

From: "Ryan McKenzie" <ryan@smce.net.au>
Sent: Tue, 17 Feb 2026 13:01:29 +1000
To: "ctrdailyemail" <mail@charterstowers.qld.gov.au>
Cc: "SMCE | ADMIN" <admin@smce.net.au>
Subject: (25057RM) Operational Works application- 15 Fraser Street, Richmond Hill
Attachments: 25057RM DA Form 1.pdf, 25057RM Ltr CRTC OPW submission V2.pdf, 25-359SK2 - SH6.pdf, DA20250128_DA Approval.pdf, 25057RM CIVIL OPW 26-02-17.pdf

Hello Council

On behalf of the Developer and Contractor, SMCE has collated the required information to support an Operational Works application to the above address to undertake private civil works to facilitate the future building works.

We include (to this email):

1. Application Form,
2. SMCE certification letter for the scope of site activities, with construction cost estimate
3. SMCE Civil design drawings
4. C&B Group Design drawing for the mass concrete block wall details
5. CRTC Development Approval for MCU

Should you require any further information as part of the application, or wish to discuss any aspect of the submission, please don't hesitate to contact me via the details below.

We look forward to your review and approval.



Ryan McKenzie | Principal Engineer

BEng MIEAust CPEng NER
RPEQ, NPEV
TAS Building Services
NTBPB, RIW MAICD IPWEA

**Civil, Structural & Renewable Energy
CRR Consulting Engineer Design Partner**

P: 07 4724 4551 **M:** 0417 649 942

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DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) (individual or company full name)	DALRYMPLE VILLAS
Contact name (only applicable for companies)	C/- SMCE PTY LTD
Postal address (P.O. Box or street address)	18 INGHAM ROAD
Suburb	WEST END
State	QUEENSLAND
Postcode	4810
Country	AUSTRALIA
Contact number	07 47244551
Email address (non-mandatory)	ADMIN@SMCE.NET.AU
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	25057RM

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
 No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		15-23	FRASER STREET	RICHMOND HILL
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	13	SP289342	CHARTERS TOWERS REGIONAL COUNCIL
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

CIVIL WORKS (EARTHWORKS, STORMWATER DRAINAGE, CARPARKING) FOR THREE UNIT DWELLINGS

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use Yes – complete division 1 if assessable against a local planning instrument

Reconfiguring a lot Yes – complete division 2

Operational work Yes – complete division 3

Building work Yes – complete *DA Form 2 – Building work details*

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?

Yes

No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

Yes – provide details below or include details in a schedule to this development application

No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

Subdivision *(complete 10)*

Dividing land into parts by agreement *(complete 11)*

Boundary realignment *(complete 12)*

Creating or changing an easement giving access to a lot from a constructed road *(complete 13)*



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$137,500 for the documented scope on 25057RM civil drawings

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

CHARTERS TOWERS REGIONAL COUNCIL

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application
 I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	5150502	17 DECEMBER 2025	CHARTERS TOWERS REGIONAL COUNCIL
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
 No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



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25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

26 February 2025

Charters Towers Regional Council
PO BOX189
CHARTERS TOWERS QLD 4820

Dear Council,

**15-23 FRASER STREET, RICHMOND HILL (LOT 13 SP289342)
COUNCIL MCU2025/0012
CIVIL DESIGN CERTIFICATION AND CONSTRUCTION COST SUMMARY**

Council

Apropos the above development, SMCE has prepared engineering drawings to support an Operational Works application sought over the subject site. In particular, the prepared civil design addresses Section 8.3.1- Development Code and Planning Scheme Policy 4.2 of the development Works Town Plan Policy.

The civil works cost component for addressing the conditions of development is costed at less than **\$137,500** including GST, outlined by a construction cost summary below prepared as part of this submission.

<u>General</u> – Private Works	\$5,000+GST
ERSED controls, dust management, dumped rock controls Contractor insurance, signage, WPHS	
<u>Site Earthworks</u> – Private Works	\$30,000+GST
Bulk earthworks, cut to subgrade Installation of mass concrete blocks as retaining structures (<i>free issue</i>)	
<u>Carpark Works</u> – Private Works	\$90,000+GST
Reinforced concrete pavements, for carparking and roadways Linemarking to AS2890.1, with proprietary wheel stops	
Total	\$125,000+GST \$137,500 Incl. GST

The Application Fee due to Council has been calculated as **\$1,250** plus 1.5% of \$137,500 (**\$2,062.50**) , calculating to a fee of **\$3,312.50**.

The Applicant will finalise payment of the above in the imminent future once Council confirm the OPW reference details.

Please call Mr. Ryan McKenzie of the Townsville office on (07) 4724 4551 if you wish to discuss further.

Yours faithfully,



Mr. Ryan McKenzie
Principal Engineer

BEng (Hons)

MIEAust CPEng NER

RPEQ 18480 (Civil/Structural)

NPEV (Civil & Structural)

TAS Building Services 100244417 (Civil & Structural)

NTBPB

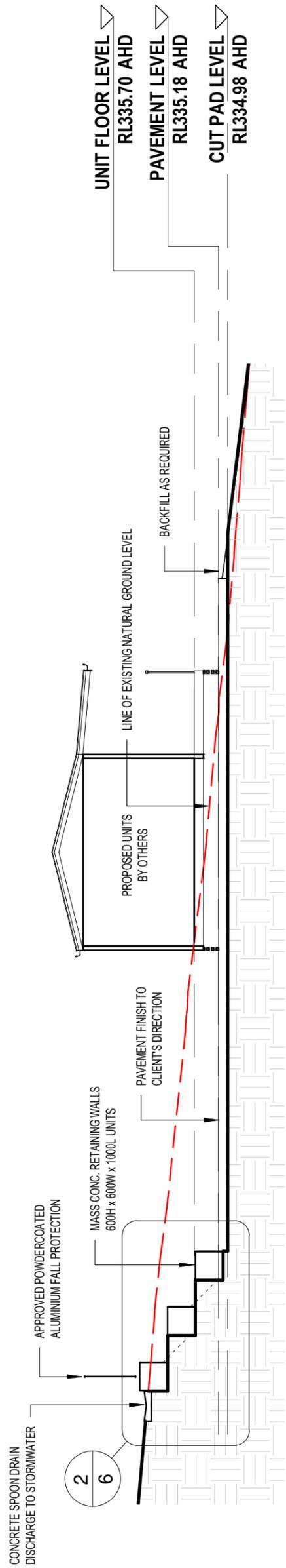
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WET/ SARC

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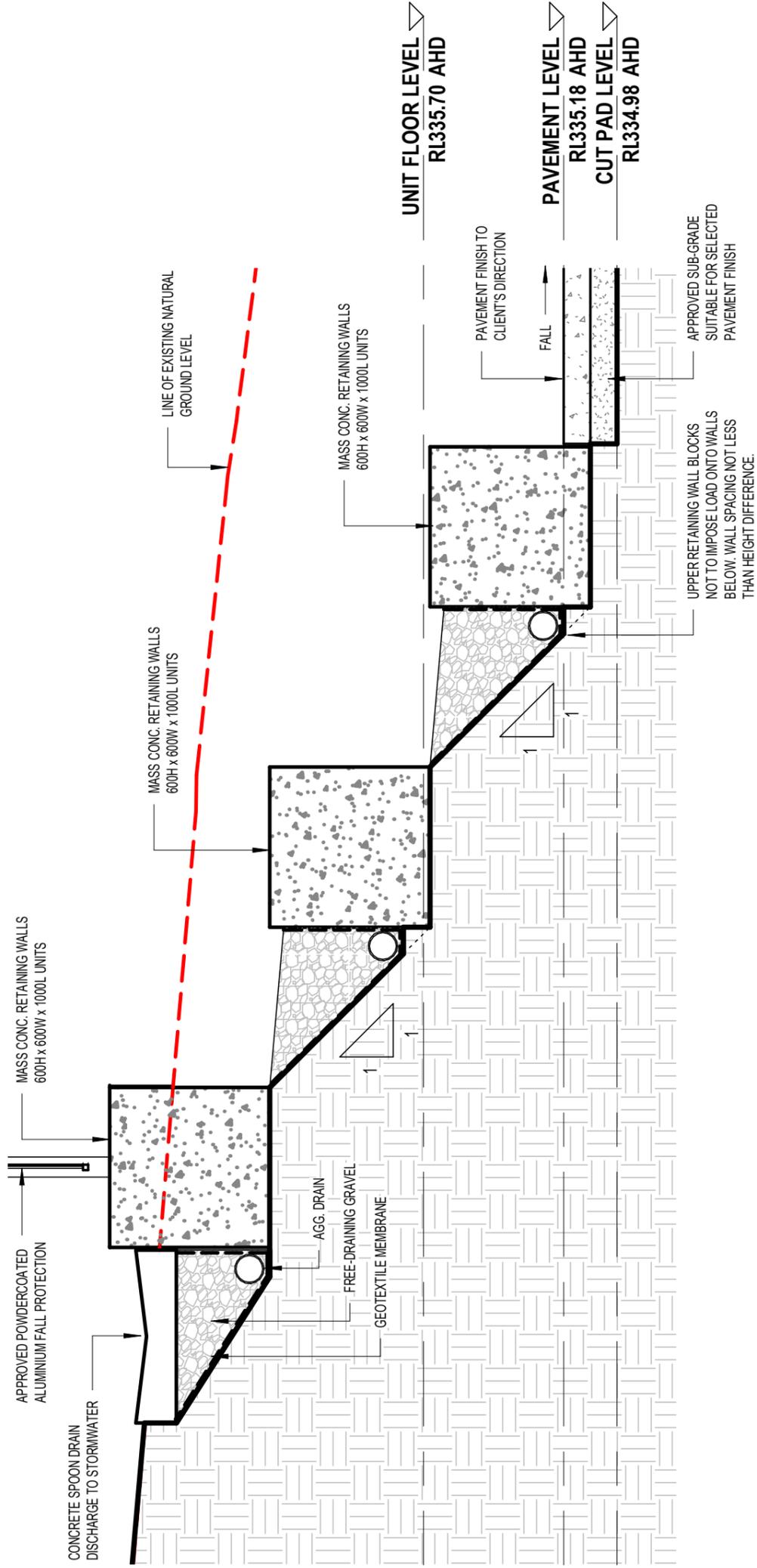
Institution of Civil Engineers 85382795 (UK)



TYPICAL SECTION

1 : 100 AT A3 SHEET SIZE

1



RETAINING WALL SECTION

1 : 20 AT A3 SHEET SIZE

2

PROJECT ISSUE & DESCRIPTION

P4 - PRELIMINARY ISSUE - 04-12-2025

PRELIMINARY

NOTES:

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PROJECT:
PLANNING APPLICATION -
TEMP. STAFF UNITS

CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

BUILDER:

DATE:	4/12/2025 2:04:23 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:	As indicated	
SHEET No.	6	CLIENT JOB NO.



17 December 2025

Our Ref: 5150502
File Ref: MCU2025/0012
Enquiries: Luke Acreman

Dalrymple Villa Incorporated
C/ - Buildable Approvals
Attn: Joe Sevillano
701 Albany Creek Road
ALBANY CREEK QLD 4035

Sent via email: townplanning@buildable.com.au

Dear Joe,

Decision Notice – Approval
(Given under Section 63 of the *Planning Act 2016*)

The assessment manager wishes to advise that the application was approved under delegated authority on 17 December 2025. The approval is subject to reasonable and relevant conditions and supported by a notice of reasons as detailed below:

Applicant details

Applicant name: Dalrymple Villa Incorporated C/- Buildable Approvals (Joe Sevillano)

Location details

Street address: 15-23 Fraser Street, Richmond Hill
Real property description: Lot 13 on SP289342
Current lawful use: Retirement Facility

Application details

Application number: MCU2025/0012
Approval type: Development Permit
Development type: Material Change of Use
Category of assessment: Code Assessment
Description of development: Extension to Retirement Facility - Construction of 6 units in 3 buildings
Definition of use: Retirement Facility
Categorising instrument: Charters Towers Regional Town Plan Version 2

1. Details of the approval

Details of the approval are listed below in accordance with the *Planning Regulation 2017*.

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Conditions of approval

Condition Number	Condition	Timing																																																																						
Approved Plans/Documents																																																																								
1.	<p>Development is to be carried out generally in accordance with the submitted application including the following plans and supporting documentation except where amendments are required to satisfy the conditions of this approval:</p> <table border="1"> <thead> <tr> <th>Drawing Title:</th> <th>Prepared by:</th> <th>Date:</th> <th>Ref No.</th> <th>Rev.:</th> </tr> </thead> <tbody> <tr> <td>Locality Plan</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 1</td> <td>P4</td> </tr> <tr> <td>Site Survey Plan</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 2</td> <td>P4</td> </tr> <tr> <td>Site Plan (amended in red)</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 3</td> <td>P4</td> </tr> <tr> <td>Development 3D</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 4</td> <td>P4</td> </tr> <tr> <td>Site Works 3D</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 5</td> <td>P4</td> </tr> <tr> <td>Typical and Retaining Wall Section</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 6</td> <td>P4</td> </tr> <tr> <td>Landscaping Plan</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 7</td> <td>P4</td> </tr> <tr> <td>Example Rock Gardens</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 8</td> <td>P4</td> </tr> <tr> <td>Vehicle Turning Paths (amended in red)</td> <td>C&B Designs</td> <td>04/12/2025</td> <td>Sheet No. 9</td> <td>P4</td> </tr> <tr> <td>Floor Plan</td> <td>Asset Cabins & Homes</td> <td>09/10/2025</td> <td>Sheet No. 1</td> <td>-</td> </tr> <tr> <td>Elevations 1,2</td> <td>Asset Cabins & Homes</td> <td>09/10/2025</td> <td>Sheet No. 2</td> <td>-</td> </tr> <tr> <td>Elevations 3,4</td> <td>Asset Cabins & Homes</td> <td>09/10/2025</td> <td>Sheet No. 3</td> <td>-</td> </tr> <tr> <td>3D Views</td> <td>Asset Cabins & Homes</td> <td>09/10/2025</td> <td>Sheet No. 4</td> <td>-</td> </tr> </tbody> </table>	Drawing Title:	Prepared by:	Date:	Ref No.	Rev.:	Locality Plan	C&B Designs	04/12/2025	Sheet No. 1	P4	Site Survey Plan	C&B Designs	04/12/2025	Sheet No. 2	P4	Site Plan (amended in red)	C&B Designs	04/12/2025	Sheet No. 3	P4	Development 3D	C&B Designs	04/12/2025	Sheet No. 4	P4	Site Works 3D	C&B Designs	04/12/2025	Sheet No. 5	P4	Typical and Retaining Wall Section	C&B Designs	04/12/2025	Sheet No. 6	P4	Landscaping Plan	C&B Designs	04/12/2025	Sheet No. 7	P4	Example Rock Gardens	C&B Designs	04/12/2025	Sheet No. 8	P4	Vehicle Turning Paths (amended in red)	C&B Designs	04/12/2025	Sheet No. 9	P4	Floor Plan	Asset Cabins & Homes	09/10/2025	Sheet No. 1	-	Elevations 1,2	Asset Cabins & Homes	09/10/2025	Sheet No. 2	-	Elevations 3,4	Asset Cabins & Homes	09/10/2025	Sheet No. 3	-	3D Views	Asset Cabins & Homes	09/10/2025	Sheet No. 4	-	At all times
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Condition Number	Condition	Timing
General		
2.	a) Comply with all conditions within this Development Permit with conditions prevailing over the approved plan(s) and document(s) in all instances b) Meet the cost of all works associated with the development including any alterations, relocations or repairs to damaged Council infrastructure, and c) All repairs, alterations and relocations of Council infrastructure are to be in accordance with the relevant Council policy and/or Australian Standard.	At all times
Damage		
3.	d) The developer is responsible for the repair of any damage that is caused to Council's infrastructure as a result of the proposed development. The developer must make any damage safe and then notify Council immediately. Council will make the decision as to who will carry out the rectification works and the timing for the completion of those works.	At all times
Currency of approval		
4.	This approval, granted under the provisions of the <i>Planning Act 2016</i> , shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of 85 of the Planning Act 2016.	At all times
Environmental		
5.	Ensure that erosion and sedimentation control management is undertaken and maintained to prevent soil erosion and sedimentation runoff to watercourses and Council's storm water drainage system. Erosion and sediment control is to be in accordance with <i>International Erosion Control Association – Best Practice Erosion & Sediment Control guidelines</i> and the <i>Queensland Urban Drainage Manual 2017</i> .	At all times
6.	Ensure that: a) The development does not cause unreasonable interference with the amenity of adjoining premises because of noise, air or other chemical pollutants; The premises including the adjoining Council controlled road reserve are kept in a safe, clean and tidy state, and	At all times
Operational Works		
7.	A Development Permit for Operational Works must be obtained from Council prior to the commencement of construction. The Development Application for Operational Works is to include the following: a) Earthworks	Prior to building works commencing



Condition Number	Condition	Timing
8.	The Development Application for Operational Works is to be designed and constructed in accordance with Australian Standards, the Development Works Code inclusive of Schedule 4.2 Development Works Planning Scheme Policy of the Charters Towers Regional Town Plan, <i>STRAT0028/Roads Infrastructure Road Risk Management Strategic Policy</i> and any other applicable standards at the time of lodgement. All Operational Works that relate to this development must be accepted as on maintenance by Council.	As part Operational Works
Building, Plumbing and Drainage Works		
9.	Obtain a Development Permit and Building Final for Building Works in accordance with the <i>Planning Act 2016</i> . Construction is to comply with the <i>Building Act 1975</i> , the <i>National Construction Code</i> and the requirements of other relevant authorities.	Prior to construction
10.	Obtain a Permit for Plumbing and Drainage Works and Final Inspection Certificate in accordance with the <i>Plumbing and Drainage Act 2018</i> and the <i>Plumbing and Drainage Regulation 2019</i> . Construction is to comply with the <i>National Construction Code: Volume Three – Plumbing Code of Australia 2019</i> , the <i>Queensland Plumbing and Waste Water Code 1: 2019</i> and the requirements of other relevant authorities.	Prior to construction
Parking and access		
11.	The driveway to the site must be constructed and maintained in accordance with <i>AS2890.1 Off-Street Car Parking</i> , and must be certified by a suitably qualified RPEQ Engineer.	As part of construction, and at all times
12.	A total of 6 car parking spaces are to be constructed on site generally in accordance with the approved plans, including designated disabled car parking spaces. These spaces and all vehicle movement areas are to be constructed, sealed, line marked, provided with wheel stops and maintained in accordance with <i>AS2890.1 Off-Street Car Parking</i> . The parking design must be certified by a suitably qualified RPEQ Engineer.	As part of construction, and at all times
Waste Management		
13.	Waste storage area/s are to house all waste collection containers including recycling waste containers. The waste storage area/s must not be visible from the road frontages.	At all times
External Lighting		
14.	Any outdoor lighting fixtures must be installed and maintained so that they do not emit glare or light above the levels stated in <i>Australian Standard 4282:2023 – Control of the obtrusive effects of outdoor lighting</i> .	Prior to commencement of use and to be maintained



Condition Number	Condition	Timing
Landscaping		
15.	Landscaping works and plant selection are to be undertaken to ensure: <ol style="list-style-type: none"> Climatically appropriate species are planted; Planting densities and stock sizes are suitable for their location, purpose and hardiness; and Landscape elements do not interfere with sightlines 	As part of landscaping works and to be maintained
Lawful Commencement		
16.	Written notice must be given to Council that the development fully complies with this Development Permit.	Prior to the commencement of the use
17.	Notify Council within 20 business days that this approved use has lawfully commenced.	As indicated

Advice Notes

Scale or Intensity of Use

- A. Any proposal to increase the scale or intensity of the use/new use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the *Planning Act 2016* and would have to comply with the requirements of the relevant provisions.

Aboriginal and Cultural Heritage

- B. The *Aboriginal Cultural Heritage Act 2003* and *Torres Strait Islander Cultural Heritage Act 2003* requires anyone who carries out a land-use activity to exercise a duty of care. Land users must take all reasonable and practicable measures to ensure their activity does not harm Aboriginal or Torres Strait Islander cultural heritage. Prior to carrying out works, it is advised that you contact the Department of Aboriginal and Torres Strait Islander Partnerships on (07) 4799 7470 or by post at PO Box 5620 TOWNSVILLE QLD 4810. For further information on cultural heritage duty of care please visit: <https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-duty-care>

Abandoned Mine Shafts

- C. The city of Charters Towers is subject to a significant number of abandoned mine shafts due to the former gold rush era. It is recommended that all searches be undertaken through the Queensland State Government's Department of Natural Resources Mines and Energy (DNRME) to ensure that the development is not unduly impacted upon by these shafts. The DNRME can be contacted on 13 74 68.

Workplace Health and Safety

- D. Ensure compliance with the *Work Health and Safety Act 2011*. It states that the project manager is obliged to ensure construction work is planned and managed in a way that prevents or minimises risks to the health and safety of members of the public at or near the workplace during construction work. It is the principal contractor's responsibility to ensure compliance with the *Work Health and Safety Act 2011*. It states that the principal contractor is obliged on a construction workplace to ensure that work activities at the workplace prevent or minimise risks to the health and safety of the public at or near the workplace during the work. It is the responsibility of the person in control of the workplace to ensure compliance with the *Work Health and Safety Act 2011*. It states that the person in control of the workplace is obliged to



Advice Notes	
	ensure there is appropriate, safe access to and from the workplace for persons other than the person's workers.
Environmental nuisance	
E.	<p>Ensure compliance with the <i>Environmental Protection Act 1994</i>. It states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks and construction phases of this development, are to adhere to their "general environmental duty" to minimise the risk of causing environmental harm.</p> <p>Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area because of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council to cause undue disturbance or annoyance to persons or affect property not connected with the use.</p>
Ergon Energy and Telstra Corporation Contact Details	
F.	<p>Where a condition requires connections to reticulated electricity and/or telecommunications or a certificate of supply, please contact the below:</p> <ul style="list-style-type: none"> a) Ergon Energy Connection Solution's Team – (07) 4931 1012, and/or b) NBN Co – 1800 687 626.

3. Currency period for the development application approval

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of six years.

4. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Building Works
2. Plumbing and Drainage Works
3. Operational Works – Earthworks

5. Referral agencies

Not applicable.

6. Submission(s)

Not applicable.



7. Notice of reasons

This notice is prepared in accordance with Section 63(5) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a development application.

Description of the development:	The proposed development is for a Material Change of Use (Extension to a Retirement facility).	
Reasons for the decision:	The application for the Material Change of Use has been assessed against the relevant provisions of the North Queensland Regional Plan 2020 and the Charters Towers Regional Town Plan Version 2. It is considered that the proposal is reasonable and is recommended for approval subject to relevant conditions, despite some non-compliance with the relevant assessment benchmarks.	
Assessment benchmarks:	The proposed development was assessed against the relevant assessment benchmarks of the North Queensland Regional Plan 2020 Charters Towers Regional Town Plan Version 2 including the: <ul style="list-style-type: none"> 1) General Residential Zone Code 2) Development Works Code, and 3) Landscaping Code. 	
	The proposed development was assessed against all the assessment benchmarks listed about and complies with all with the exceptions listed and responded to below.	
	Assessment benchmark:	Reasons for the approval despite non-compliance with benchmark:
	Development works Code	<p>The Code seeks the provision of 1 on-site car parking space per dwelling plus 1 space per 2 employees. As the intended use is for employee accommodation, it is considered reasonable to condition 1 on-site car parking space per dwelling (unit).</p> <p>The Code also seeks the provision of convenient car parking. 'Park 1', as identified on the application documentation' does not provide convenient ingress and egress. The documentation has been amended in red to require the provision of at least 1000mm clear space for ingress and egress.</p>
Relevant matters:	Not applicable	
Matters raised in submissions:	Submission Point:	Council Response:
	Not applicable.	Not required.

8. Other requirements under section 43 of the *Planning Regulation 2017*

There are no other requirements.



9. Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision are set out in Chapter 6, Part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*). Information about how to proceed with an appeal to the Planning and Environment Court may be found on the Court's website: <http://www.courts.qld.gov.au/courts/planning-and-environment-court>.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*. The timeframes for starting an appeal in the Planning and Environment Court are set out in Section 229 and Schedule 1 of the *Planning Act 2016*.

Should you wish to discuss this matter, please contact Council on (07) 4761 5300.

Yours faithfully



Timna Green
Manager Planning & Development





1 LOCALITY PLAN
N.T.S.

PROJECT ISSUE & DESCRIPTION	
P4 - PRELIMINARY ISSUE - 04-12-2025	
	
DATE:	15 December 2025
APPLICATION:	EKE2025/0019

PRELIMINARY

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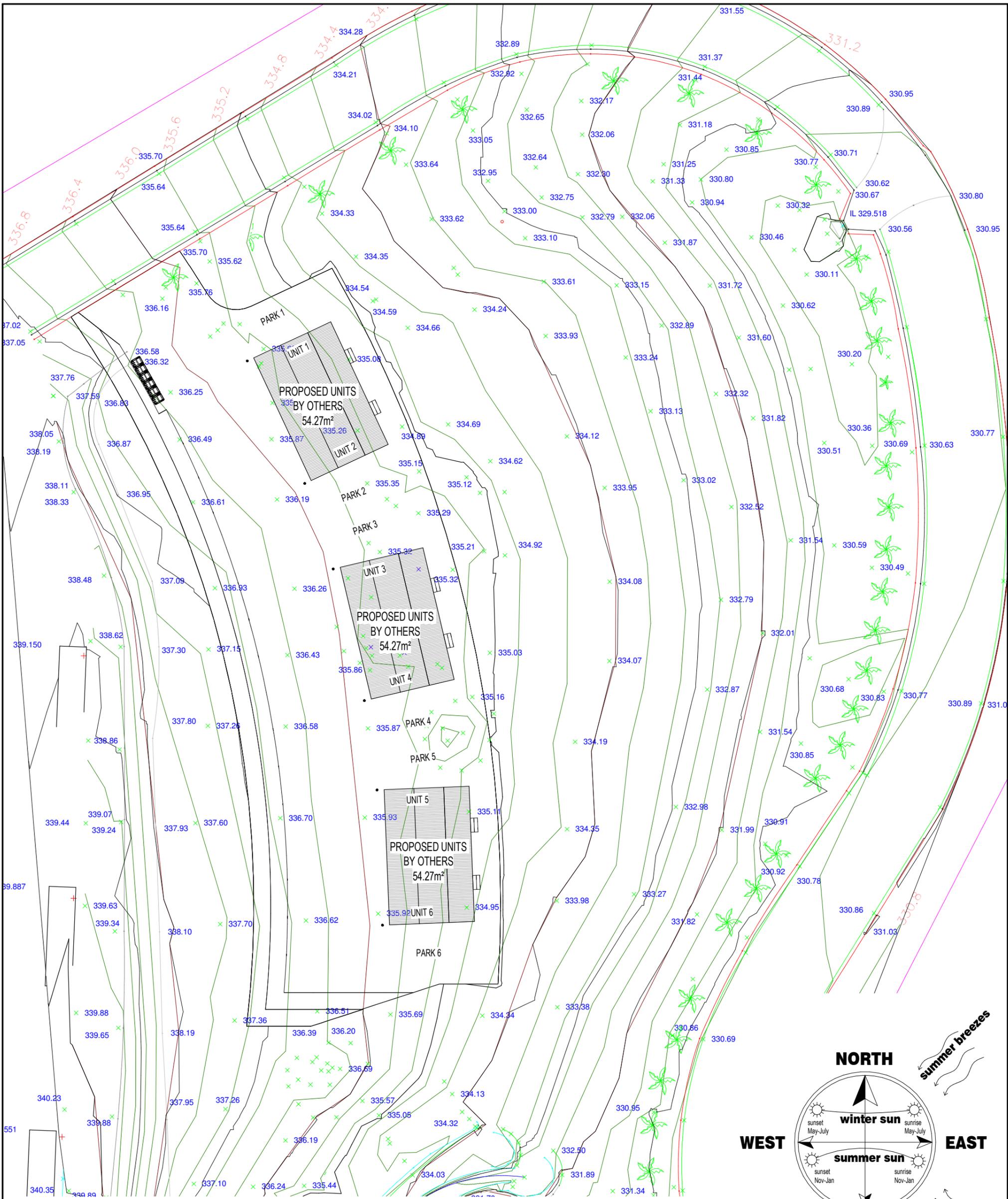
CB
DESIGNS
BUILDING DESIGN & DRAFTING
ABN: 112 837 297
Licence No. 1072298
66 Bayswater Road, Hyde Park QLD 4812
PO Box 4257, Vincent QLD 4814
Tel: (07) 4779 4199

PROJECT:
PLANNING APPLICATION - TEMP. STAFF UNITS

CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

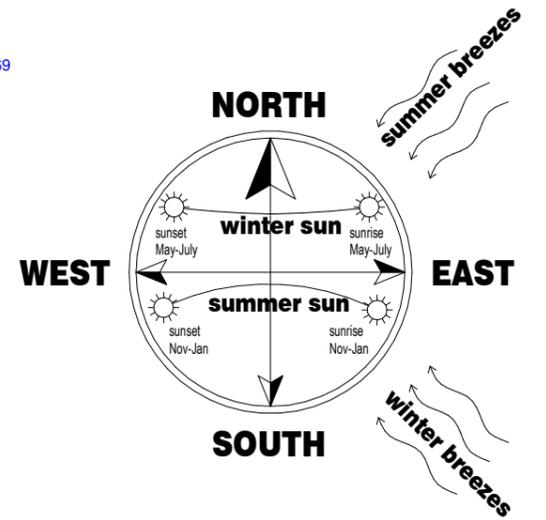
BUILDER:		
DATE:	4/12/2025 2:02:19 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:	1 : 1500	
SHEET No.	1	CLIENT JOB NO.



SITE SURVEY PLAN

1

1 : 250 AT A3 SHEET SIZE



PROJECT ISSUE & DESCRIPTION
P4 - PRELIMINARY ISSUE - 04-12-2025

APPROVED PLAN
Planning and Development

DATE: 15 December 2025
APPLICATION: EXE2025/0019

PRELIMINARY

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DESIGNS
BUILDING DESIGN & DRAFTING

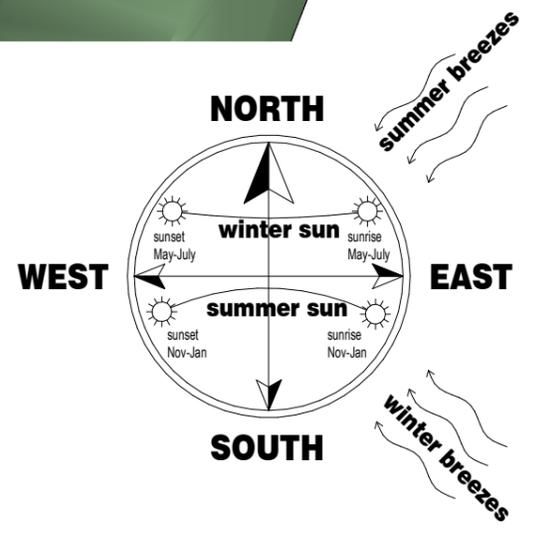
ABN: 112 837 297
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PO Box 4257, Vincent QLD 4814
Tel: (07) 4779 4199

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PLANNING APPLICATION - TEMP. STAFF UNITS

CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

BUILDER:		JOB NO. 25-359
DATE:	4/12/2025 2:02:20 PM	
DRAWN:	B.W.	
SCALE:	As indicated	
SHEET No.	2	CLIENT JOB NO.



1 **SITE PLAN**
1 : 250 AT A3 SHEET SIZE

PROJECT ISSUE & DESCRIPTION	
P4 - PRELIMINARY ISSUE - 04-12-2025	
	
DATE:	15 December 2025
APPLICATION:	EKE2025/0019

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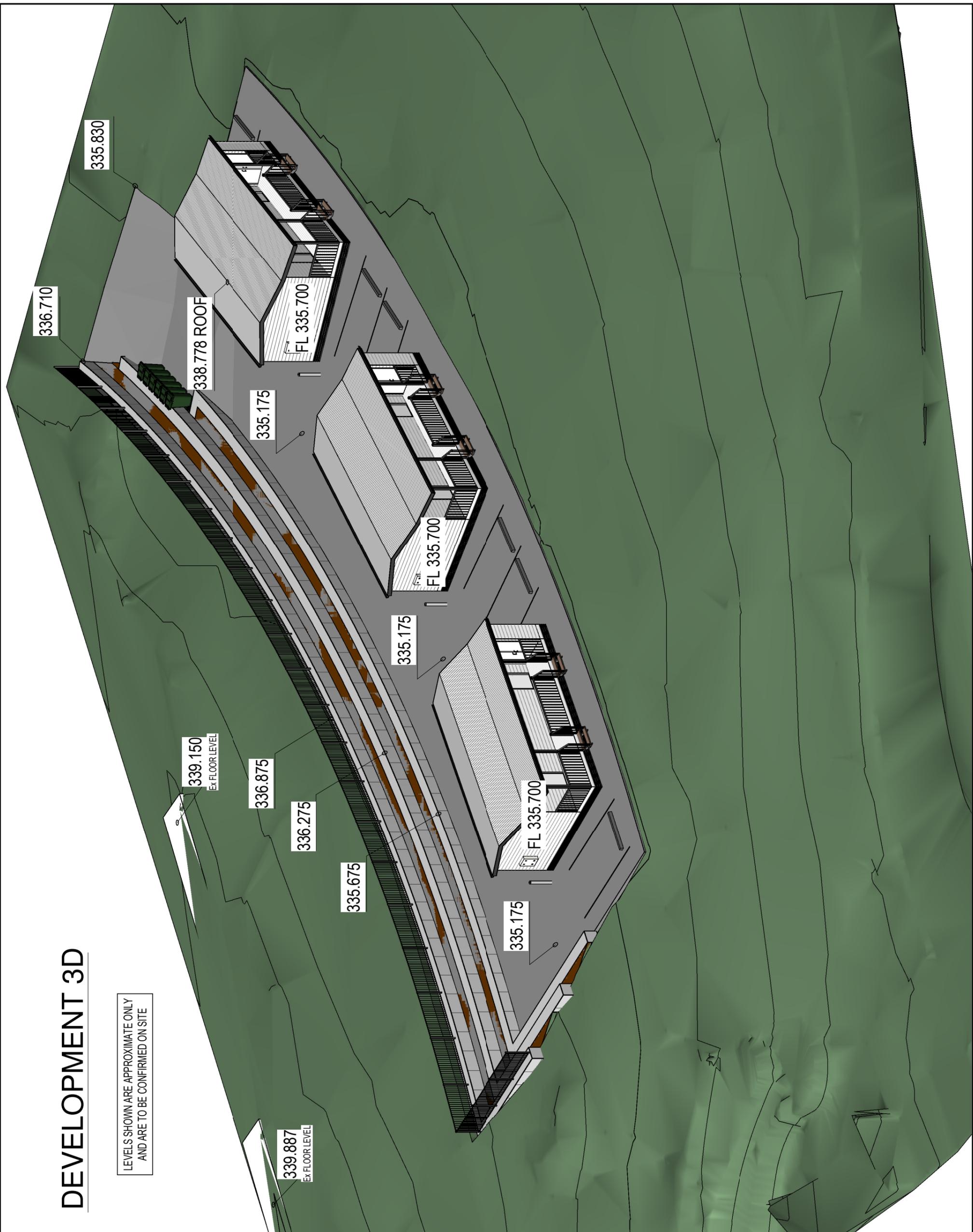
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15 FRASER STREET
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BUILDER:		
DATE:	4/12/2025 2:03:18 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:	As indicated	
SHEET No.	3	CLIENT JOB NO.



DEVELOPMENT 3D

LEVELS SHOWN ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED ON SITE

PROJECT ISSUE & DESCRIPTION
P4 - PRELIMINARY ISSUE - 04-12-2025



APPROVED PLAN
Planning and Development

DATE: 15 December 2025
APPLICATION: EXE2025/0019

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DATE:	4/12/2025 2:04:21 PM	
DRAWN:	B.W.	CLIENT JOB NO.
SCALE:		
SHEET No.	4	



SITE WORKS 3D

SITE WORKS (m ³)				
MARK	CUT	FILL	NET CUT/FILL	
NEW PAD 1 (MAIN PAD)	624.93	9.10	-615.82	
NEW PAD 2 (RETAIN BATTER)	65.11	0.00	-65.11	
NEW PAD 3 (RETAIN BATTER)	40.18	0.00	-40.17	
TOTALS	730.22	9.11	-721.11	

IMPORTANT NOTE:
 VOLUMES SHOWN ARE APPROXIMATE ONLY AND TO BE USED ONLY AS A GUIDE. THIS OFFICE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF VOLUMES SHOWN.

PROJECT ISSUE & DESCRIPTION
 P4 - PRELIMINARY ISSUE - 04-12-2025



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 PO Box 4257, Vincent QLD 4814
 Tel: (07) 4779 4199

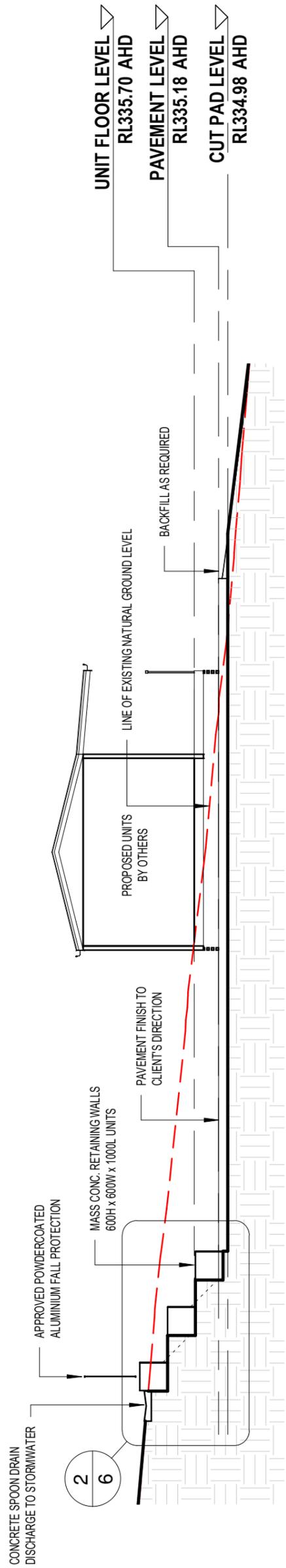
PROJECT:
 PLANNING APPLICATION -
 TEMP. STAFF UNITS

CLIENT:
 DALRYMPLE VILLA

SITE:
 15 FRASER STREET
 CHARTERS TOWERS

BUILDER:

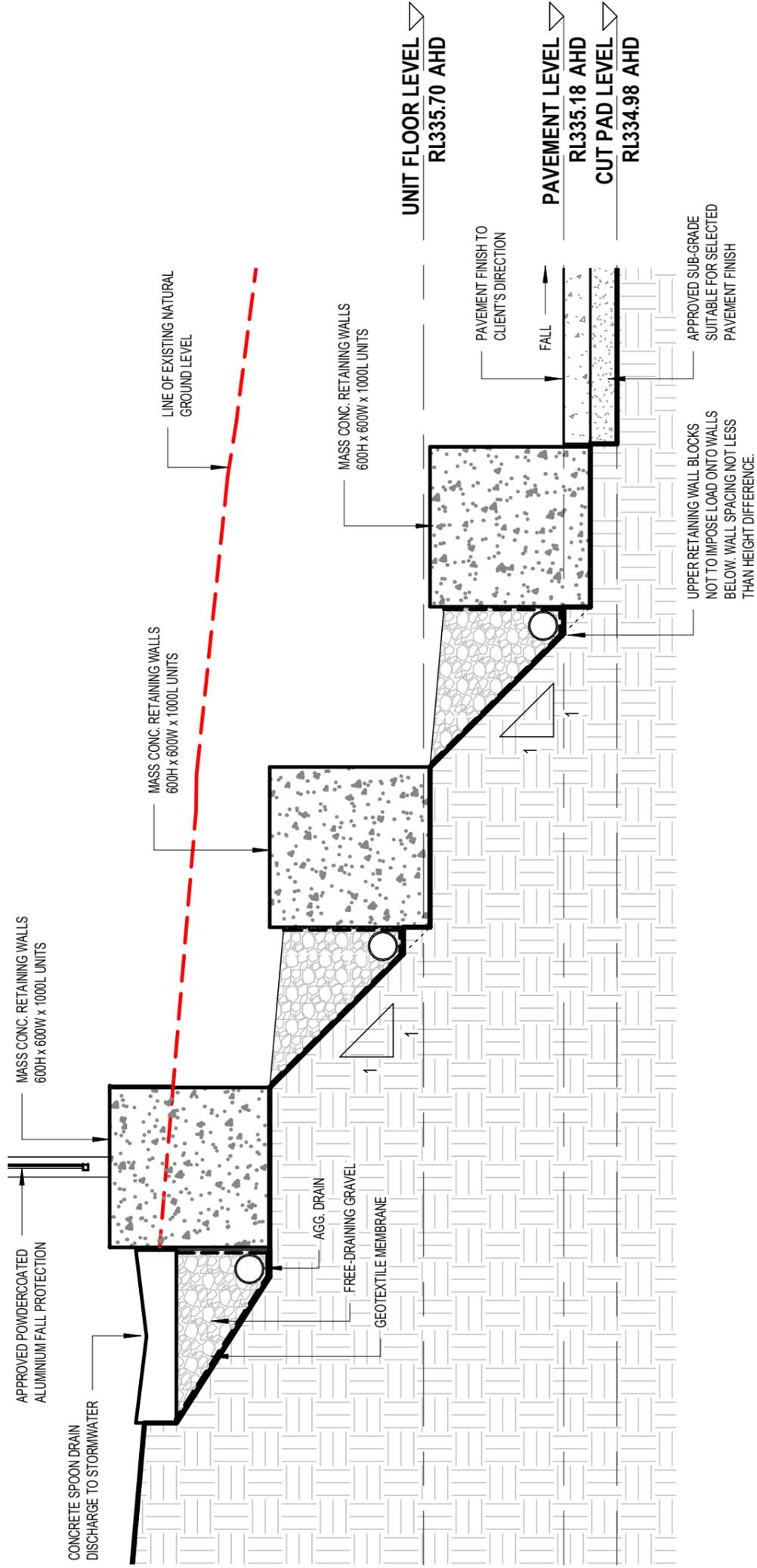
DATE:	4/12/2025 2:04:22 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:		
SHEET No.	5	CLIENT JOB NO.



TYPICAL SECTION

1 : 100 AT A3 SHEET SIZE

1



RETAINING WALL SECTION

1 : 20 AT A3 SHEET SIZE

2

PROJECT ISSUE & DESCRIPTION

P4 - PRELIMINARY ISSUE - 04-12-2025

PRELIMINARY

NOTES:

THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT. COMPLY WITH ALL RELEVANT AUTHORITY REG. & B.S.A. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS - DO NOT SCALE DRAWING. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

PROJECT:
PLANNING APPLICATION -
TEMP. STAFF UNITS

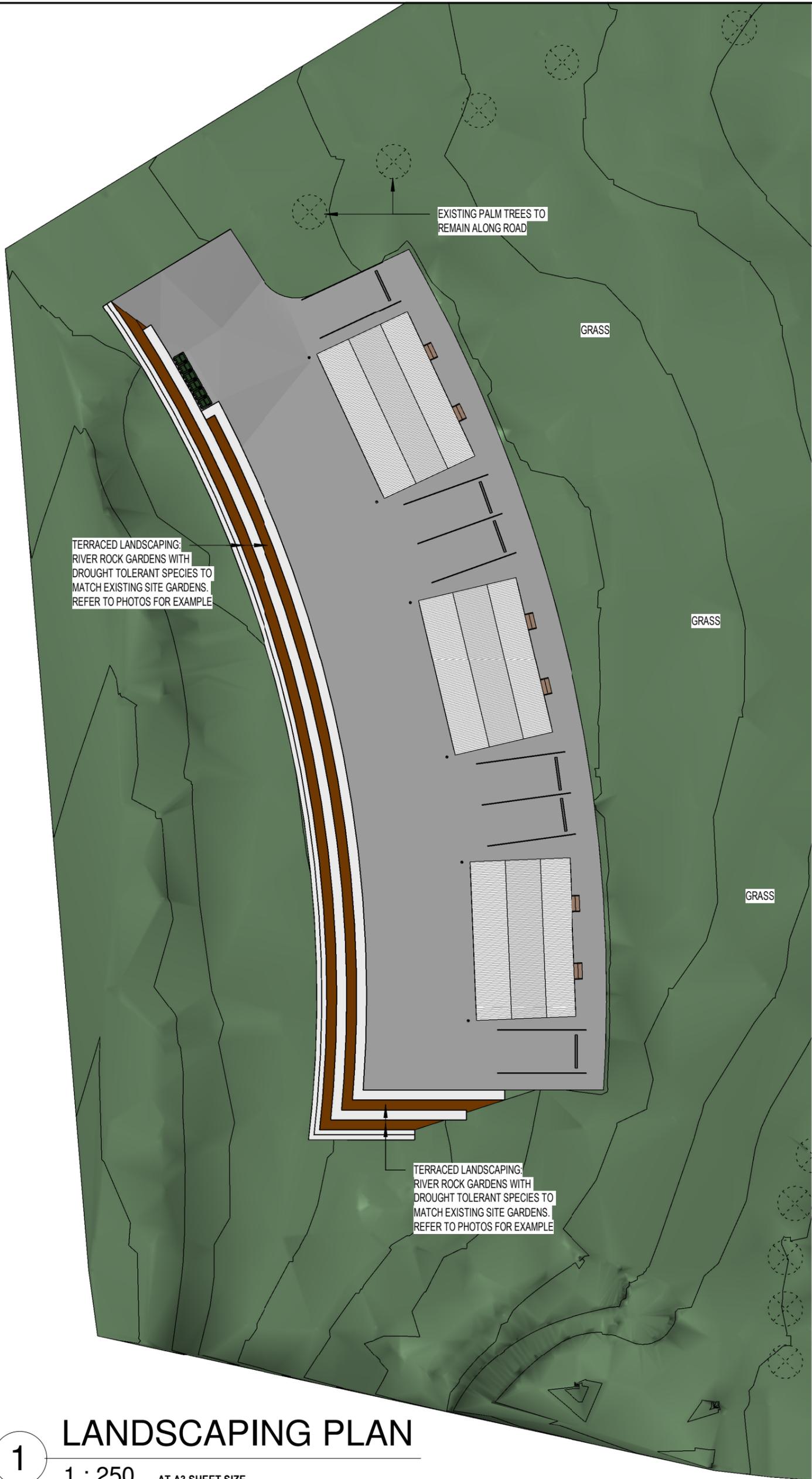
CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

BUILDER:

DATE:	4/12/2025 2:04:23 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:	As indicated	
SHEET No.	6	CLIENT JOB NO.





LANDSCAPING PLAN

1

1 : 250 AT A3 SHEET SIZE

PROJECT ISSUE & DESCRIPTION

P4 - PRELIMINARY ISSUE - 04-12-2025

PRELIMINARY

NOTES:

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CB
DESIGNS
BUILDING DESIGN & DRAFTING
ABN: 112 837 297
Licence No. 1072298
66 Bayswater Road, Hyde Park QLD 4812
PO Box 4257, Vincent QLD 4814
Tel: (07) 4779 4199

PROJECT:
PLANNING APPLICATION -
TEMP. STAFF UNITS

CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

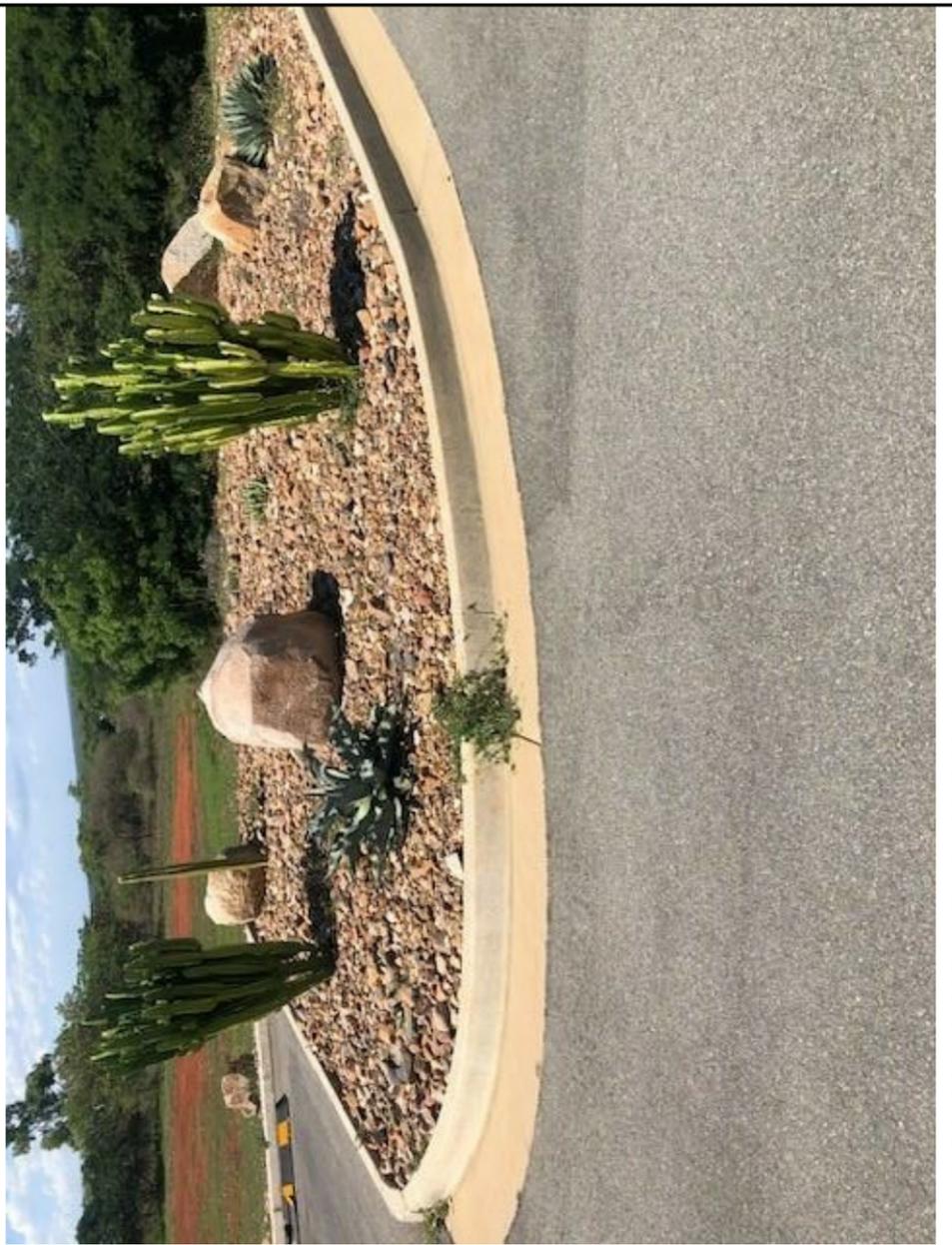
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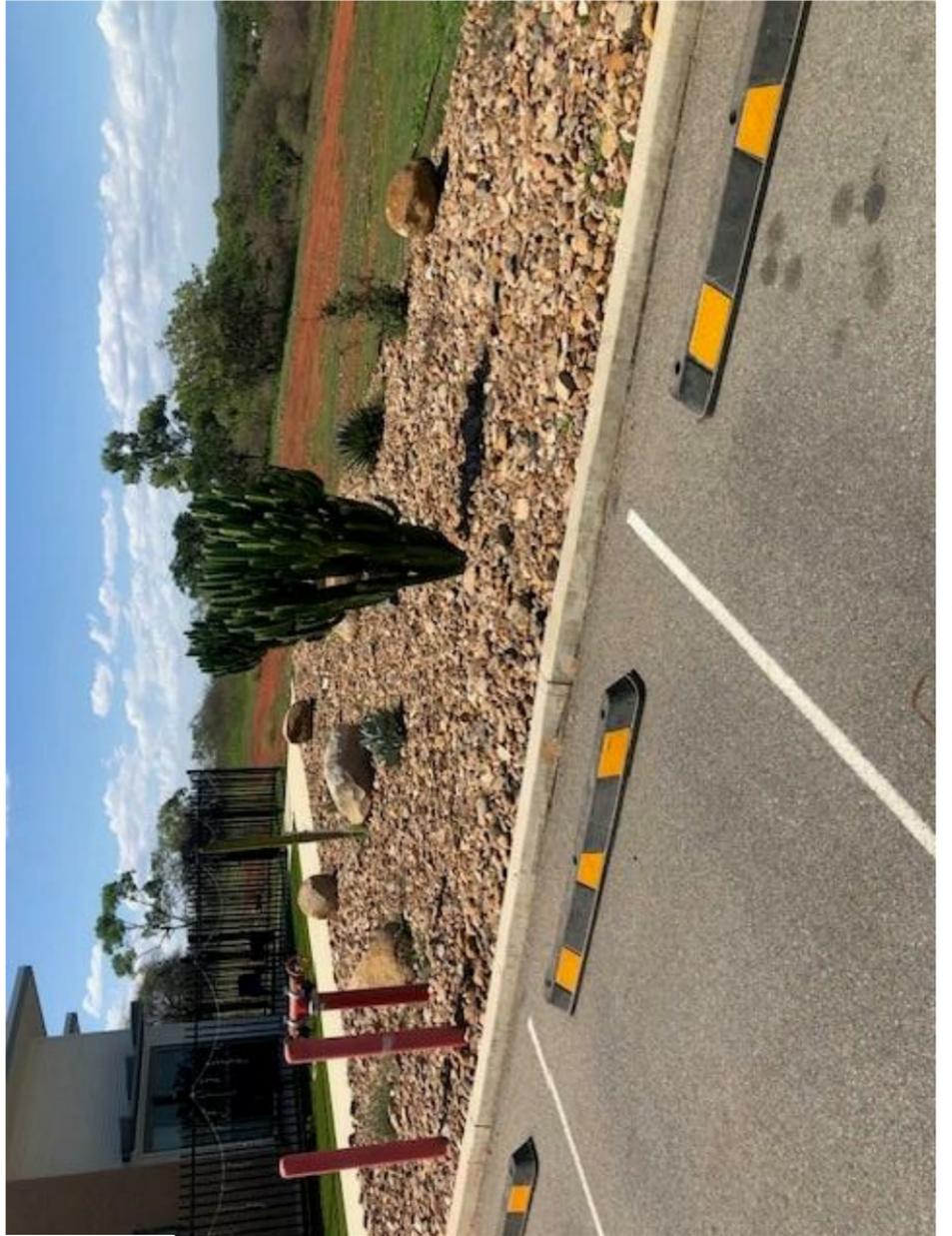
EXAMPLE 2 - ROCK GARDEN WITH ADJACENT CAR PARKING



EXAMPLE 4 - ROCK GARDEN WITH ADJACENT ROADWAY



EXAMPLE 1 - ROCK GARDEN WITH ADJACENT ROADWAY



EXAMPLE 3 - ROCK GARDEN WITH ADJACENT CAR PARKING

PROJECT ISSUE & DESCRIPTION

P4 - PRELIMINARY ISSUE - 04-12-2025

PRELIMINARY

NOTES:

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 COMPLY WITH ALL RELEVANT AUTHORITY REG. & B.S.A. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS - DO NOT SCALE DRAWING. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



DESIGNS

BUILDING DESIGN & DRAFTING
 ABN: 112 837 297
 Licence No. 1072298
 66 Bayswater Road, Hyde Park QLD 4812
 PO Box 4257, Vincent QLD 4814
 Tel: (07) 4779 4199

PROJECT:
 PLANNING APPLICATION -
 TEMP. STAFF UNITS

CLIENT:
 DALRYMPLE VILLA

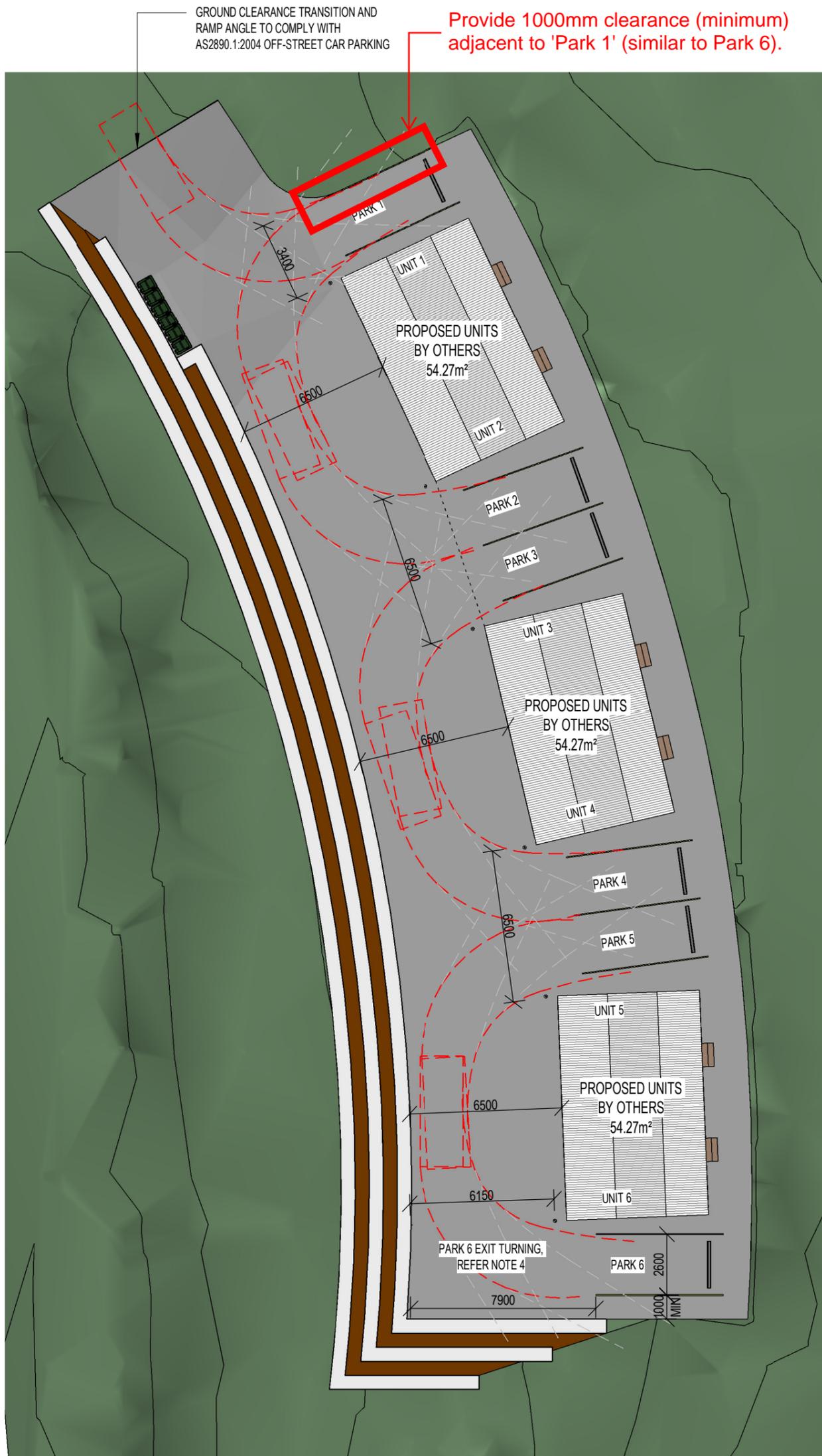
SITE:
 15 FRASER STREET
 CHARTERS TOWERS

BUILDER:

DATE:	4/12/2025 2:04:29 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:		
SHEET No.	8	CLIENT JOB NO.



DATE: 15 December 2025
 APPLICATION: EXE2025/0019



1

VEHICLE TURNING PATHS

1 : 200 AT A3 SHEET SIZE

- VEHICLE TURNING NOTES:**
1. ALL PARKING TO COMPLY WITH AS2890.1:2004 OFF-STREET CAR PARKING
 2. WHEEL STOPS TO BE PROVIDED TO ALL PARKING SPACES
 3. TURNING RADIUS DEMONSTRATED FOR B85 VEHICLE TEMPLATE (5800mm RADIUS)
 4. PARK 6 EXIT OF PARKING SPACE COMPLIES WITH AS2890.1:2004
 - PART B4.4 & TABLE B2: FOR NOMINATED PARKING SPACE MIN WIDTH (2600mm) AND MINIMUM ISLE WIDTH INCLUDING MANEUVERING CLEARANCE (MIN 5800mm REQUIRED, 6150mm PROVIDED).
 - PART 2.4.2 (c) BLIND AISLES: EXTEND AISLE LENGTH MINIMUM 1000mm BEYOND LAST PARKING SPACE.

PROJECT ISSUE & DESCRIPTION
P4 - PRELIMINARY ISSUE - 04-12-2025



DATE: 15 December 2025
APPLICATION: EXE2025/0019

PRELIMINARY

NOTES:
THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT.
COMPLY WITH ALL RELEVANT AUTHORITY REG. & B.S.A. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS - DO NOT SCALE DRAWING. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



DESIGNS
BUILDING DESIGN & DRAFTING
ABN: 112 837 297
Licence No. 1072298
66 Bayswater Road, Hyde Park QLD 4812
PO Box 4257, Vincent QLD 4814
Tel: (07) 4779 4199

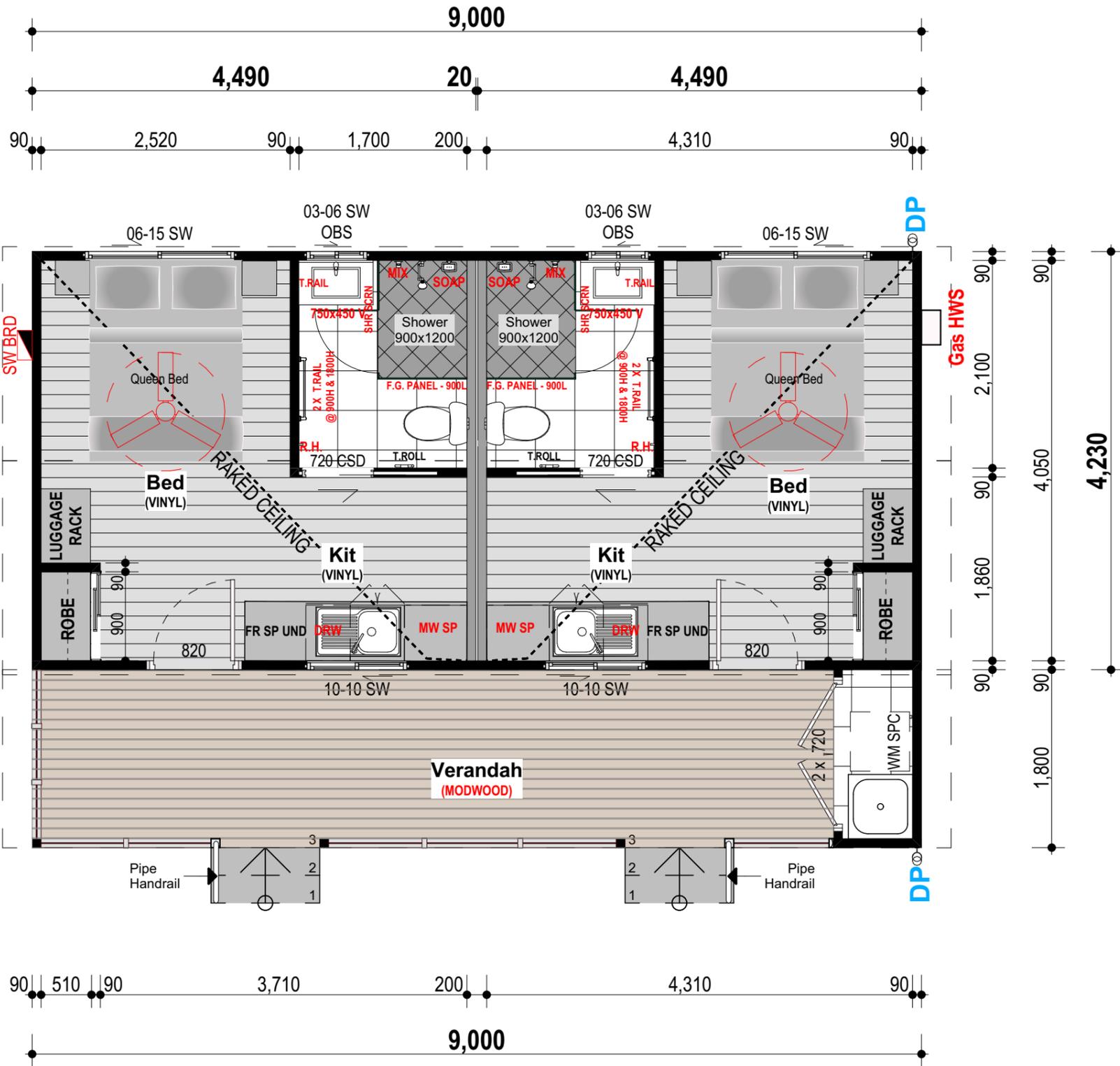
PROJECT:
PLANNING APPLICATION - TEMP. STAFF UNITS

CLIENT:
DALRYMPLE VILLA

SITE:
15 FRASER STREET
CHARTERS TOWERS

BUILDER:

DATE:	4/12/2025 2:04:36 PM	JOB NO. 25-359
DRAWN:	B.W.	
SCALE:	1 : 200	
SHEET No.	9	CLIENT JOB NO.



FLOOR AREAS	
NAME	AREA (m ²)
MAIN BUILDING	38.07
FRONT VERANDAH	14.60
	52.67 m²



ELEVATION DIRECTION



FLOOR PLAN

1:50



KITCHEN VIEW

525 F.F.L.

14° GABLE ROOF PITCH
(OPTIONAL)
SUB FLOOR SKIRTING SHOWN
 PAINTED APRON FLASHING TO TOP OF WINDOW
 EXTENDING 100MM PAST EACH SIDE OF WINDOW FRAME

IMPORTANT NOTES

- The Project Design Specification (PDS) takes precedence over any plans
- To confirm inclusions - refer to your signed Project Design Specification (PDS) and if applicable; signed Form 5 Variation Documents
- Plans may show loose furniture and optional inclusions that are not included in your contract
- If you are unsure or require clarification, please ask!

I the Owner (details as per plan Title Box), confirm that these plans are correct and that I have noted and understood the details outlined above.

Name/s: _____

Signature/s: _____

Date: _____



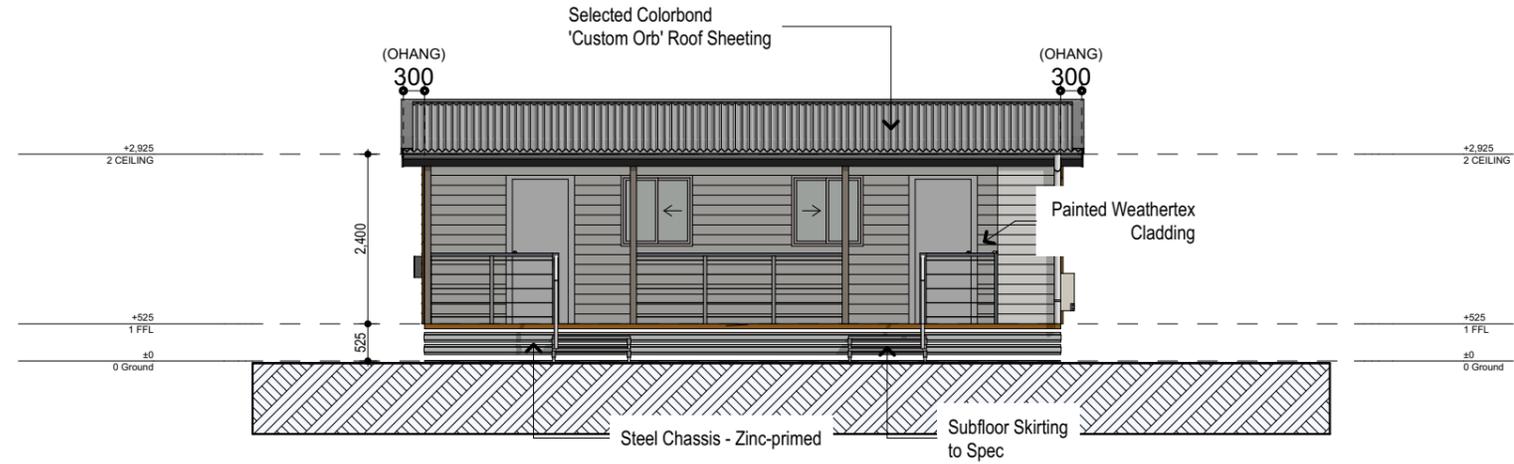
FREECALL 1800 225 224
 T 07 5483 7144 F 07 5483 7188
 E sales@ach.net.au
 Cnr Langton Road and Ettie Jane Street Gympie Qld 4570
 www.ach.net.au
 ACN 143 938 952

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 All site dimensions are to be verified and confirmed by the client prior to the commencement of works.

Version Notes:
CONCEPT
 9/10/2025

Client:
 Project:
Dalrymple Villa - Staff Accommodation
 15 Fraser Street Charters Tower
 QLD 4820
 drawing status: CONCEPT

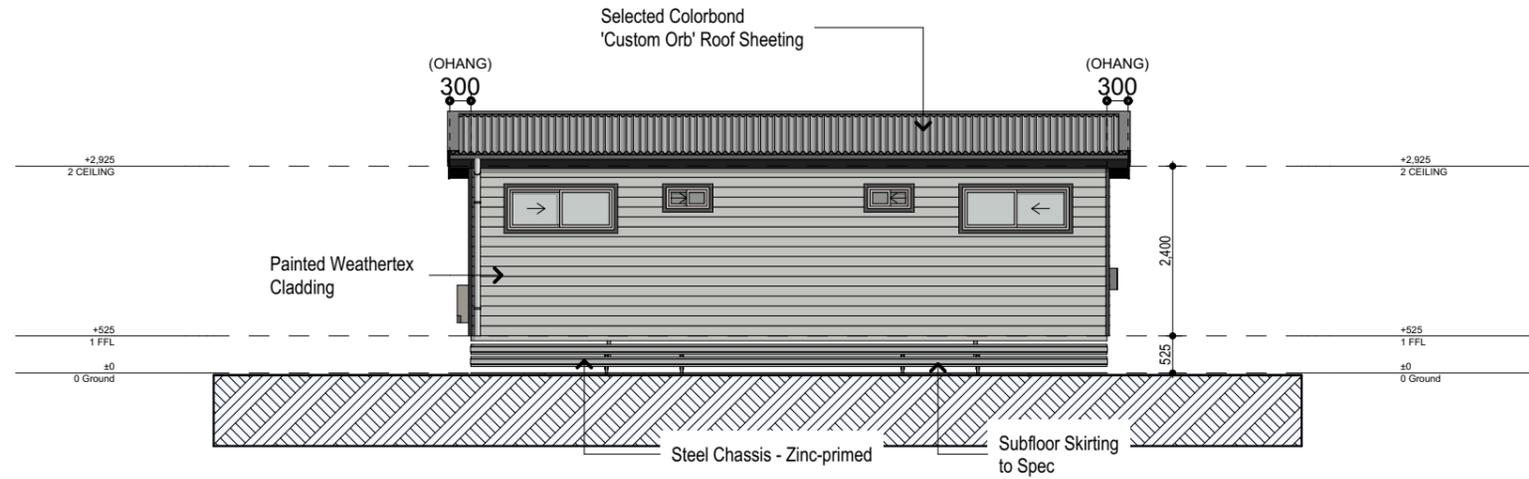
Floor Plan		
Project No: A5707	Cabin No: .	site classification: .
design by: Asset Cabins and Homes	Drawn: TF	
scale: 1:50, 1:1, 1:720.62, 1:1162.66 at A3	date: 9/10/2025	
design: ACACIA 2	sheet no: 1	



E01

Elevation

1:100

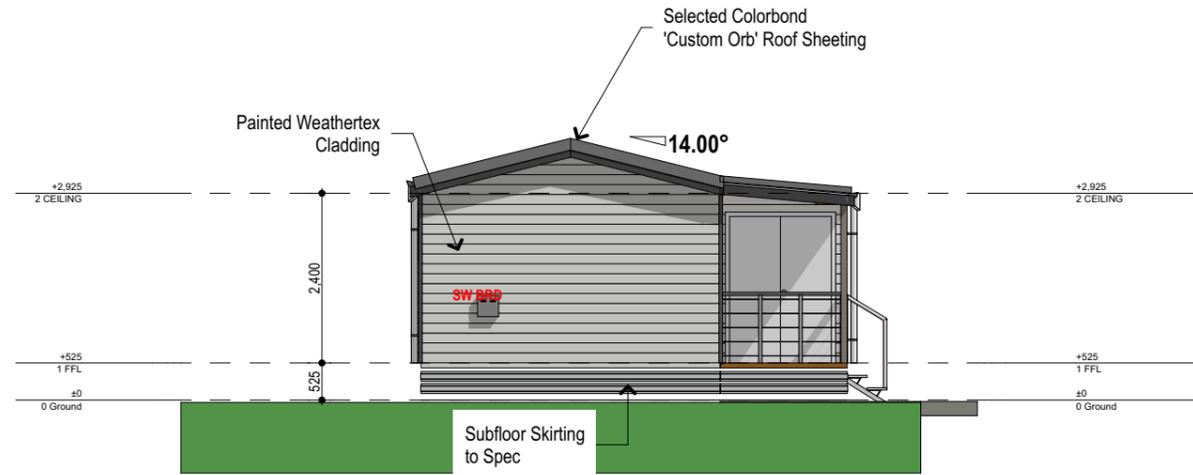


E02

Elevation

1:100

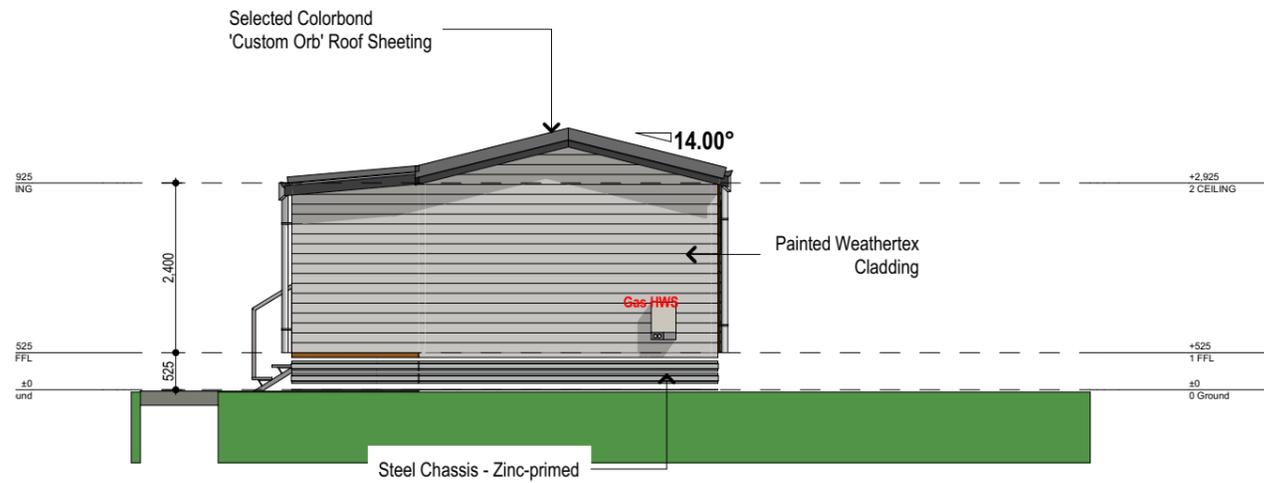




E03

Elevation

1:100

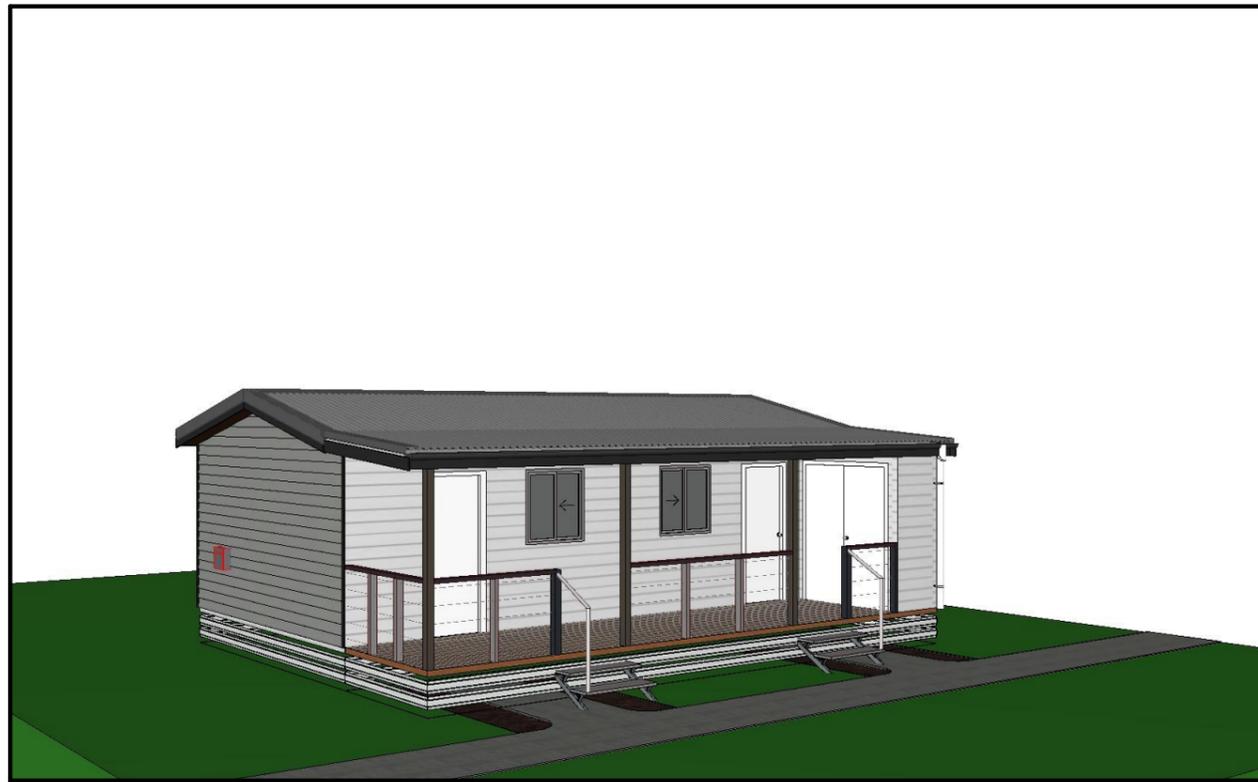


E04

Elevation

1:100






APPROVED PLAN
 Planning and
 Development
 DATE: 15 December 2025
 APPLICATION: EXE2025/0019

Planning Act 2016

Reprint current from 2 August 2024

Chapter 6 > Part 1

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against a decision of the Minister, under chapter 7, part 4, to amend the registration of premises to include additional land in the affected area for the premises—20 business days after the day a notice is published under section 269A(2)(a); or
 - (e) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (f) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the

applicant gives the deemed approval notice to the assessment manager; or

- (g) for an appeal relating to the Plumbing and Drainage Act 2018—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the Plumbing and Drainage Act 2018, section 143(2)(a) (i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the Plumbing and Drainage Act 2018—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the Plumbing and Drainage Act 2018—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and

- (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
- (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

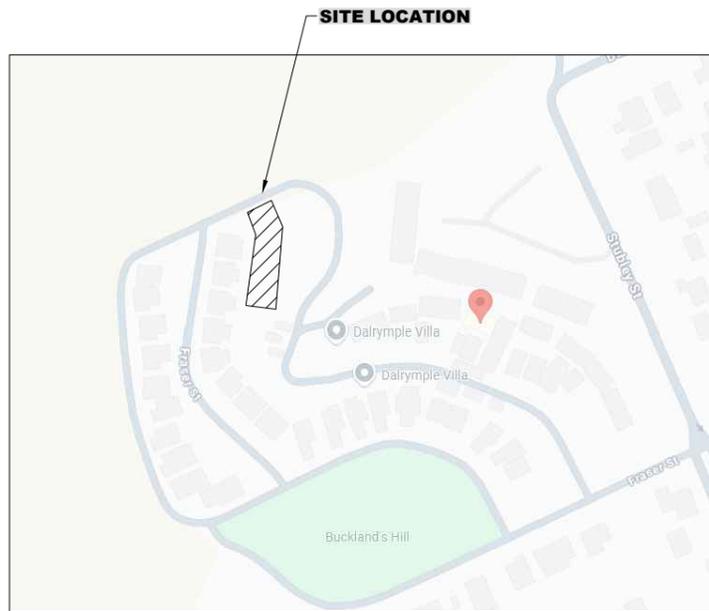
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.



PROPOSED RESIDENTIAL DEVELOPMENT

DALRYMPLE VILLAS

PROPOSED UNIT DEVELOPMENT

CIVIL WORK PLANS



SITE PLAN
1:200 AT A1

FOR APPROVAL

INDEMNITY
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STATUS	FOR APPROVAL			SCALE	CONTRACTOR
				###	TBC
				ORIGINAL SHEET SIZE	
B	CARPARK LAYOUT AMENDED- FOR APPROVAL	SMCE	12/03/2026	A1	
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026		
REV	DESCRIPTION	DRAWN	DATE		

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smce
STEVE MCKENZIE CONSULTANT ENGINEER
ACN 092 705 130
TOWNSVILLE 18 Ingham Rd West End Qld 4810
MACKAY 31 Gregory Street Mackay Qld 4740
BRISBANE Unit 5/ 386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS			DRAWING NAME	COVER SHEET		
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342			SIGNED:	RJM	RPEQ No.	18480
	TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
	REVIEW	SMCE	SMCE	08/02/2026	25057RM	C01.1	B
	DESIGN	SMCE	SMCE	08/02/2026			
	DRAWN	SMCE	SMCE	08/02/2026			

X-DESIGN 25057RM.DWG February 17, 2026

GENERAL NOTES

1. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
2. ALL LINEMARKING AND SIGNAGE IN ACCORDANCE WITH PART 2 MUTCD TRAFFIC CONTROL DEVICES FOR GENERAL USE

EARTHWORKS NOTES

1. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
2. EARTHWORKS ARE TO BE CARRIED OUT GENERALLY IN ACCORDANCE WITH AS3798 AND LOCAL COUNCIL DEVELOPMENT MANUAL.
3. ALL BACKFILL TO BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD MAX. DRY DENSITY TO A.S.1289 IN MAXIMUM 150mm LAYERS, UNLESS NOTED OTHERWISE
4. CONTRACTOR IS TO ENSURE SITE IS FREE DRAINING
5. EXISTING SURFACE UNDER ALL EARTHWORKS AREAS IS TO BE STRIPPED OF ALL VEGETATION TO A DEPTH OF 100mm. TOPSOIL SHALL BE REMOVED FROM SITE (IF ORDERED).
6. THE SUBGRADE OF THE STRIPPED SURFACE IS REQUIRED TO BE COMPACTED TO 98% OF THE STANDARD COMPACTION TEST
7. IMPORTED FILL (MIN. CBR15) SHALL BE STABLE, FREE FROM ORGANIC MATTER, HAVE A LINEAR SHRINKAGE NOT GREATER THAN 12%, HAVE A PLASTICITY INDEX NOT GRATER THAN 20, AND HAVE NO STONE OVER 75mm GREATEST DIMENSION, IN THE TOP 300mm OF FILLING
8. THE CONTRACTOR SHALL COMMISSION A GEOTECHNICAL TESTING AUTHORITY (TO BE APPROVED BY THE SUPERINTENDENT) TO PROVIDE LEVEL 2 TESTING SERVICES IN ACCORDANCE WITH AS3798

CONCRETE PAVEMENT NOTES:

1. SETOUT ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. SUBGRADE THE PAVEMENT SUBGRADE SHALL BE TRIMMED TO THE REQUIRED PROFILES AND COMPACTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION
3. TESTING OF PAVEMENT SUBGRADE & SUB-BASE. ALL TESTING SHALL BE PERFORMED BY AN APPROVED N.A.T.A. TESTING LABORATORY IN ACCORDANCE WITH THE SPECIFICATION
4. CONCRETE DEPTH DESIGN CRITERIA THE DESIGN PAVEMENT DEPTH AS SPECIFIED IS BASED ON A SUBGRADE SOAKED CBR VALUE OF 6% (MIN) FOR THE EXISTING BULK EARTHWORKS. CONCRETE PAVEMENT CONSTRUCTION SHALL NOT COMMENCE UNTIL THE CBR OF THE SUB-GRADE IS CONFIRMED AND THE PROPOSED PAVEMENT DEPTH AND CONCRETE SLAB THICKNESS ARE APPROVED BY THE SUPERINTENDENT.
5. REINFORCEMENT REINFORCEMENT SHALL BE AS SPECIFIED ON THE DRAWINGS AND SHALL BE CHAIRED AT 1000 c/c BOTH WAYS TO GIVE TOP COVER.
6. CONCRETE
 - 6.1. CONCRETE USED IN PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - 6.1.1. CONCRETE TO BE IN ACCORDANCE WITH AS3600
 - 6.1.2. CEMENT TO BE TYPE A ORDINARY CEMENT
 - 6.1.3. SLUMP TO BE 80mm (+/- 15mm)
 - 6.1.4. AGGREGATE TO BE CLEAN WITH A MAXIMUM SIZE OF 20mm
 - 6.1.5. CONCRETE SHALL BE GRADE N32 MINIMUM
 - 6.1.6. 90 DAY FLEXURAL STRENGTH 4.0 MPa. MINIMUM
 - 6.1.7. IF CONTRACTOR REQUIRES ACCESS TO SLAB SURFACE PRIOR TO 28 DAYS, EARLIER FLEXURAL STRENGTH SHALL BE REQUIRED AT NO ADDITIONAL COST TO THE CLIENT
 - 6.1.7.1. CONCRETE TO BE MECHANICALLY VIBRATED. THE VIBRATOR SHALL NOT BE USED TO SPREAD THE CONCRETE.
 - 6.1.7.2. CONCRETE PAVEMENT SHALL NOT BE CONSTRUCTED IN THE NARROW POINTED RE-ENTRANT AREAS i.e. THE CONCRETE SLAB SHALL BE FINISHED NEATLY SO THAT THE MINIMUM SLAB WIDTH IS 300mm.
 - 6.1.7.3. SLABS TO BE POURED IN ALTERNATE BAYS 24 HOURS APART
 - 6.1.7.4. SUB-BASE COMPACTION AND REINFORCEMENT SHALL BE CHECKED BY THE SUPERINTENDENT PRIOR TO PLACING CONCRETE.
7. CONCRETE TESTING THE CONTRACTOR SHALL CARRY OUT SAMPLING AND TESTING OF CONCRETE IN ACCORDANCE WITH THE RELEVANT STANDARDS. MINIMUM REQUIREMENT FOR CONCRETE TESTING i.e. COMPRESSIVE, SLUMP TEST AND FLEXURAL STRENGTH TO BE ONE TEST SAMPLE PER 15 cu.m. OF CONCRETE.
8. MANHOLE LIDS ALL SEWER AND STORMWATER MANHOLE STRUCTURES THAT ARE REQUIRED TO BE CONSTRUCTED WITHIN CONCRETE PAVEMENT SHALL HAVE COVERS AND FRAMES SET PRIOR TO PAVEMENT CONSTRUCTION. THE CONTRACTOR IS TO ENSURE THAT THE CONCRETE SURROUND AND LID INFILL MATCHES THE SURROUNDING CONCRETE FINISH TO THE LANDSCAPE ARCHITECT'S REQUIREMENTS. PROVIDE 2-N12 TRIMMERS x 1200 LONG AT CORNER OF PITS, LOCATED UNDER MESH OR 8-N12 TRIMMERS x 1200 LONG AT CIRCULAR STRUCTURES.

SURFACE LEVEL CODE TABLE

CODE	NAME	DESCRIPTION
FS	FINISHED SURFACE	TOP OF FINAL SURFACE
FFL	FINISHED FLOOR LEVEL	TOP OF DESIGN FLOOR LEVEL
IL	INVERT LEVEL	INVERT LEVEL OF FINAL SURFACE OR PIPE
RW	ROADWORKS SURFACE	TOP OF GRAVEL PAVEMENTS
EW	EARTHWORK SURFACE	TOP OF EARTHWORK SURFACE
SG	SUB-GRADE SURFACE	PAVEMENT SUB-GRADE SURFACE
SS	STRIPPED SURFACE	TOPSOIL STRIPPED EXISTING SURFACE
EG	EXISTING GROUND	EXISTING SURVEYED SURFACE

FOR APPROVAL

STATUS	FOR APPROVAL		
SCALE	###		
ORIGINAL SHEET SIZE	TBC		
CONTRACTOR	TBC		
REV	DESCRIPTION	SMCE DRAWN	02/08/2026 DATE
A	FOR COUNCIL APPROVAL		

SCALE	CONTRACTOR
###	TBC
ORIGINAL SHEET SIZE	TBC

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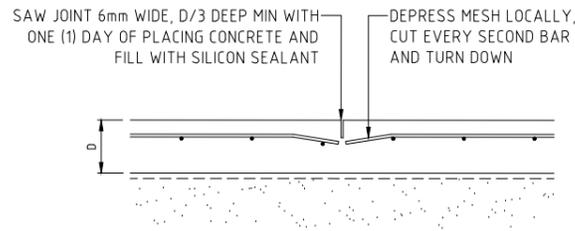


STEVE MCKENZIE CONSULTANT ENGINEER
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 E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

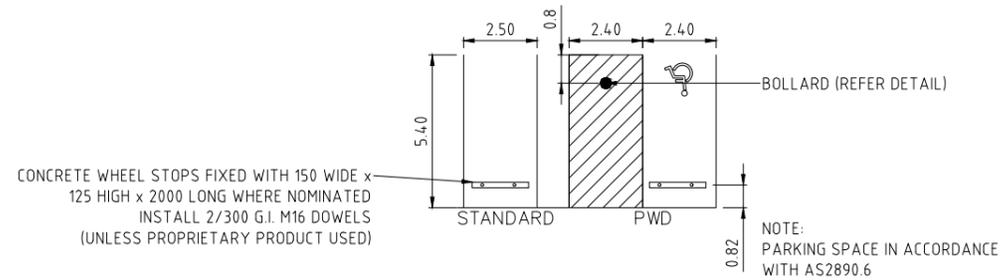
DRAWING NAME				NOTES AND DETAILS PLAN		
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C02.1	
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			A

X-DESIGN 25057RM.DWG February 17, 2026



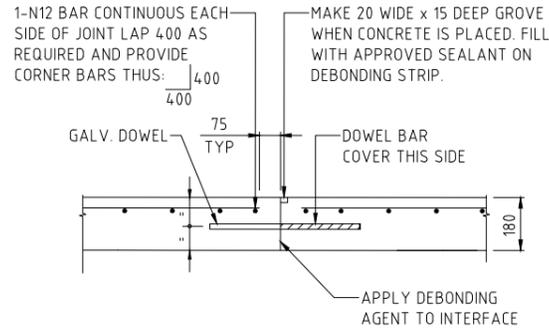
TYPICAL SAWCUT JOINT (SCJ)

NOTE: JOINT TO BE CUT WITHIN 24 HOURS OF INITIAL SET
NTS



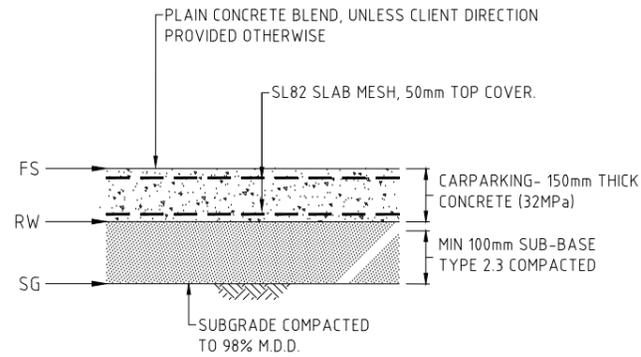
CARPARK LINEMARKING
(WHERE REQUIRED)

NTS



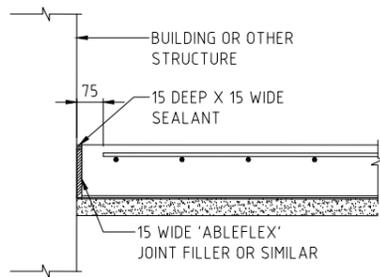
TYPICAL DOWELLED JOINT (D.J.)

NTS



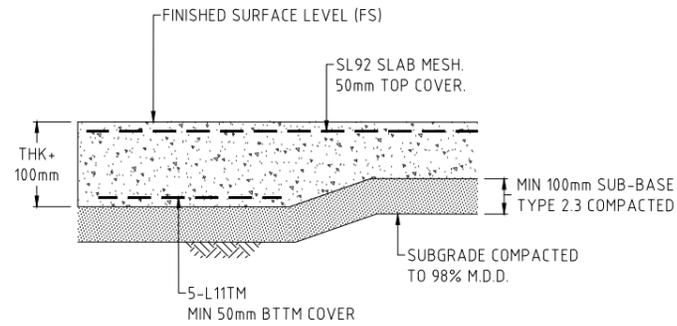
PAVEMENT TYPE 1 - CONCRETE HARDSTAND

NTS



TYPICAL ISOLATION CONSTRUCTION JOINT (ICJ)

NOTE: FOR AGAINST EDGE OF BUILDING SLAB, PROVIDE N12x600 DOWELS AT 400 CRS AT DOORWAYS
NTS



CONCRETE PAVEMENT - EDGE THICKENING DETAIL

NTS

PAVEMENT DESIGN DETAILS

DESIGN LIFE = 20 YEARS
SUBGRADE CBR = 3.0% (MIN)

FOR APPROVAL

STATUS	FOR APPROVAL	SCALE	CONTRACTOR
REV	DESCRIPTION	SMCE	TBC
A	FOR COUNCIL APPROVAL	02/08/2026	
REV	DESCRIPTION	DRAWN	DATE
		A1	

STATUS	FOR APPROVAL	SCALE	CONTRACTOR
REV	DESCRIPTION	SMCE	TBC
A	FOR COUNCIL APPROVAL	02/08/2026	
REV	DESCRIPTION	DRAWN	DATE
		A1	

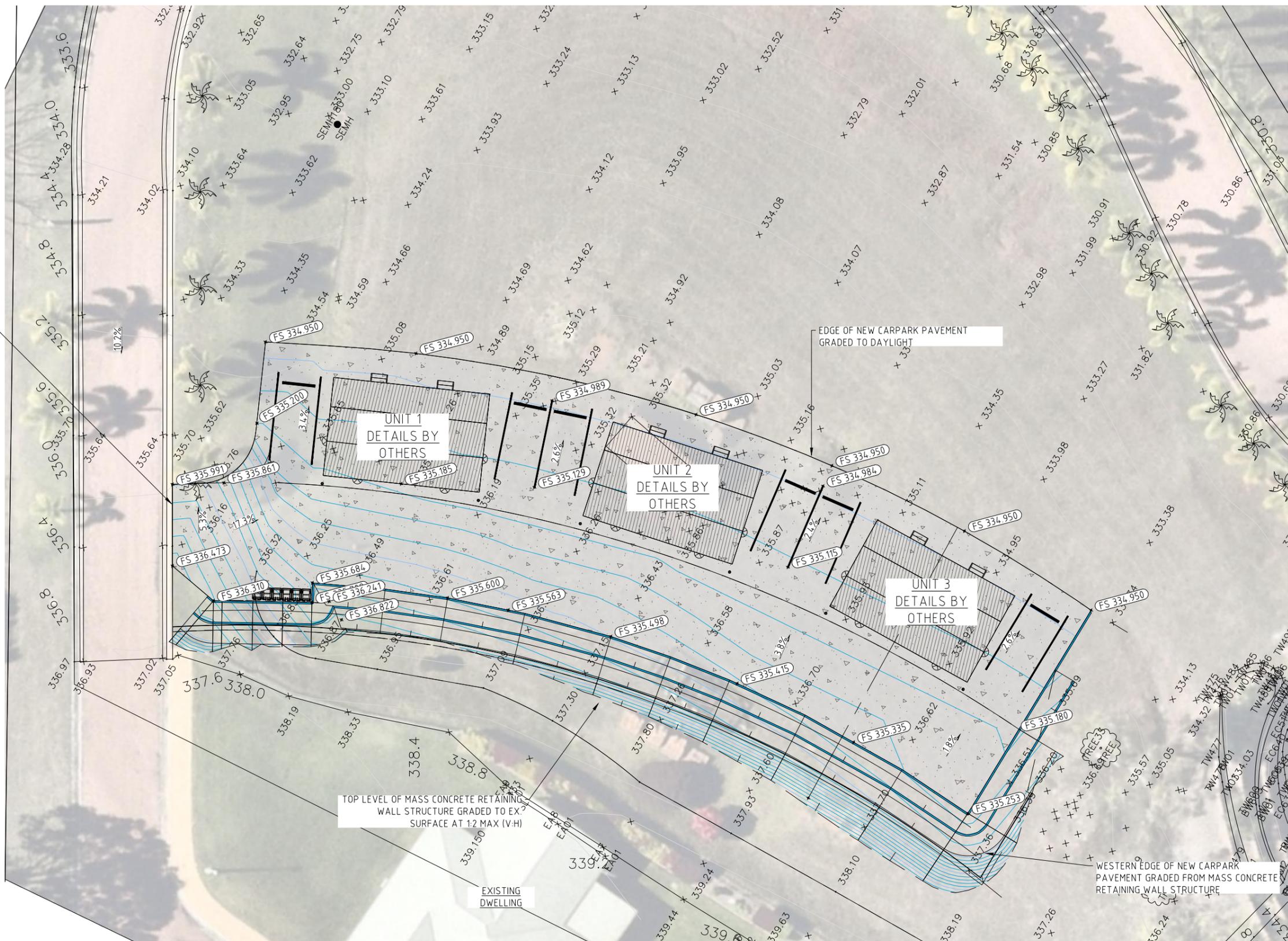
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CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	NOTES AND DETAILS PLAN+1					
SIGNED:	RJM					
RPEQ No.	18480					
DATE:	08/02/2026					
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C02.2	A
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

X-DESIGN 25057RM.DWG February 17, 2026



PROJECT LEGEND

	CONCRETE PAVEMENTS
	GRAVEL PAVEMENTS
	LANDSCAPING (BY OTHERS)
	BUILDING WORKS (BY OTHERS)
	DOWELLED JOINT (D.J.)
	SAWCUT JOINT (S.C.)
	WATER SERVICE
	WATERMAIN
	SEWER SERVICE
	SEWER MAIN
	STORMWATER PIPE / CULVERT
	STORMWATER FLOW ARROW
	NEW SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	DEMOLITION AREAS
	DEMOLITION LINES
	EXISTING BUILDING / STRUCTURE
	EXISTING CONCRETE
	EXISTING WATER SERVICE
	EXISTING WATERMAIN
	EXISTING SEWER SERVICE
	EXISTING SEWER RISING MAIN
	EXISTING SEWER MAIN
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING COMMUNICATIONS
	EXISTING OPTIC FIBRE
	EXISTING FENCE
	EXISTING ASPHALT/BITUMEN EDGE
	EXISTING RAIL
	EXISTING ROAD CROWN
	EXISTING BUILDING FOOTPRINT
	EXISTING TOE OF BATTER
	EXISTING TOP OF BATTER
	EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL		SCALE	CONTRACTOR
			###	
			ORIGINAL SHEET SIZE	TBC
B	CARPARK LAYOUT AMENDED- FOR APPROVAL	SMCE	12/03/2026	
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026	
REV	DESCRIPTION	DRAWN	DATE	A1

CONTRACTOR	TBC
------------	-----

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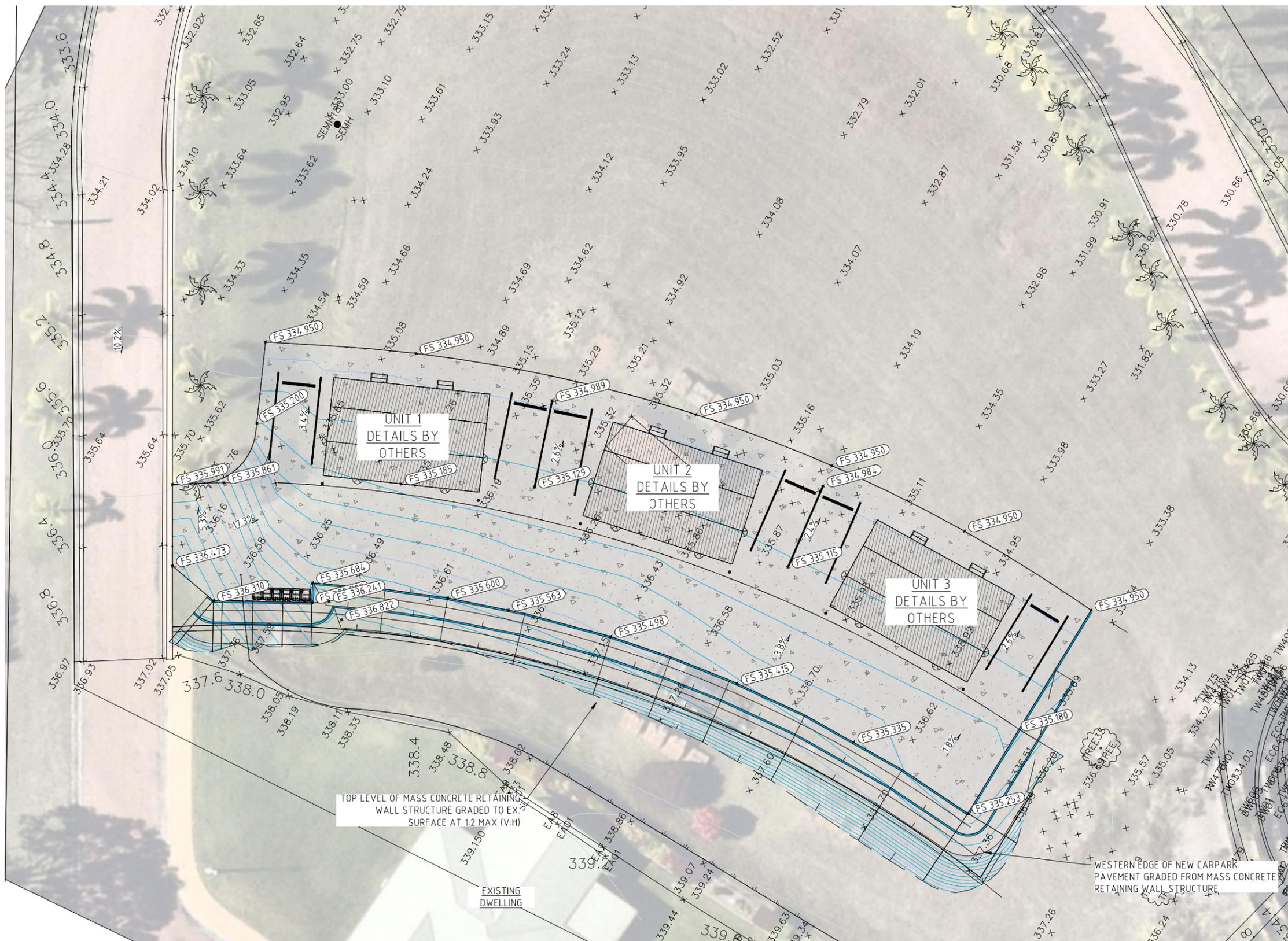
ACN 092 705 130
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CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	GENERAL ARRANGEMENT LAYOUT PLAN					
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026			
DESIGN	SMCE	SMCE	08/02/2026	25057RM	C03.1	B
DRAWN	SMCE	SMCE	08/02/2026			

X-DESIGN 25057RM.DWG February 17, 2026



PROJECT LEGEND

	CONCRETE PAVEMENTS
	GRAVEL PAVEMENTS
	LANDSCAPING (BY OTHERS)
	BUILDING WORKS (BY OTHERS)
	DOWELLED JOINT (D.J.)
	SAWCUT JOINT (S.C.)
	WATER SERVICE
	WATERMAIN
	SEWER SERVICE
	SEWER MAIN
	STORMWATER PIPE / CULVERT
	STORMWATER FLOW ARROW
	NEW SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	DEMOLITION AREAS
	DEMOLITION LINES
	EXISTING BUILDING / STRUCTURE
	EXISTING CONCRETE
	EXISTING WATER SERVICE
	EXISTING WATERMAIN
	EXISTING SEWER SERVICE
	EXISTING SEWER RISING MAIN
	EXISTING SEWER MAIN
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING COMMUNICATIONS
	EXISTING OPTIC FIBRE
	EXISTING FENCE
	EXISTING ASPHALT/BITUMEN EDGE
	EXISTING RAIL
	EXISTING ROAD CROWN
	EXISTING BUILDING FOOTPRINT
	EXISTING TOE OF BATTER
	EXISTING TOP OF BATTER
	EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL
SCALE	###
CONTRACTOR	TBC
ORIGINAL SHEET SIZE	A1
REV	DESCRIPTION
A	FOR COUNCIL APPROVAL
SMCE	02/08/2026
DRAWN	DATE

CONTRACTOR	TBC
------------	-----

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CLIENT
DALRYMPLE VILLAS

PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME SITE EARTHWORKS PLAN			
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026
PROJECT NUMBER	DRAWING NUMBER	REVISION	
25057RM	C03.3	A	

X-DESIGN 25057RM.DWG February 17, 2026



GENERAL ARRANGEMENT PLAN
1:250 AT A1

PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (SC.J.)
- WS WATER SERVICE
- W WATERMAIN
- HD SEWER SERVICE
- S SEWER MAIN
- SW STORMWATER PIPE / CULVERT
- STORMWATER FLOW ARROW
- NEW SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- DEMOLITION AREAS
- DEMOLITION LINES
- EXISTING BUILDING / STRUCTURE
- EXISTING CONCRETE
- WS EXISTING WATER SERVICE
- W EXISTING WATERMAIN
- HC EXISTING SEWER SERVICE
- RM EXISTING SEWER RISING MAIN
- S EXISTING SEWER MAIN
- SW EXISTING STORMWATER PIPE / CULVERT
- SSD EXISTING STORMWATER PIPE / CULVERT
- O/H EXISTING OVERHEAD ELECTRICAL
- U/G EXISTING UNDERGROUND ELECTRICAL
- C EXISTING COMMUNICATIONS
- OF EXISTING OPTIC FIBRE
- // EXISTING FENCE
- EXISTING ASPHALT/BITUMEN EDGE
- EXISTING RAIL
- EXISTING ROAD CROWN
- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- EXISTING GRADE CHANGE

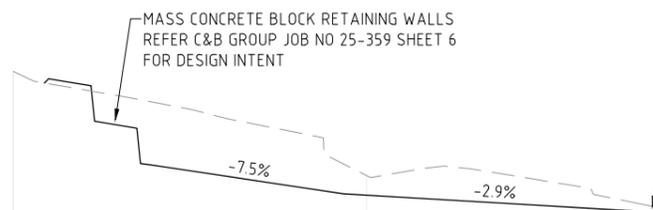
PAVEMENT & FILL CUT/ FILL SUMMARY (FS - EG)				
Band	From Depth	To Depth	Volume	Range
1	-2.000	0.000	495m ³	
2	0.000	1.000	14m ³	

DESIGN NOTES

- QUANTITIES LISTED ABOVE ARE THE ESTIMATED UNBULKED VOLUMES FROM THE EXISTING SURFACE TO THE DESIGN FINAL SURFACE
- REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
- ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

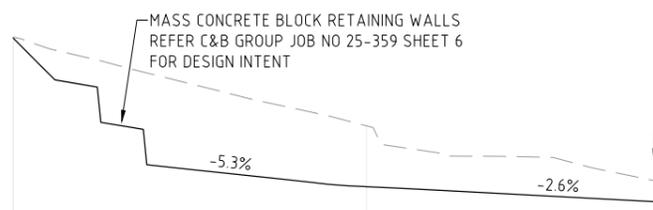
GENERAL NOTES

- ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
- REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
- ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION



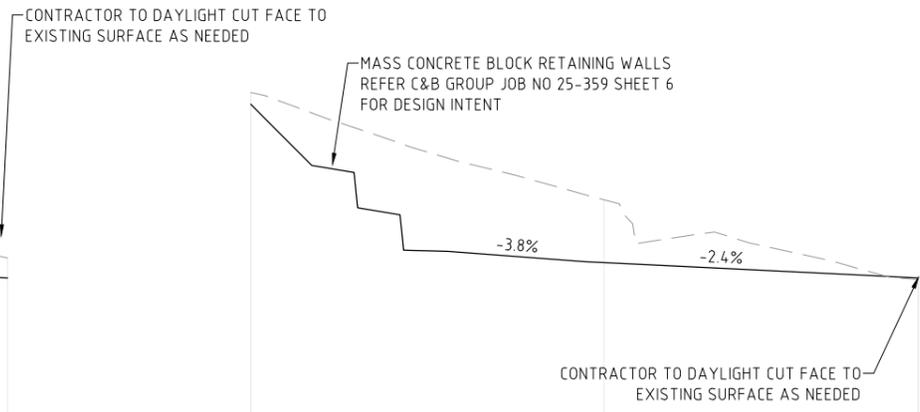
DATUM 332.00	
FINISHED (FS)	336.574, 336.400, 336.269, 336.000, 335.465, 335.436, 335.562, 335.562, 335.283, 335.046
EXISTING (EG)	336.57, 336.40, 336.27, 336.00, 335.46, 335.44, 335.56, 335.56, 335.28, 335.05
CHAINAGE	3.202, 5.043, 6.067, 8.776, 10.000, 10.114, 11.532, 12.943, 16.347, 17.942

XS1 LONG SECTION



DATUM 332.00	
FINISHED (FS)	337.111, 336.962, 336.800, 336.509, 336.171, 336.025, 336.000, 335.630, 335.595, 335.580, 335.436, 335.235
EXISTING (EG)	337.11, 336.96, 336.80, 336.51, 336.17, 336.02, 336.00, 335.63, 335.59, 335.58, 335.44, 335.23
CHAINAGE	1.050, 2.346, 3.572, 5.914, 8.886, 10.000, 10.187, 12.202, 13.899, 15.275, 16.354, 18.311

XS2 LONG SECTION



DATUM 332.00	
FINISHED (FS)	337.200, 336.986, 336.800, 336.605, 336.400, 336.118, 336.057, 335.838, 335.567, 335.447, 335.200, 334.953
EXISTING (EG)	337.20, 336.99, 336.80, 336.61, 336.40, 336.12, 336.06, 335.84, 335.57, 335.45, 335.20, 334.95
CHAINAGE	2.184, 3.471, 4.544, 5.841, 7.524, 9.535, 10.000, 10.584, 12.611, 14.106, 16.371, 18.147

XS3 LONG SECTION

FOR APPROVAL

STATUS	FOR APPROVAL
SCALE	
CONTRACTOR	TBC
ORIGINAL SHEET SIZE	A1
REV	DESCRIPTION
A	FOR COUNCIL APPROVAL
SMCE	02/08/2026
DRAWN	DATE

CONTRACTOR	TBC
------------	-----

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BRISBANE Unit 5/386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT
DALRYMPLE VILLAS
PROJECT
**PROPOSED STAFF UNITS DEVELOPMENT
15 FRASER STREET, CHARTERS TOWERS
LOT 13 ON SP289342**

DRAWING NAME BULK EARTHWORKS SECTIONS			
SIGNED: RJM	RPEQ No. 18480	DATE: 08/02/2026	
TASK	BY	INITIAL	DATE
REVIEW	SMCE	SMCE	08/02/2026
DESIGN	SMCE	SMCE	08/02/2026
DRAWN	SMCE	SMCE	08/02/2026
PROJECT NUMBER	25057RM	DRAWING NUMBER	C03.4
REVISION			A



PROJECT LEGEND

[Symbol]	CONCRETE PAVEMENTS
[Symbol]	GRAVEL PAVEMENTS
[Symbol]	LANDSCAPING (BY OTHERS)
[Symbol]	BUILDING WORKS (BY OTHERS)
[Symbol]	DOWELLED JOINT (D.J.)
[Symbol]	SAWCUT JOINT (S.C.J.)
[Symbol]	WS WATER SERVICE
[Symbol]	W WATERMAIN
[Symbol]	HD SEWER SERVICE
[Symbol]	S SEWER MAIN
[Symbol]	SW STORMWATER PIPE / CULVERT
[Symbol]	STORMWATER FLOW ARROW
[Symbol]	NEW SURFACE CONTOURS
[Symbol]	EXISTING SURFACE CONTOURS
[Symbol]	DEMOLITION AREAS
[Symbol]	DEMOLITION LINES
[Symbol]	EXISTING BUILDING / STRUCTURE
[Symbol]	EXISTING CONCRETE
[Symbol]	WS EXISTING WATER SERVICE
[Symbol]	W EXISTING WATERMAIN
[Symbol]	HC EXISTING SEWER SERVICE
[Symbol]	RM EXISTING SEWER RISING MAIN
[Symbol]	S EXISTING SEWER MAIN
[Symbol]	SW EXISTING STORMWATER PIPE / CULVERT
[Symbol]	SSD EXISTING STORMWATER PIPE / CULVERT
[Symbol]	O/H EXISTING OVERHEAD ELECTRICAL
[Symbol]	U/G EXISTING UNDERGROUND ELECTRICAL
[Symbol]	C EXISTING COMMUNICATIONS
[Symbol]	OF EXISTING OPTIC FIBRE
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING ASPHALT / BITUMEN EDGE
[Symbol]	EXISTING RAIL
[Symbol]	EXISTING ROAD CROWN
[Symbol]	EXISTING BUILDING FOOTPRINT
[Symbol]	EXISTING TOE OF BATTER
[Symbol]	EXISTING TOP OF BATTER
[Symbol]	EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL		
SCALE			
CONTRACTOR	TBC		
ORIGINAL SHEET SIZE	A1		
REV	DESCRIPTION	DRAWN	DATE
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026

CONTRACTOR	TBC
SCALE	
ORIGINAL SHEET SIZE	A1

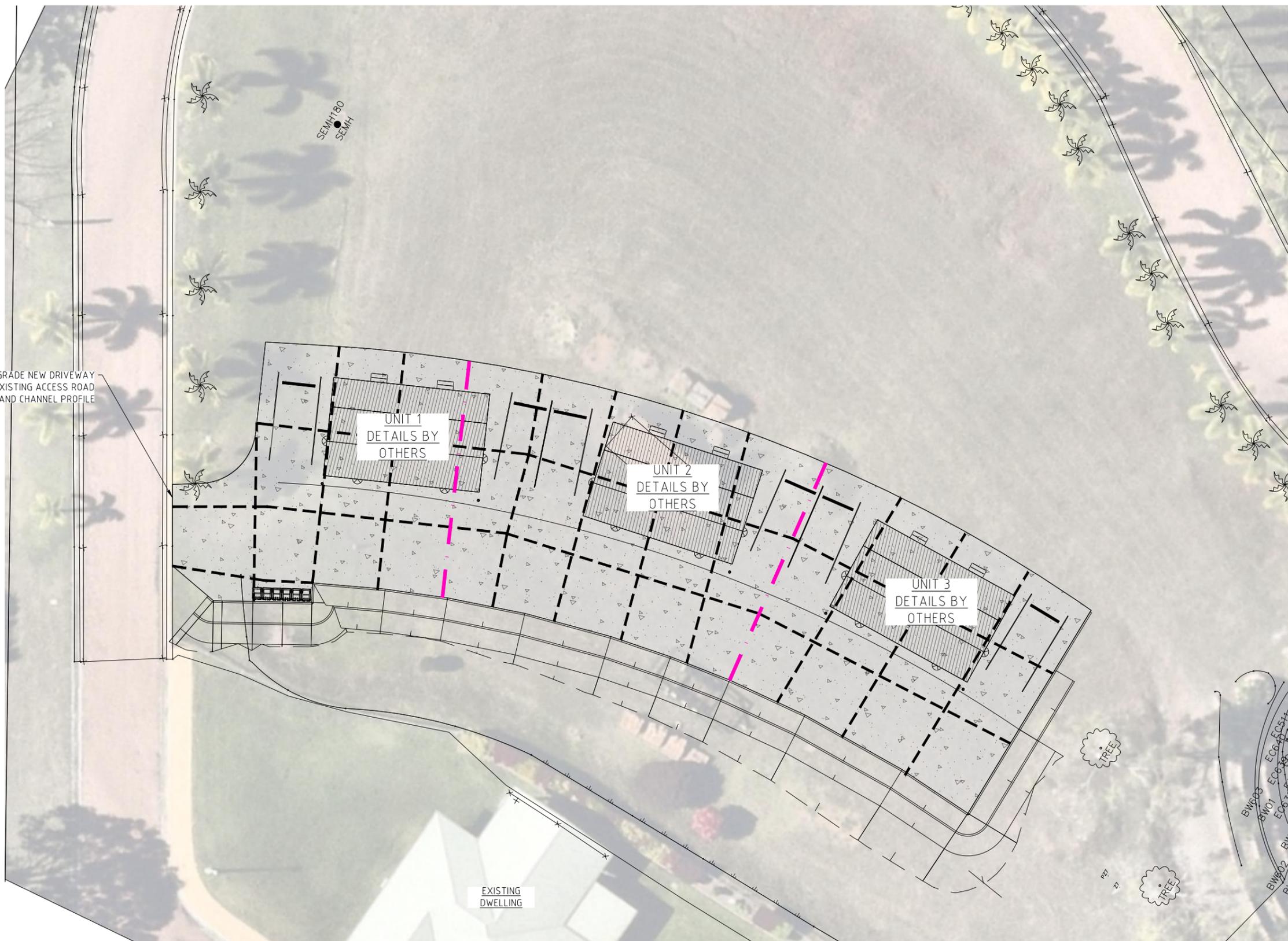
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E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME	SITE PAVEMENTS LAYOUT PLAN					
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C04.1	A
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

X-DESIGN 25057RM.DWG February 17, 2026



CONTRACTOR TO GRADE NEW DRIVEWAY ACCESS WITH EXISTING ACCESS ROAD KERB AND CHANNEL PROFILE

UNIT 1
DETAILS BY
OTHERS

UNIT 2
DETAILS BY
OTHERS

UNIT 3
DETAILS BY
OTHERS

EXISTING DWELLING

PROJECT LEGEND

- CONCRETE PAVEMENTS
- GRAVEL PAVEMENTS
- LANDSCAPING (BY OTHERS)
- BUILDING WORKS (BY OTHERS)
- DOWELLED JOINT (D.J.)
- SAWCUT JOINT (S.C.)
- WS WATER SERVICE
- W WATERMAIN
- HD SEWER SERVICE
- S SEWER MAIN
- SW STORMWATER PIPE / CULVERT
- STORMWATER FLOW ARROW
- NEW SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- DEMOLITION AREAS
- DEMOLITION LINES
- EXISTING BUILDING / STRUCTURE
- EXISTING CONCRETE
- WS EXISTING WATER SERVICE
- W EXISTING WATERMAIN
- HC EXISTING SEWER SERVICE
- RM EXISTING SEWER RISING MAIN
- S EXISTING SEWER MAIN
- SW EXISTING STORMWATER PIPE / CULVERT
- SSD EXISTING STORMWATER PIPE / CULVERT
- O/H EXISTING OVERHEAD ELECTRICAL
- U/G EXISTING UNDERGROUND ELECTRICAL
- C EXISTING COMMUNICATIONS
- OF EXISTING OPTIC FIBRE
- // EXISTING FENCE
- EXISTING ASPHALT/BITUMEN EDGE
- EXISTING RAIL
- EXISTING ROAD CROWN
- EXISTING BUILDING FOOTPRINT
- EXISTING TOE OF BATTER
- EXISTING TOP OF BATTER
- EXISTING GRADE CHANGE

GENERAL ARRANGEMENT PLAN
1:125 AT A1

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

FOR APPROVAL

STATUS		FOR APPROVAL	
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026
REV	DESCRIPTION	DRAWN	DATE

SCALE	CONTRACTOR
###	TBC
ORIGINAL SHEET SIZE	A1

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BRISBANE Unit 5/ 386 Earnshaw Road Banyo QLD 4017
E admin@smce.net.au W www.smce.net.au

CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME				PAVEMENT JOINTS LAYOUT PLAN		
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C04.2	
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

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PROJECT LEGEND

	CONCRETE PAVEMENTS
	GRAVEL PAVEMENTS
	LANDSCAPING (BY OTHERS)
	BUILDING WORKS (BY OTHERS)
	DOWELLED JOINT (D.J.)
	SAWCUT JOINT (S.C.)
	WATER SERVICE
	WATERMAIN
	SEWER SERVICE
	SEWER MAIN
	STORMWATER PIPE / CULVERT
	STORMWATER FLOW ARROW
	NEW SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	DEMOLITION AREAS
	DEMOLITION LINES
	EXISTING BUILDING / STRUCTURE
	EXISTING CONCRETE
	EXISTING WATER SERVICE
	EXISTING WATERMAIN
	EXISTING SEWER SERVICE
	EXISTING SEWER RISING MAIN
	EXISTING SEWER MAIN
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING STORMWATER PIPE / CULVERT
	EXISTING OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING COMMUNICATIONS
	EXISTING OPTIC FIBRE
	EXISTING FENCE
	EXISTING ASPHALT/BITUMEN EDGE
	EXISTING RAIL
	EXISTING ROAD CROWN
	EXISTING BUILDING FOOTPRINT
	EXISTING TOE OF BATTER
	EXISTING TOP OF BATTER
	EXISTING GRADE CHANGE

GENERAL NOTES

1. ALL LEVELS ARE IN METRES (m) UNLESS NOTED OTHERWISE
2. REFER SURVEY PLANS FOR LOT LAYOUTS AND DIMENSIONS
3. ALL DIMENSIONS AND SETOUT SHALL BE VERIFIED BY THE CONTRACTOR ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

GENERAL ARRANGEMENT PLAN
1:125 AT A1

FOR APPROVAL

STATUS	FOR APPROVAL		SCALE	CONTRACTOR
REV	DESCRIPTION	DRAWN	DATE	A1
B	CARPARK LAYOUT AMENDED- FOR APPROVAL	SMCE	12/03/2026	TBC
A	FOR COUNCIL APPROVAL	SMCE	02/08/2026	

ORIGINAL SHEET SIZE	###
CONTRACTOR	TBC

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CLIENT	DALRYMPLE VILLAS
PROJECT	PROPOSED STAFF UNITS DEVELOPMENT 15 FRASER STREET, CHARTERS TOWERS LOT 13 ON SP289342

DRAWING NAME				ROADWORKS AND CARPARK LAYOUT PLAN		
SIGNED:	RJM	RPEQ No.	18480	DATE:	08/02/2026	
TASK	BY	INITIAL	DATE	PROJECT NUMBER	DRAWING NUMBER	REVISION
REVIEW	SMCE	SMCE	08/02/2026	25057RM	C05.1	B
DESIGN	SMCE	SMCE	08/02/2026			
DRAWN	SMCE	SMCE	08/02/2026			

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