of the North Queensland Regional Plan 2020 Charters Towers Regional Town Plan Version 2 including the:



	1) Development Works Code	
	The proposed development was assessed against all the assessment benchmarks listed about and complies with all with the exceptions listed and responded to below.	
	Assessment benchmark:	Reasons for the approval despite non-compliance with benchmark:
	Not applicable	Not applicable
Relevant matters:	Not applicable	
Matters raised in submissions:	Submission Point:	Council Response:
	Not applicable.	Not required.

8. Other requirements under section 43 of the *Planning Regulation 2017*

There are no other requirements.

9. Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision are set out in Chapter 6, Part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*). Information about how to proceed with an appeal to the Planning and Environment Court may be found on the Court's website: <http://www.courts.qld.gov.au/courts/planning-and-environment-court>.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*. The timeframes for starting an appeal in the Planning and Environment Court are set out in Section 229 and Schedule 1 of the *Planning Act 2016*.

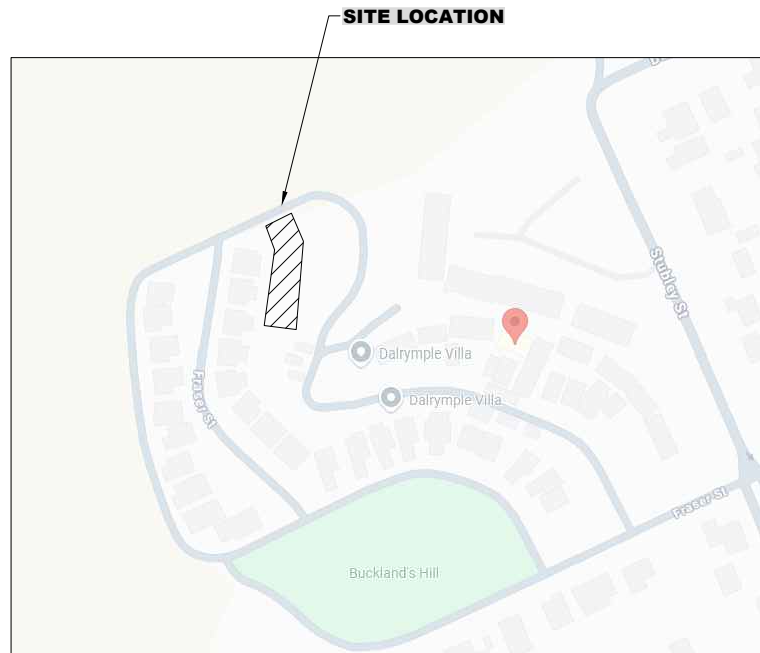
Should you wish to discuss this matter, please contact Council on (07) 4761 5300.

Yours faithfully



Timna Green
Manager Planning & Development





PROPOSED RESIDENTIAL DEVELOPMENT

DALRYMPLE VILLAS

PROPOSED UNIT DEVELOPMENT

CIVIL WORK PLANS

SITE PLAN
1:200 AT A1

FOR APPROVAL

INDEMNITY
EXISTING SERVICES NOT WITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE ENGINEER OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION AND SHALL BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGES CAUSED AS A RESULT OF THE WORKS.



STATUS	FOR APPROVAL		SCALE	CONTRACTOR
			###	
			ORIGINAL SHEET SIZE	TBC
B	CARPARK LAYOUT AMENDED- FOR APPROVAL	SMCE	12/03/2026	
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026	
	DESCRIPTION	DRAWN	DATE	A1

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STEVE MCKENZIE CONSULTANT ENGINEER
ACN 092 705 130
TOWNSVILLE 18 Ingham Rd West End Qld 4810
MACKAY 31 Gregory Street Mackay Qld 4740
BRISBANE Unit 5/ 386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT
DALRYMPLE VILLAS

PROJECT
PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342

DRAWING NAME
COVER SHEET

SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C01.1	B
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

DESIGN 25057RM.DWG February 17, 2026
Document Set ID: 5190899
Version: 1, Version Date: 26/03/2026

GENERAL NOTES

1. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
2. ALL LINEMARKING AND SIGNAGE IN ACCORDANCE WITH PART 2 MUTCD TRAFFIC CONTROL DEVICES FOR GENERAL USE

EARTHWORKS NOTES

1. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
2. EARTHWORKS ARE TO BE CARRIED OUT GENERALLY IN ACCORDANCE WITH AS3798 AND LOCAL COUNCIL DEVELOPMENT MANUAL.
3. ALL BACKFILL TO BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD MAX. DRY DENSITY TO A.S.1289 IN MAXIMUM 150mm LAYERS, UNLESS NOTED OTHERWISE
4. CONTRACTOR IS TO ENSURE SITE IS FREE DRAINING
5. EXISTING SURFACE UNDER ALL EARTHWORKS AREAS IS TO BE STRIPPED OF ALL VEGETATION TO A DEPTH OF 100mm. TOPSOIL SHALL BE REMOVED FROM SITE (IF ORDERED).
6. THE SUBGRADE OF THE STRIPPED SURFACE IS REQUIRED TO BE COMPACTED TO 98% OF THE STANDARD COMPACTION TEST
7. IMPORTED FILL (MIN. CBR15) SHALL BE STABLE, FREE FROM ORGANIC MATTER, HAVE A LINEAR SHRINKAGE NOT GREATER THAN 12%, HAVE A PLASTICITY INDEX NOT GRATER THAN 20, AND HAVE NO STONE OVER 75mm GREATEST DIMENSION, IN THE TOP 300mm OF FILLING
8. THE CONTRACTOR SHALL COMMISSION A GEOTECHNICAL TESTING AUTHORITY (TO BE APPROVED BY THE SUPERINTENDENT) TO PROVIDE LEVEL 2 TESTING SERVICES IN ACCORDANCE WITH AS3798

CONCRETE PAVEMENT NOTES:

1. SETOUT ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. SUBGRADE THE PAVEMENT SUBGRADE SHALL BE TRIMMED TO THE REQUIRED PROFILES AND COMPACTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION
3. TESTING OF PAVEMENT SUBGRADE & SUB-BASE. ALL TESTING SHALL BE PERFORMED BY AN APPROVED N.A.T.A. TESTING LABORATORY IN ACCORDANCE WITH THE SPECIFICATION
4. CONCRETE DEPTH DESIGN CRITERIA THE DESIGN PAVEMENT DEPTH AS SPECIFIED IS BASED ON A SUBGRADE SOAKED CBR VALUE OF 6% (MIN) FOR THE EXISTING BULK EARTHWORKS. CONCRETE PAVEMENT CONSTRUCTION SHALL NOT COMMENCE UNTIL THE CBR OF THE SUB-GRADE IS CONFIRMED AND THE PROPOSED PAVEMENT DEPTH AND CONCRETE SLAB THICKNESS ARE APPROVED BY THE SUPERINTENDENT.
5. REINFORCEMENT REINFORCEMENT SHALL BE AS SPECIFIED ON THE DRAWINGS AND SHALL BE CHAIRED AT 1000 c/c BOTH WAYS TO GIVE TOP COVER.
6. CONCRETE
 - 6.1. CONCRETE USED IN PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - 6.1.1. CONCRETE TO BE IN ACCORDANCE WITH AS3600
 - 6.1.2. CEMENT TO BE TYPE A ORDINARY CEMENT
 - 6.1.3. SLUMP TO BE 80mm (+/- 15mm)
 - 6.1.4. AGGREGATE TO BE CLEAN WITH A MAXIMUM SIZE OF 20mm
 - 6.1.5. CONCRETE SHALL BE GRADE N32 MINIMUM
 - 6.1.6. 90 DAY FLEXURAL STRENGTH 4.0 MPa. MINIMUM
 - 6.1.7. IF CONTRACTOR REQUIRES ACCESS TO SLAB SURFACE PRIOR TO 28 DAYS, EARLIER FLEXURAL STRENGTH SHALL BE REQUIRED AT NO ADDITIONAL COST TO THE CLIENT
 - 6.1.7.1. CONCRETE TO BE MECHANICALLY VIBRATED. THE VIBRATOR SHALL NOT BE USED TO SPREAD THE CONCRETE.
 - 6.1.7.2. CONCRETE PAVEMENT SHALL NOT BE CONSTRUCTED IN THE NARROW POINTED RE-ENTRANT AREAS i.e. THE CONCRETE SLAB SHALL BE FINISHED NEATLY SO THAT THE MINIMUM SLAB WIDTH IS 300mm.
 - 6.1.7.3. SLABS TO BE POURED IN ALTERNATE BAYS 24 HOURS APART
 - 6.1.7.4. SUB-BASE COMPACTION AND REINFORCEMENT SHALL BE CHECKED BY THE SUPERINTENDENT PRIOR TO PLACING CONCRETE.
7. CONCRETE TESTING THE CONTRACTOR SHALL CARRY OUT SAMPLING AND TESTING OF CONCRETE IN ACCORDANCE WITH THE RELEVANT STANDARDS. MINIMUM REQUIREMENT FOR CONCRETE TESTING i.e. COMPRESSIVE, SLUMP TEST AND FLEXURAL STRENGTH TO BE ONE TEST SAMPLE PER 15 cu.m. OF CONCRETE.
8. MANHOLE LIDS ALL SEWER AND STORMWATER MANHOLE STRUCTURES THAT ARE REQUIRED TO BE CONSTRUCTED WITHIN CONCRETE PAVEMENT SHALL HAVE COVERS AND FRAMES SET PRIOR TO PAVEMENT CONSTRUCTION. THE CONTRACTOR IS TO ENSURE THAT THE CONCRETE SURROUND AND LID INFILL MATCHES THE SURROUNDING CONCRETE FINISH TO THE LANDSCAPE ARCHITECT'S REQUIREMENTS. PROVIDE 2-N12 TRIMMERS x 1200 LONG AT CORNER OF PITS, LOCATED UNDER MESH OR 8-N12 TRIMMERS x 1200 LONG AT CIRCULAR STRUCTURES.

SURFACE LEVEL CODE TABLE

CODE	NAME	DESCRIPTION
FS	FINISHED SURFACE	TOP OF FINAL SURFACE
FFL	FINISHED FLOOR LEVEL	TOP OF DESIGN FLOOR LEVEL
IL	INVERT LEVEL	INVERT LEVEL OF FINAL SURFACE OR PIPE
RW	ROADWORKS SURFACE	TOP OF GRAVEL PAVEMENTS
EW	EARTHWORK SURFACE	TOP OF EARTHWORK SURFACE
SG	SUB-GRADE SURFACE	PAVEMENT SUB-GRADE SURFACE
SS	STRIPPED SURFACE	TOPSOIL STRIPPED EXISTING SURFACE
EG	EXISTING GROUND	EXISTING SURVEYED SURFACE

FOR APPROVAL



STATUS	FOR APPROVAL		
SCALE	CONTRACTOR	TBC	###
ORIGINAL SHEET SIZE	SMCE	02/08/2026	A1
DATE	DRAWN	DATE	

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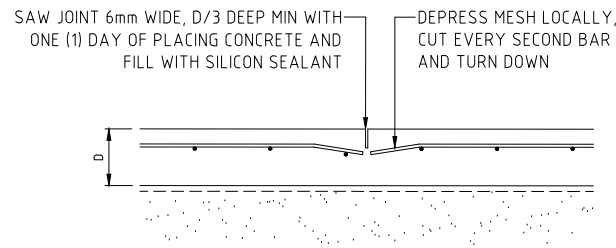
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STEVE MCKENZIE CONSULTANT ENGINEER
 ACN 092 705 130
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 MACKAY 31 Gregory Street Mackay Qld 4740
 BRISBANE Unit 5/ 386 Earnshaw Road Banyo QLD 4017
 E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS		
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342		

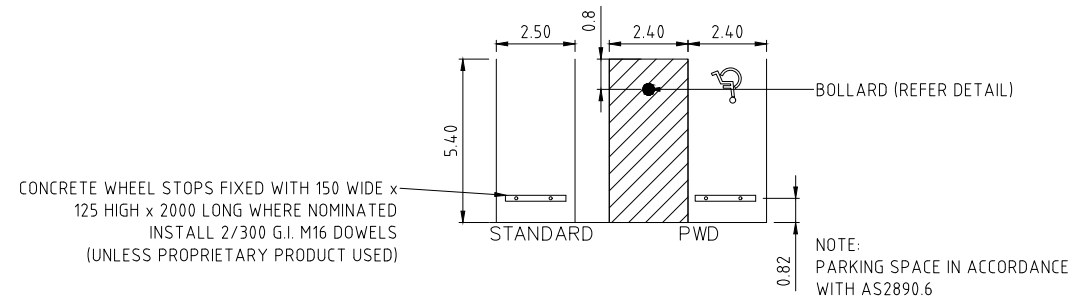
DRAWING NAME				NOTES AND DETAILS PLAN		
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C02.1	A
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

DESIGN 25057RM.DWG February 17, 2026
 Document Set ID: 5190899
 Version: 1, Version Date: 26/03/2026



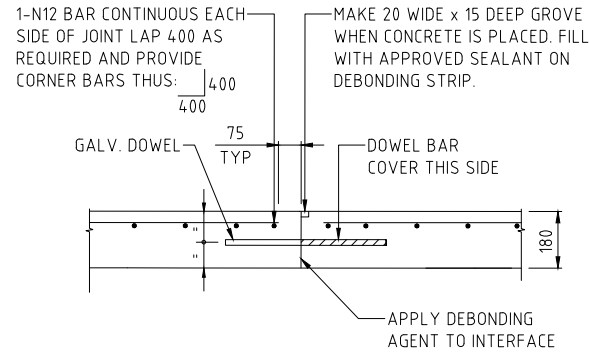
TYPICAL SAWCUT JOINT (SCJ)

NOTE: JOINT TO BE CUT WITHIN 24HOURS OF INITIAL SET
NTS



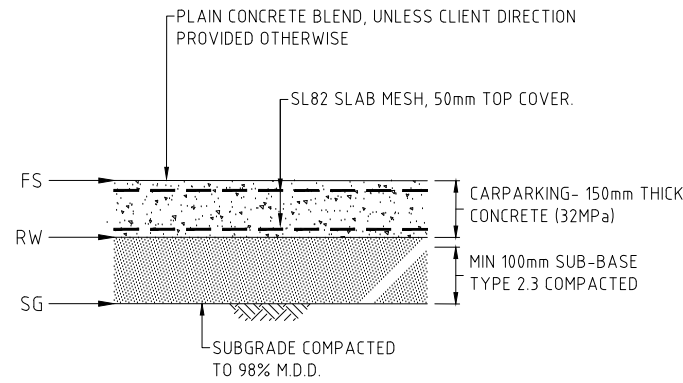
**CARPARK LINEMARKING
(WHERE REQUIRED)**

NTS



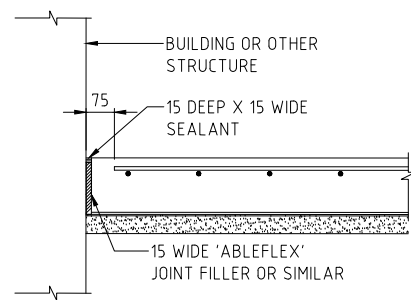
TYPICAL DOWELLED JOINT (D.J.)

NTS



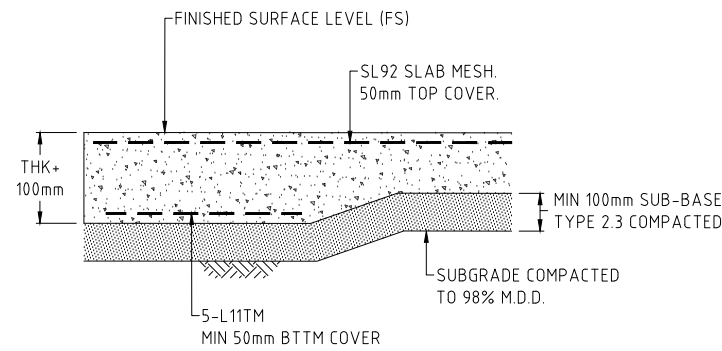
PAVEMENT TYPE 1 - CONCRETE HARDSTAND

NTS



TYPICAL ISOLATION CONSTRUCTION JOINT (ICJ)

NOTE: FOR AGAINST EDGE OF BUILDING SLAB, PROVIDE N12x600
DOWELS AT 400 CRS AT DOORWAYS
NTS



CONCRETE PAVEMENT - EDGE THICKENING DETAIL

NTS

PAVEMENT DESIGN DETAILS

DESIGN LIFE = 20 YEARS
SUBGRADE CBR = 3.0% (MIN)

FOR APPROVAL



STATUS	FOR APPROVAL	SCALE	CONTRACTOR
		###	TBC
		ORIGINAL SHEET SIZE	A1
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026
	DESCRIPTION	DRAWN	DATE

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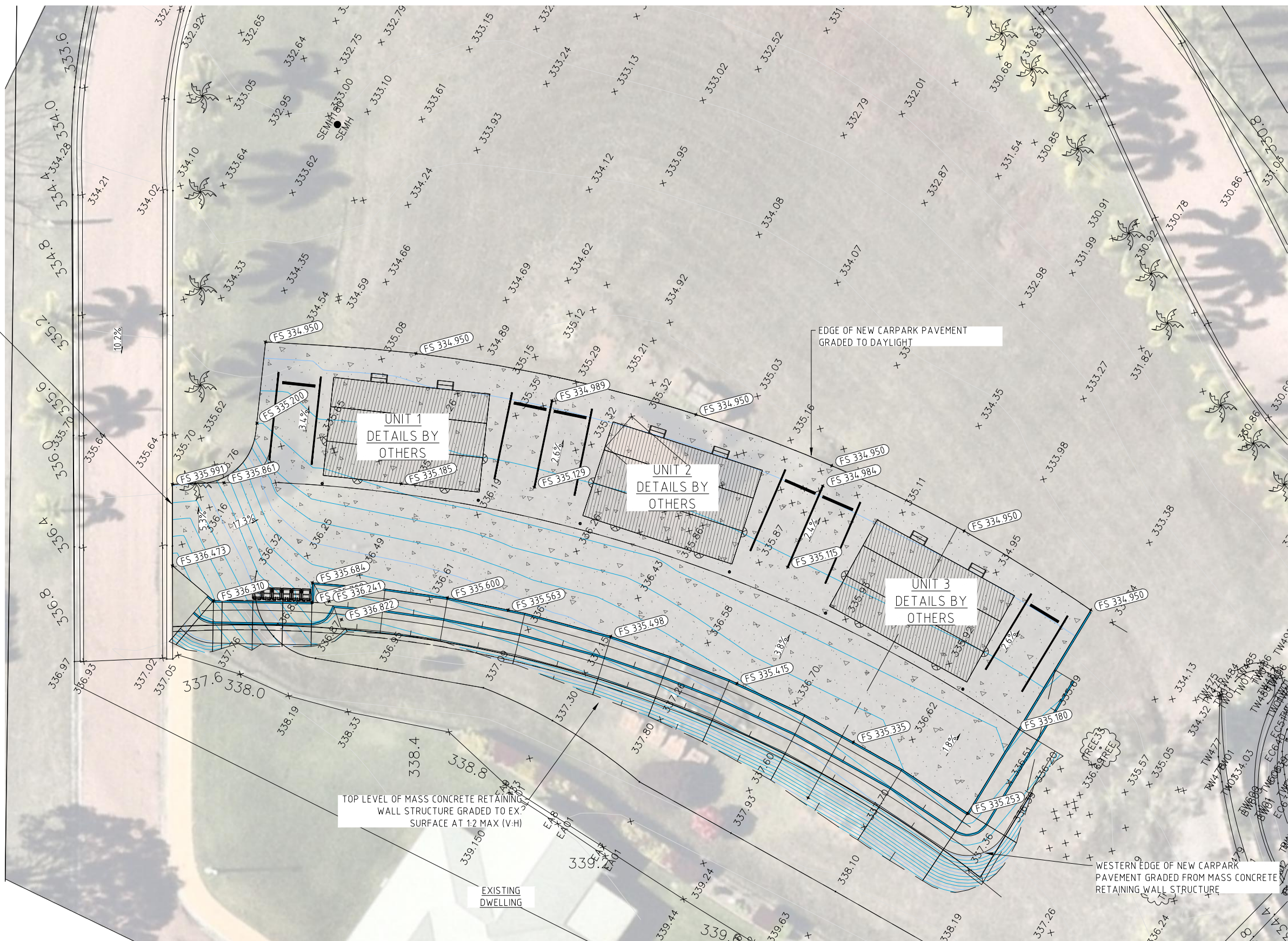
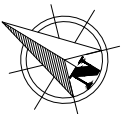


STEVE MCKENZIE CONSULTANT ENGINEER
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MACKAY 31 Gregory Street Mackay Qld 4740
BRISBANE Unit 5/ 386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	NOTES AND DETAILS PLAN+1				
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C02.2
DESIGN	SMCE	SMCE	08/02/2026		
DRAWN	SMCE	SMCE	08/02/2026		

DESIGN 25057RM.DWG February 17, 2026
Version: 1, Version Date: 26/03/2026



PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (S.C.)
- WS WATER SERVICE
- W WATERMAIN
- HD SEWER SERVICE
- S SEWER MAIN
- SW STORMWATER PIPE / CULVERT
- STORMWATER FLOW ARROW
- NEW SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- DEMOLITION AREAS
- DEMOLITION LINES
- EXISTING BUILDING / STRUCTURE
- EXISTING CONCRETE
- WS EXISTING WATER SERVICE
- W EXISTING WATERMAIN
- HC EXISTING SEWER SERVICE
- RM EXISTING SEWER RISING MAIN
- S EXISTING SEWER MAIN
- SW EXISTING STORMWATER PIPE / CULVERT
- SSD EXISTING STORMWATER PIPE / CULVERT
- O/H EXISTING OVERHEAD ELECTRICAL
- U/G EXISTING UNDERGROUND ELECTRICAL
- C EXISTING COMMUNICATIONS
- OF EXISTING OPTIC FIBRE
- EXISTING FENCE
- EXISTING ASPHALT/BITUMEN EDGE
- EXISTING RAIL
- EXISTING ROAD CROWN
- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

APPROVED PLAN
Planning and Development

DATE: 30 March 2026
APPLICATION: OPW2026/0002

STATUS	FOR APPROVAL	SCALE	CONTRACTOR
		###	TBC
		ORIGINAL SHEET SIZE	A1
B	CARPARK LAYOUT AMENDED- FOR APPROVAL	SMCE	12/03/2026
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026
	DESIGNATION	DRAWN	DATE

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CLIENT

DALRYMPLE VILLAS

PROJECT

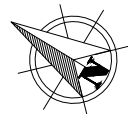
PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342

DRAWING NAME				GENERAL ARRANGEMENT LAYOUT PLAN		
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C03.1	
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			REVISION

FOR APPROVAL

DESIGN 25057RM.DWG February 17, 2026

Document Set ID: 5190899
Version: 1, Version Date: 26/03/2026



PROJECT LEGEND

	CONCRETE PAVEMENTS
	GRAVEL PAVEMENTS
	LANDSCAPING (BY OTHERS)
	BUILDING WORKS (BY OTHERS)
	DOWELLED JOINT (D.J.)
	SAWCUT JOINT (S.C.)
	WATER SERVICE
	WATERMAIN
	SEWER SERVICE
	SEWER MAIN
	STORMWATER PIPE / CULVERT
	STORMWATER FLOW ARROW
	NEW SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	DEMOLITION AREAS
	DEMOLITION LINES
	EXISTING BUILDING / STRUCTURE
	EXISTING CONCRETE
	EXISTING WATER SERVICE
	EXISTING WATERMAIN
	EXISTING SEWER SERVICE
	EXISTING SEWER RISING MAIN
	EXISTING SEWER MAIN
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING COMMUNICATIONS
	EXISTING OPTIC FIBRE
	EXISTING FENCE
	EXISTING ASPHALT/BITUMEN EDGE
	EXISTING RAIL
	EXISTING ROAD CROWN
	EXISTING BUILDING FOOTPRINT
	EXISTING TOE OF BATTER
	EXISTING TOP OF BATTER
	EXISTING GRADE CHANGE

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DEMOLITION & SITE SURVEY PLAN
1:125 AT A1

FOR APPROVAL

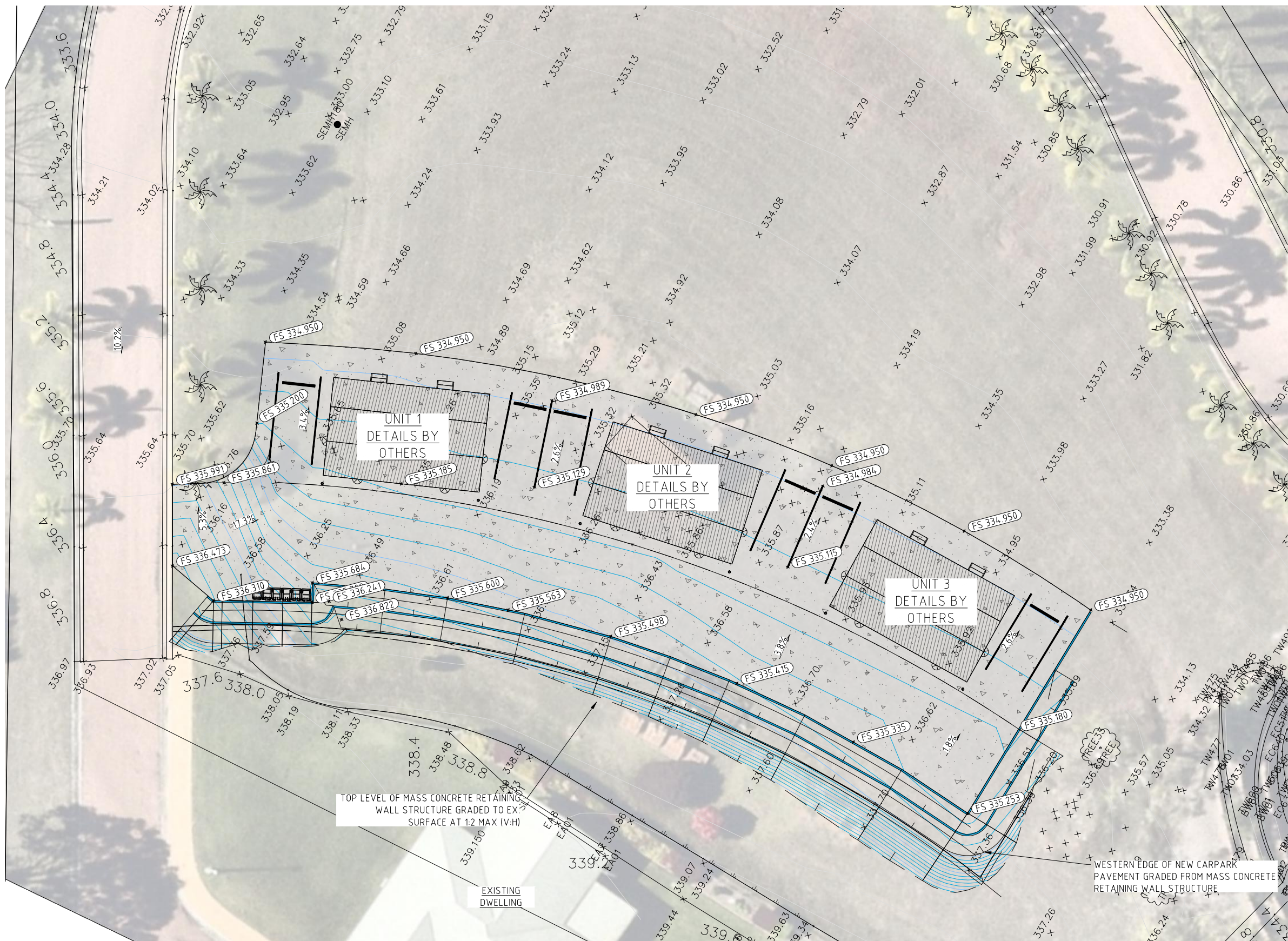
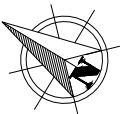
STATUS	FOR APPROVAL	SCALE	CONTRACTOR
		###	TBC
		ORIGINAL SHEET SIZE	A1
A FOR COUNCIL APPROVAL	SMCE 02/08/2026		
Document Set ID: 5190899	DRAWN DATE		
Version: 1, Version Date: 26/03/2026			

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CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME		SITE SURVEY AND DEMOLITION PLAN	
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026
	PROJECT NUMBER	DRAWING NUMBER	REVISION
	25057RM	C03.2	A



PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
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- WS WATER SERVICE
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3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



TOP LEVEL OF MASS CONCRETE RETAINING WALL STRUCTURE GRADED TO EXISTING SURFACE AT 1:2 MAX (V:H)

WESTERN EDGE OF NEW CARPARK PAVEMENT GRADED FROM MASS CONCRETE RETAINING WALL STRUCTURE

GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR	ORIGINAL SHEET SIZE	DRAWN	DATE
			TBC	A1	SMCE	02/08/2026

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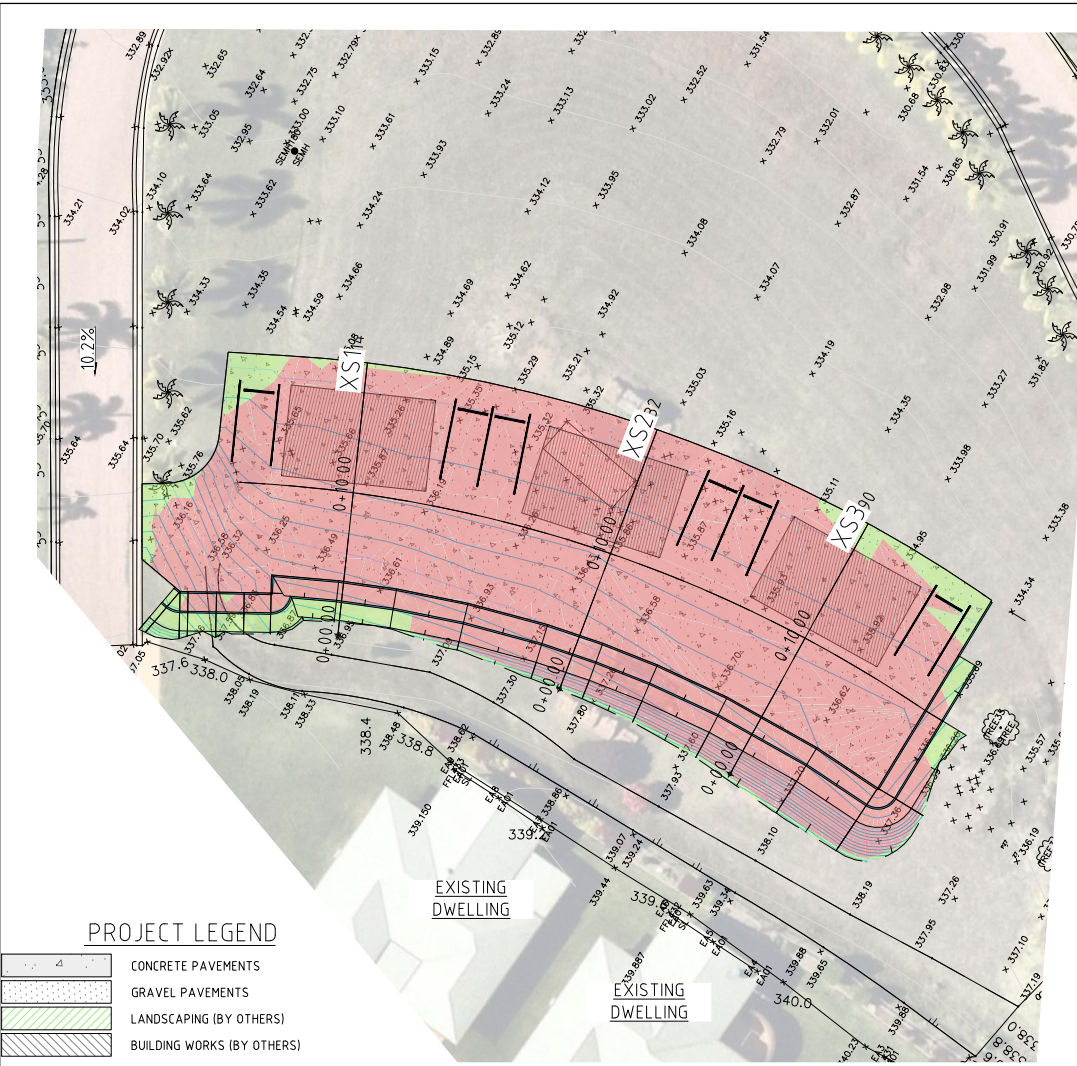
ACN 092 705 130
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BRISBANE Unit 5/386 Earnshaw Road Banyo QLD 4017
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CLIENT
DALRYMPLE VILLAS
PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	
SITE EARTHWORKS PLAN	
SIGNED: RJM	RPEQ No. 18480
DATE: 08/02/2026	DATE: 08/02/2026
REVIEW SMCE	PROJECT NUMBER
DESIGN SMCE	DRAWING NUMBER
DRAWN SMCE	REVISION

TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C03.3	A

DESIGN 25057RM.DWG February 17, 2026



GENERAL ARRANGEMENT PLAN
1:250 AT A1

PROJECT LEGEND

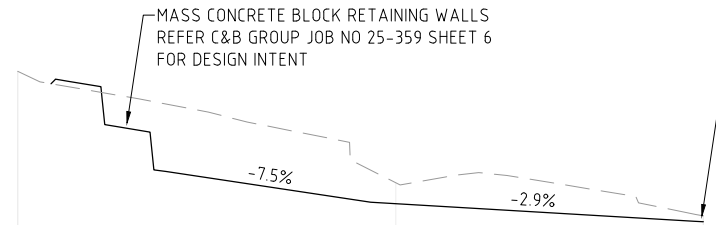
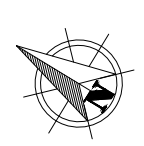
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[Symbol]	GRAVEL PAVEMENTS
[Symbol]	LANDSCAPING (BY OTHERS)
[Symbol]	BUILDING WORKS (BY OTHERS)
[Symbol]	DOWELLED JOINT (D.J.)
[Symbol]	SAWCUT JOINT (S.C.J.)
[Symbol]	WATER SERVICE
[Symbol]	WATERMAIN
[Symbol]	SEWER SERVICE
[Symbol]	SEWER MAIN
[Symbol]	STORMWATER PIPE / CULVERT
[Symbol]	STORMWATER FLOW ARROW
[Symbol]	NEW SURFACE CONTOURS
[Symbol]	EXISTING SURFACE CONTOURS
[Symbol]	DEMOLITION AREAS
[Symbol]	DEMOLITION LINES
[Symbol]	EXISTING BUILDING / STRUCTURE
[Symbol]	EXISTING CONCRETE
[Symbol]	EXISTING WATER SERVICE
[Symbol]	EXISTING WATERMAIN
[Symbol]	EXISTING SEWER SERVICE
[Symbol]	EXISTING SEWER RISING MAIN
[Symbol]	EXISTING SEWER MAIN
[Symbol]	EXISTING STORMWATER PIPE / CULVERT
[Symbol]	EXISTING STORMWATER PIPE / CULVERT
[Symbol]	EXISTING OVERHEAD ELECTRICAL
[Symbol]	EXISTING UNDERGROUND ELECTRICAL
[Symbol]	EXISTING COMMUNICATIONS
[Symbol]	EXISTING OPTIC FIBRE
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING ASPHALT/BITUMEN EDGE
[Symbol]	EXISTING RAIL
[Symbol]	EXISTING ROAD CROWN
[Symbol]	EXISTING BUILDING FOOTPRINT
[Symbol]	EXISTING TOE OF BATTER
[Symbol]	EXISTING TOP OF BATTER
[Symbol]	EXISTING GRADE CHANGE

PAVEMENT & FILL CUT/ FILL SUMMARY (FS - EG)

Band	From Depth	To Depth	Volume	Range
1	-2.000	0.000	495m ³	[Red Box]
2	0.000	1.000	14m ³	[Green Box]

- DESIGN NOTES**
- QUANTITIES LISTED ABOVE ARE THE ESTIMATED UNBULKED VOLUMES FROM THE EXISTING SURFACE TO THE DESIGN FINAL SURFACE
 - REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
 - ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

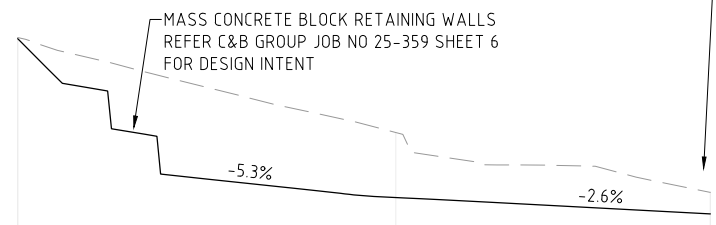
- GENERAL NOTES**
- ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
 - REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
 - ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



DATUM 332.00

	1	2	3	4	5	6	7	8	9	10
FINISHED (FS)	336.574	336.400	336.269	336.000	335.465	335.436	335.562	335.562	335.283	335.046
EXISTING (EG)	336.57	336.40	336.27	336.00	335.46	335.44	335.56	335.56	335.28	335.05
CHAINAGE	3.202	5.043	6.067	8.776	10.000	10.114	11.532	12.943	16.347	17.942

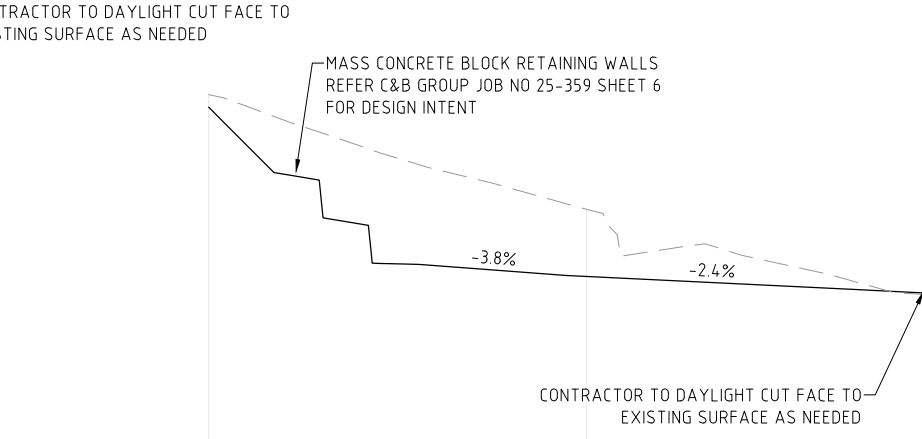
XS1 LONG SECTION



DATUM 332.00

	1	2	3	4	5	6	7	8	9	10
FINISHED (FS)	337.111	336.962	336.800	336.509	336.171	336.025	336.000	335.630	335.595	335.580
EXISTING (EG)	337.11	336.96	336.80	336.51	336.17	336.02	336.00	335.63	335.59	335.58
CHAINAGE	1.050	2.346	3.572	5.914	8.886	10.000	10.187	12.202	13.899	15.275

XS2 LONG SECTION



DATUM 332.00

	1	2	3	4	5	6	7	8	9	10
FINISHED (FS)	337.200	336.986	336.800	336.605	336.400	336.118	336.057	335.838	335.567	335.447
EXISTING (EG)	337.20	336.99	336.80	336.61	336.40	336.12	336.06	335.84	335.57	335.45
CHAINAGE	2.184	3.471	4.544	5.841	7.524	9.535	10.000	10.584	12.611	14.106

XS3 LONG SECTION

FOR APPROVAL

STATUS	FOR APPROVAL
SCALE	###
CONTRACTOR	TBC
ORIGINAL SHEET SIZE	A1
FOR COUNCIL APPROVAL	SMCE 02/08/2026
DESIGNATION	SMCE
DRAWN	DATE

CONTRACTOR	TBC
------------	-----

APPROVED PLAN
Planning and Development
DATE: 30 March 2026
APPLICATION: OPW2026/0002

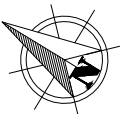
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MACCKAY 31 Gregory Street Mackay Qld 4740
BRISBANE Unit 5/386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT
DALRYMPLE VILLAS
PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME BULK EARTHWORKS SECTIONS			
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026
PROJECT NUMBER	25057RM	DRAWING NUMBER	C03.4
REVISION			A

DESIGN 25057RM.DWG February 17, 2026
Document Set ID: 5190899
Version: 1, Version Date: 26/03/2026



PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (S.C.)
- WS WATER SERVICE
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- HD SEWER SERVICE
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- SW STORMWATER PIPE / CULVERT
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- U/G EXISTING UNDERGROUND ELECTRICAL
- C EXISTING COMMUNICATIONS
- OF EXISTING OPTIC FIBRE
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- EXISTING RAIL
- EXISTING ROAD CROWN
- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
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- EXISTING GRADE CHANGE

GENERAL NOTES

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2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
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GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR	###	ORIGINAL SHEET SIZE	TBC	A1
FOR COUNCIL APPROVAL		SMCE	02/08/2026				
DESIGN	SMCE	SMCE	08/02/2026				
DRAWN	SMCE	SMCE	08/02/2026				

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STEVE MCKENZIE CONSULTANT ENGINEER

ACN 092 705 130

TOWNSVILLE MACKAY BRISBANE

18 Ingham Rd 31 Gregory Street Unit 5/ 386 Earnshaw Road

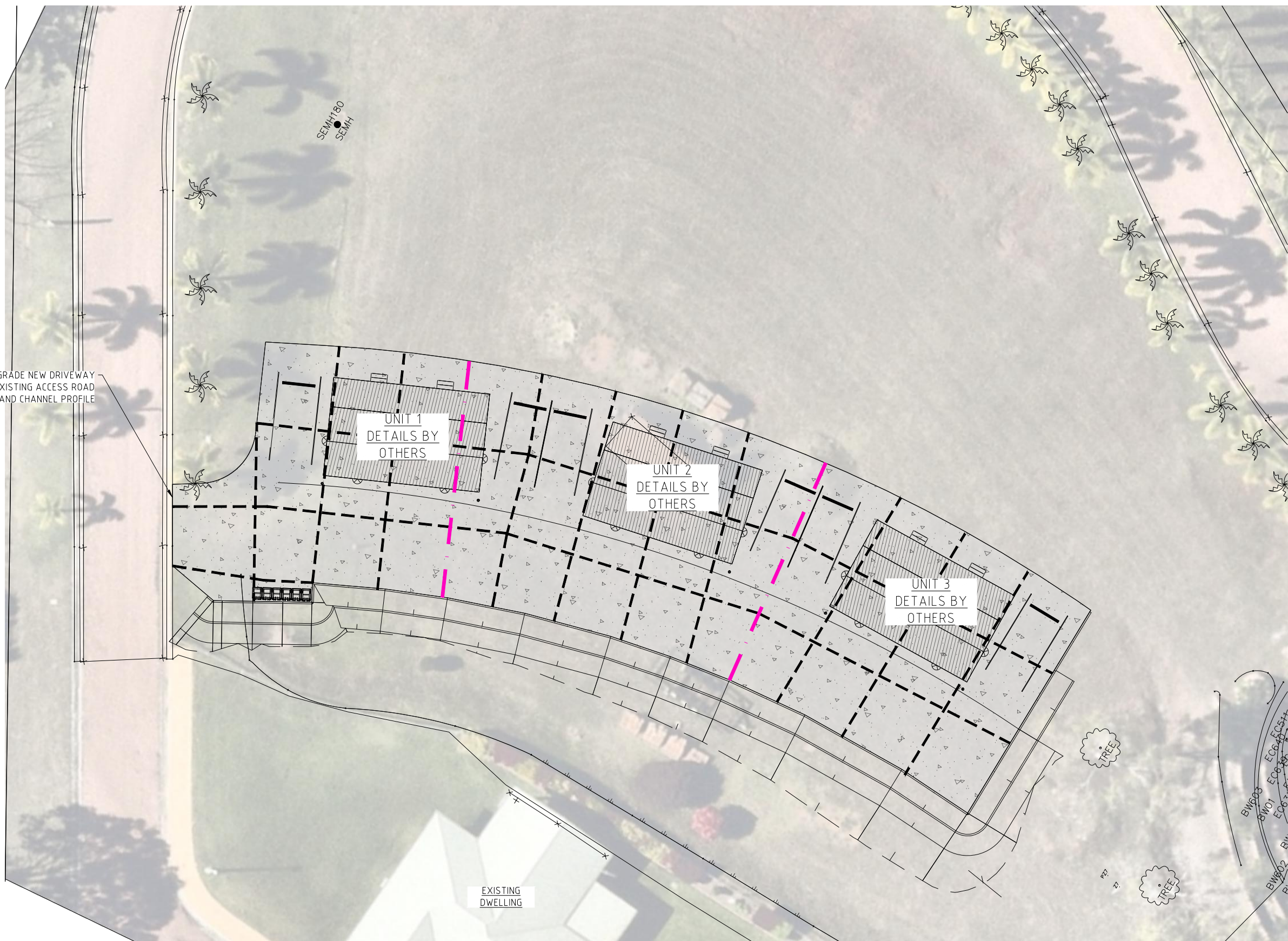
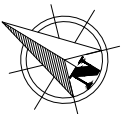
West End Qld 4810 Mackay Qld 4740 Banyo QLD 4017

E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	SITE PAVEMENTS LAYOUT PLAN
SIGNED:	RJM
RPEQ No.	18480
DATE:	08/02/2026
TASK	BY INITIAL DATE
REVIEW	SMCE SMCE 08/02/2026
DESIGN	SMCE SMCE 08/02/2026
DRAWN	SMCE SMCE 08/02/2026
PROJECT NUMBER	25057RM
DRAWING NUMBER	C04.1
REVISION	A

DESIGN 25057RM.DWG February 17, 2026



CONTRACTOR TO GRADE NEW DRIVEWAY ACCESS WITH EXISTING ACCESS ROAD KERB AND CHANNEL PROFILE

UNIT 1
DETAILS BY
OTHERS

UNIT 2
DETAILS BY
OTHERS

UNIT 3
DETAILS BY
OTHERS

EXISTING DWELLING

PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (S.C.)
- WATER SERVICE
- WATERMAIN
- SEWER SERVICE
- SEWER MAIN
- STORMWATER PIPE / CULVERT
- STORMWATER FLOW ARROW
- NEW SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- DEMOLITION AREAS
- DEMOLITION LINES
- EXISTING BUILDING / STRUCTURE
- EXISTING CONCRETE
- EXISTING WATER SERVICE
- EXISTING WATERMAIN
- EXISTING SEWER SERVICE
- EXISTING SEWER RISING MAIN
- EXISTING SEWER MAIN
- EXISTING STORMWATER PIPE / CULVERT
- EXISTING STORMWATER PIPE / CULVERT
- EXISTING OVERHEAD ELECTRICAL
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING COMMUNICATIONS
- EXISTING OPTIC FIBRE
- EXISTING FENCE
- EXISTING ASPHALT/BITUMEN EDGE
- EXISTING RAIL
- EXISTING ROAD CROWN
- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR	###	ORIGINAL SHEET SIZE	TBC	A1
FOR COUNCIL APPROVAL		SMCE	02/08/2026				
DESIGNATION		DRAWN	DATE				

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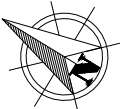
CLIENT
DALRYMPLE VILLAS

PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME		PAVEMENT JOINTS LAYOUT PLAN	
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026

PROJECT NUMBER	DRAWING NUMBER	REVISION
25057RM	C04.2	A

DESIGN 25057RM.DWG February 17, 2026



PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (S.C.)
- WATER SERVICE
- WATERMAIN
- SEWER SERVICE
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- NEW SURFACE CONTOURS
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- EXISTING STORMWATER PIPE / CULVERT
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- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
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3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR	ORIGINAL SHEET SIZE	DRAWN	DATE
			TBC	A1		
B	CARPARK LAYOUT AMENDED- FOR APPROVAL				SMCE	12/03/2026
A	FOR COUNCIL APPROVAL				SMCE	02/08/2026

CONTRACTOR	ORIGINAL SHEET SIZE	DRAWN	DATE
TBC	A1		

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PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME ROADWORKS AND CARPARK LAYOUT PLAN				SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C05.1	B
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

DESIGN 25057RM.DWG February 17, 2026
Document Set ID: 5190899
Version: 1, Version Date: 26/03/2026



EX. OVERLAND STORMWATER RUNOFF

EX. OVERLAND STORMWATER RUNOFF

EX. OVERLAND STORMWATER RUNOFF

UNIT 1
DETAILS BY
OTHERS

UNIT 2
DETAILS BY
OTHERS

UNIT 3
DETAILS BY
OTHERS

600mm WIDE CONCRETE INVERT DRAIN (TMR TYPE22)
CONSTRUCTED ALONG TOP OF MASS CONCRETE
RETAINING WALLS
REFER C&B GROUP DESIGN DRAWING 25-359 SHEET
6 FOR INTENT

ROCK BLANKET $D_{50} > 150(1m \times 1m \times 0.2)$
OUTLET PROTECTION TO 600mm WIDE INVERT DRAIN

EXISTING
DWELLING

STORMWATER MANAGEMENT PLAN
1:125 AT A1

PROJECT LEGEND

	CONCRETE PAVEMENTS
	GRAVEL PAVEMENTS
	LANDSCAPING (BY OTHERS)
	BUILDING WORKS (BY OTHERS)
	DOWELLED JOINT (D.J.)
	SAWCUT JOINT (S.C.)
	WATER SERVICE
	WATERMAIN
	SEWER SERVICE
	SEWER MAIN
	STORMWATER PIPE / CULVERT
	STORMWATER FLOW ARROW
	NEW SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	DEMOLITION AREAS
	DEMOLITION LINES
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	EXISTING CONCRETE
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	EXISTING SEWER MAIN
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	EXISTING STORMWATER PIPE / CULVERT
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING COMMUNICATIONS
	EXISTING OPTIC FIBRE
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	EXISTING TOE OF BATTER
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3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR
		###	TBC
		ORIGINAL SHEET SIZE	A1
A FOR COUNCIL APPROVAL	SMCE 02/08/2026		
DESIGNATION	DRAWN DATE		

CONTRACTOR	TBC
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PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME STORMWATER MANAGEMENT LAYOUT PLAN			
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026
	PROJECT NUMBER	DRAWING NUMBER	REVISION
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Planning Act 2016

Reprint current from 2 August 2024

Chapter 6 > Part 1

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against a decision of the Minister, under chapter 7, part 4, to amend the registration of premises to include additional land in the affected area for the premises—20 business days after the day a notice is published under section 269A(2)(a); or
 - (e) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (f) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the

applicant gives the deemed approval notice to the assessment manager; or

- (g) for an appeal relating to the Plumbing and Drainage Act 2018—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the Plumbing and Drainage Act 2018, section 143(2)(a) (i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the Plumbing and Drainage Act 2018—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the Plumbing and Drainage Act 2018—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and

- (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
- (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.