

# 1 SCOTT LANE, QUEENTON - MATERIAL CHANGE OF USE (DWELLING HOUSE)

## Town Planning Report



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B  
03 September 2026

REPORT

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|                 |                        |             |             |             |             |

Approval for issue

Patrick Clifton



3 September 2026

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Prepared for:

**Podrein Pty Ltd**

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## SUMMARY

**Table 1: Summary**

| Details                                |                                                                                                                                                                        |                                                |                                                                     |
|----------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------|---------------------------------------------------------------------|
| Site Address:                          | 1 Scott Lane, Queenton                                                                                                                                                 |                                                |                                                                     |
| Real Property Description:             | Lot 3 on SP210837                                                                                                                                                      |                                                |                                                                     |
| Site Area:                             | 1,107m <sup>2</sup>                                                                                                                                                    |                                                |                                                                     |
| Zone:                                  | Industry Zone                                                                                                                                                          |                                                |                                                                     |
| Owner(s):                              | Podrein Pty Ltd                                                                                                                                                        |                                                |                                                                     |
| Proposal                               |                                                                                                                                                                        |                                                |                                                                     |
| Brief Description/ Purpose of Proposal | Material Change of Use for the Purpose of a Dwelling House                                                                                                             |                                                |                                                                     |
| Application Details                    |                                                                                                                                                                        |                                                |                                                                     |
| Aspect of Development                  | Preliminary approval                                                                                                                                                   | Development permit                             |                                                                     |
| Material change of use                 | <input type="checkbox"/>                                                                                                                                               | <input checked="" type="checkbox"/>            |                                                                     |
| Building Work                          | <input type="checkbox"/>                                                                                                                                               | <input type="checkbox"/>                       |                                                                     |
| Operational Work                       | <input type="checkbox"/>                                                                                                                                               | <input type="checkbox"/>                       |                                                                     |
| Reconfiguration of a Lot               | <input type="checkbox"/>                                                                                                                                               | <input type="checkbox"/>                       |                                                                     |
| Assessment Category                    | <input type="checkbox"/> Code                                                                                                                                          | <input checked="" type="checkbox"/> Impact     |                                                                     |
| Public Notification                    | <input type="checkbox"/> No                                                                                                                                            | <input checked="" type="checkbox"/> Yes: 15 BD |                                                                     |
| Superseded Planning Scheme Application | <input type="checkbox"/> Yes                                                                                                                                           | <input checked="" type="checkbox"/> No         |                                                                     |
| Referral Agencies                      |                                                                                                                                                                        |                                                |                                                                     |
| Agency                                 | Concurrence                                                                                                                                                            | Advice                                         | Pre-lodgement response                                              |
| State Assessment and Referral Agency   | <input checked="" type="checkbox"/>                                                                                                                                    | <input type="checkbox"/>                       | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Pre-lodgement / Consultation           |                                                                                                                                                                        |                                                |                                                                     |
| Entity                                 | Date                                                                                                                                                                   | Contact Name                                   |                                                                     |
| Council DA Team                        | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                    |                                                |                                                                     |
| Local Councillor                       | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                    |                                                |                                                                     |
| Community                              | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                    |                                                |                                                                     |
| Other                                  |                                                                                                                                                                        |                                                |                                                                     |
| Applicant contact person               | Patrick Clifton<br>Technical Director, Team Leader<br>D: +61 7 40311366<br>E: <a href="mailto:patrick.clifton@rpsconsulting.com">patrick.clifton@rpsconsulting.com</a> |                                                |                                                                     |

# 1 INTRODUCTION

RPS has been engaged by Podrein Pty Ltd to seek development approval for establishment of a Dwelling House on land at 1 Scott Street, Queenton, and described as Lot 3 on SP210837. The site has an area of 1,107m<sup>2</sup> and has frontage to the west to Scott Lane of approximately 24 metres and to an unnamed road reserve to the southeast of approximately 33.5 metres. It is understood that the site has been developed with a Dwelling House, which was relocated to the site from 20 Mosman Street in or about October 2012.

The house is located in the southeastern corner of the site approximately 3 metres from the unnamed road and 8.5 metres from the Scott Lane frontage. The dwelling is a three bedroom dwelling with a single car port with access provided from Scott Lane. The balance of the land comprising the site is currently vacant.

The site is located in an area that contains a mix of residential, low impact industry and other industry uses. Immediately to the south, east and west, the site adjoins land that has been developed with Dwelling Houses. To the south land appears to be used for a transport and equipment depot. Further to the east is the railway line and to the south are the goods yards.

Under the Charters Towers Regional Town Plan, the site is identified in the Industry Zone. The Industry Zone table of assessment identifies the development of a dwelling house on the site as requiring the approval of an impact assessable application for material change of use.

We understand that it has become apparent that the Dwelling House has been provided on the site without the relevant approvals in place and that the Charters Towers Regional Council are requesting an application for the retrospective approval for the existing Dwelling House use.

This development application seeks a Development Permit for Material Change of Use to regularise the existing use of the site for the purpose of a Dwelling House.

This report provides greater detail on the nature of the proposal and provides an assessment of the proposal against the intents and code requirements of relevant statutory planning documents.

Based on these assessments the proposal is recommended for approval subject to reasonable and relevant conditions.

## 2 SITE DETAILS

### 2.1 Site Particulars

The subject site is a single regularly shaped lot located at 1 Scott Lane, Queenton, and described as Lot 3 on SP210837. The site has an area of 1,107m<sup>2</sup> and has frontage to the west to Scott Lane of approximately 24 metres and to an unnamed road reserve to the southeast of approximately 33.5 metres.

It is understood that the site has been developed with a Dwelling House, which was relocated to the site from 20 Mosman Street in or about October 2012. The Dwelling House is located in the southeastern corner of the site and 8.5 metres from the Scott Lane frontage and 3 metres from the secondary frontage to the unnamed road reserve.

The site is located in an area that contains a mix of residential, low impact industry and other industry uses. Immediately to the south, east and west, the site adjoins land that has been developed with Dwelling Houses. To the south, land appears to be used for a transport and equipment depot. Further to the east is the railway line and to the south are the rail goods yards.

Key details of the subject site are as follows:

**Table 2: Site Particulars**

| Site Particulars          |                        |
|---------------------------|------------------------|
| Site Address              | 1 Scott Lane, Queenton |
| Real Property Description | Lot 3 on SP210837      |
| Site Area                 | 1,107m <sup>2</sup>    |
| Landowner(s)              | Podrein Pt Ltd         |

The site location and its extent are shown in **Figure 1** and **Figure 2** below respectively.

Certificate/s of title confirming site ownership details are included at **Appendix A**.



Figure 1 Site Location

Source: Queensland Globe



Figure 2 Site Frontage

Source: Google Maps

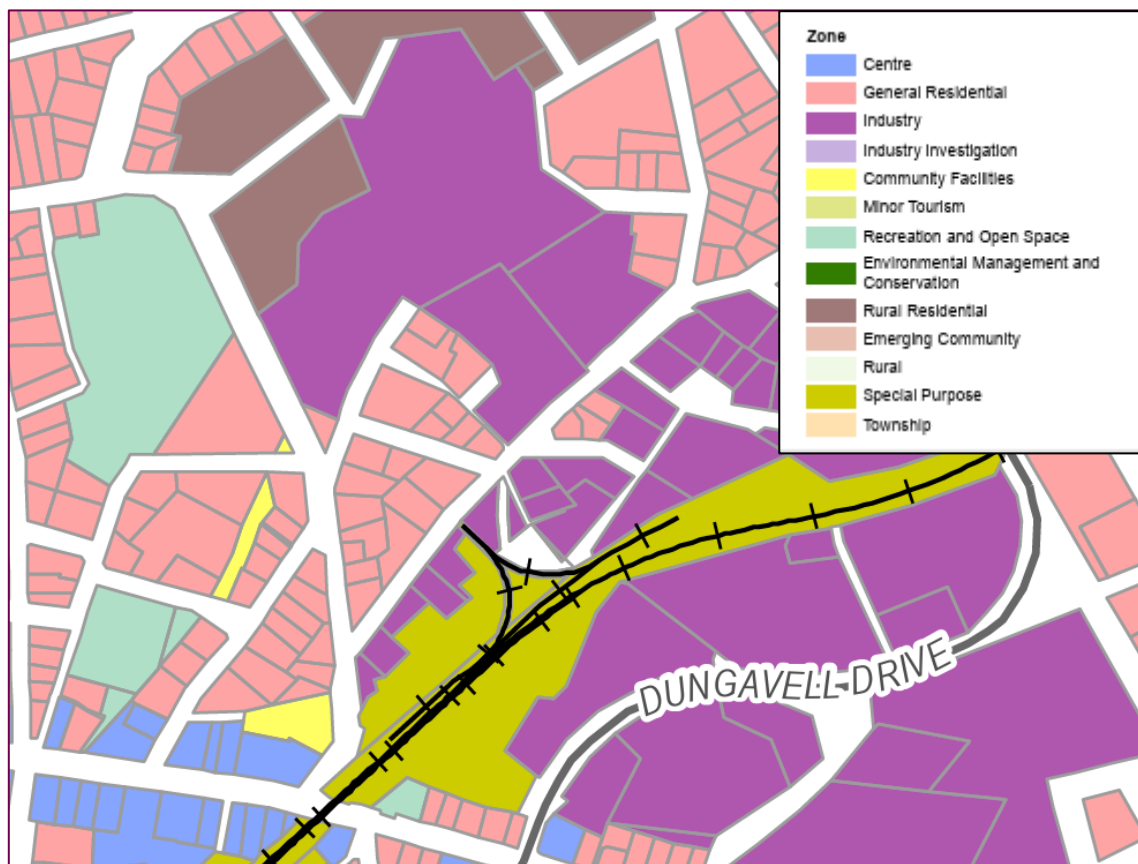
## 2.2 Planning Context

The planning context of the site includes the following:

**Table 3: Planning Context**

| Instrument                                          | Designation                                                                                                                                     |
|-----------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>State Planning Policy Mapping</b>                |                                                                                                                                                 |
| Safety and Resilience to Hazards                    | <ul style="list-style-type: none"> <li>Natural Hazards Risk and Resilience - Flood Hazard Area- Local government flood mapping area.</li> </ul> |
| <b>Development Assessment Mapping</b>               |                                                                                                                                                 |
| Native Vegetation Clearing                          | <ul style="list-style-type: none"> <li>Category X on the Regulated Vegetation Management Map</li> </ul>                                         |
| State Transport                                     | <ul style="list-style-type: none"> <li>Area within 25m of a railway corridor</li> </ul>                                                         |
| <b>Charters Towers Regional Town Plan Version 2</b> |                                                                                                                                                 |
| Zoning                                              | <ul style="list-style-type: none"> <li>Industry Zone</li> </ul>                                                                                 |

Zoning of the subject site and surrounding lands is shown on **Figure 3**.



**Figure 3 Zoning**

Source: Charters Towers Regional Town Plan Version 2.0

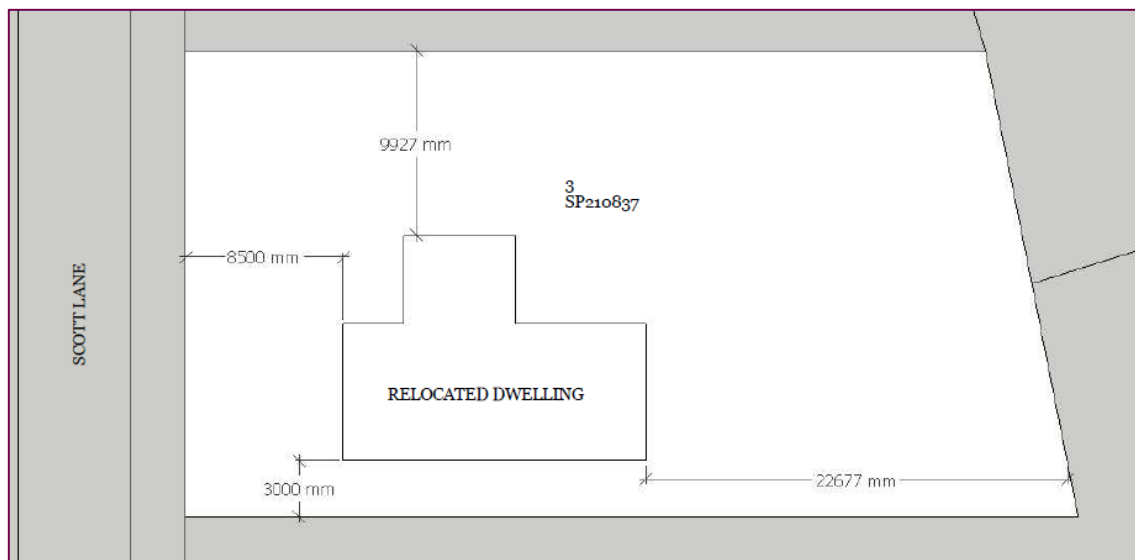
### 3 PROPOSAL

#### 3.1 Overview

In 2012, Council granted approval for the partial demolition and removal of a dwelling located at 20 Mosman Street, Charters Towers. The house was subsequently relocated to 1 Scott Lane, Queenton. Whilst the approval was granted for the removal of the Dwelling House, an approval was not granted for the location of the Dwelling House on the subject site. The application is to regularise location of the house on this site.

The Dwelling House is located in the southeastern corner of the site and set back 8.5 metres from the Scott Lane frontage and 3.0 metres from the secondary frontage to the east. The dwelling is a single storey, three bedroom dwelling with a single car port with access provided from Scott Lane at the western end of the frontage to Scott Lane. The balance of the land comprising the site is currently vacant and is curtilage to the Dwelling House.

Extracts of the proposal plans are provided in **Figures 4 and 5** below.



**Figure 4 Site Plan**

Source: CCS Builders

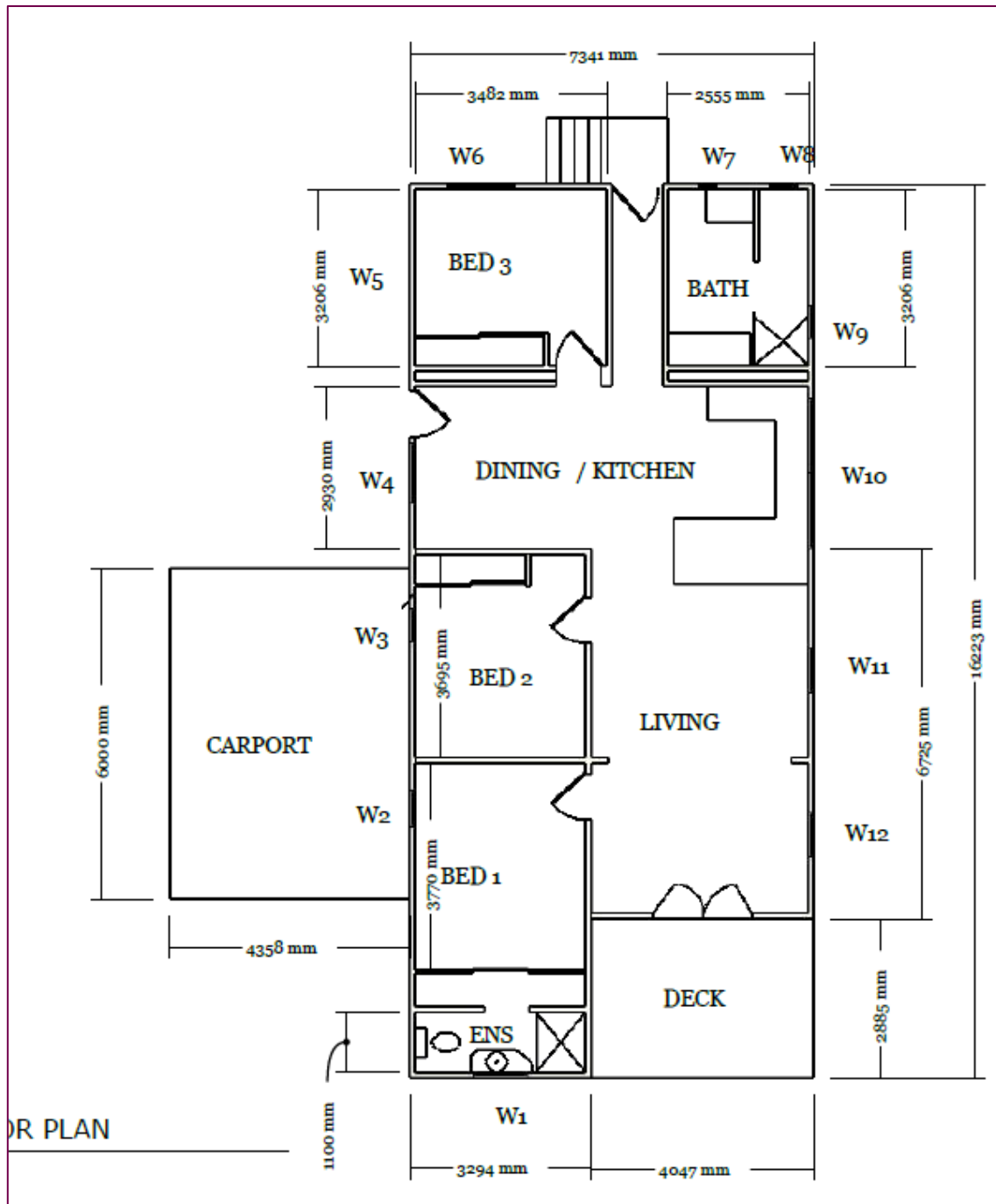


Figure 5 Floor Plan

Source: CCS Builders

A full set of proposal plans are included at **Appendix B**.

## 4 LEGISLATIVE REQUIREMENTS

### 4.1 Assessment Manager

In accordance with Schedule 8 of the *Planning Regulation 2017*, the assessment manager for this application is Charters Towers Regional Council.

### 4.2 Categories of Assessment

The table below summarises the categorising instruments and categories of assessment applicable to this application.

**Table 4: Categories of Assessment**

| Aspect of development                                 | Categorising instrument                                                        | Category of assessment |
|-------------------------------------------------------|--------------------------------------------------------------------------------|------------------------|
| Development Permit for Material Change of Use for the | Charters Towers Regional Town Plan Version 2.0, Table 5.4.3.1 — Industry zone. | Impact assessable      |

### 4.3 Referrals

In accordance with Schedule 10 of the *Planning Regulation 2017* and whilst the subject site is located within 25 metres of a state transport corridor, the proposal is for an excluded material change of use and consequently no referrals are applicable.

An excluded material change of use means a material change of use of premises that—

(a) does not involve a new or changed access between the premises and any of the following—

- (i) a State transport corridor;
- (ii) a road that intersects with a State-controlled road;
- (iii) a road that intersects with a railway crossing; and

(b) is for—

- (i) 1 or more of the following uses—
  - A. a dwelling house;
  - B. a secondary dwelling;
  - C. a domestic outbuilding associated with a dwelling house on the premises;
  - D. a dwelling unit;
  - E. a dual occupancy;
  - F. caretaker's accommodation;
  - G. a community residence; or
- (ii) a use other than a service station, fast food outlet, telecommunication facility or use stated in subparagraph (i), and all of the following apply—
  - A. the premises have a gross floor area of no more than 100m<sup>2</sup> and the material change of use does not increase the gross floor area;
  - B. the material change of use does not involve building work, other than building work that is wholly inside a building;
  - C. if the material change of use involves building or extending a hardstanding area—the hardstanding area or extension is not more than 25m<sup>2</sup>.

The proposal is for a dwelling house that does not involve any new or changed access to a state transport corridor or a road that intersects with a state transport corridor.

## 4.4 Public Notification

This application is required to be the subject of public notification as it is subject to impact assessment. Public notification will comprise a public notice posted on the land, a public notice in the local newspaper and letters of notice to adjoining landowners.

The public notice period will be 15 business days, during which time interested members of the public are able to make properly made submissions in respect of the application. These properly made submissions are required to be considered by Council during the assessment of the application.

## 5 STATUTORY PLANNING ASSESSMENT

### 5.1 Overview

This section assesses the application against relevant assessment benchmarks.

As the application is subject to impact assessment, the assessment benchmarks, and the matters the assessment manager must have regard to, are those identified in section 45(5) of the *Planning Act 2016* and sections 30 and 31 of the *Planning Regulation 2017*.

### 5.2 State and Regional Assessment Benchmarks

#### 5.2.1 State Planning Policy

The *Planning Regulation 2017* at section 30(2)(a)(ii) requires the assessment manager to assess the application against the assessment benchmarks stated in the State Planning Policy, Part E, to the extent Part E of the State Planning Policy is not identified in the planning scheme as being appropriately integrated into the planning scheme.

The Minister has identified that the State Planning Policy July 2017 is appropriately integrated into the Town Plan, excluding Coastal environment and Strategic ports.

On this basis, no further assessment is required in this instance.

#### 5.2.2 Regional Plan

There is currently no regional plan that applies to the Charters Towers local government area.

#### 5.2.3 Development Assessment under Schedule 10 (SDAP)

Schedule 10 of the *Planning Regulation 2017* identifies the matters that the assessment manager and/or referral agency assessment must have regard to when the application triggers an assessment as identified in the Regulation. The State Development Assessment Provisions (SDAP) nominate applicable State Codes based on the referral triggers. In this instance the application is not required to be the subject of assessment against any State Development Assessment Provisions.

### 5.3 Local Authority Assessment Benchmarks

This application is to be assessed against Charters Towers Regional Town Plan Version Two. The assessment benchmarks applicable under Town Plan are addressed below.

#### 5.3.1 Strategic Framework

The strategic intent identified in 3.2 Strategic intent identifies that the industry places are intended to be predominantly for industrial development and major economic activity.

Section 3.4 identifies that the existing urban areas within Charters Towers are the focus for the majority of housing growth through a mix of infill development in the form of Dwelling houses, Dual occupancy, Multiple dwellings, community residence, residential care and retirement facilities in the General residential zone; and greenfield urban development in the Emerging community zone area.

It is important to note that the Strategic Framework does not prohibit the development of residential uses in industry areas but recognises that the predominant use should be industry. Similarly, it does not constrain residential uses to the residential zone only but recognises that the residential zone should be the focus for residential development.

In this instance the site is a residential size lot that was created from the subdivision of the residential land to the west. The site to the east, west and north are all development with residential uses and residential land

uses are the predominant land use in the immediate locality. This includes other residential development on industry zoned land.

The development of this site for a Dwelling House would be consistent with adjacent and adjoining development and would be consistent with the amenity of the area. In the alternative, the development of the land for an industry use would result in a conflicting land use being located between two existing residential land use with the resultant amenity and reverse amenity impacts.

In the context of the immediate environment, it is considered that the proposed development is consistent with the overarching intent to provide urban development in the existing urban environment whilst avoiding the colocation of incompatible land uses.

### 5.3.2 Industry Zone Code

The purpose of the Industry zone is to provide for a variety of industry activities; and other uses and activities that support industry activities; and do not compromise the future use of premises for industry activities.

The proposed development would involve the development of a residential land use on industry zoned land; however, the site is surrounded by residential uses and despite the zoning, the predominate form of development in the immediate locality is residential in nature. The opportunity for industrial development on the site is considered to be compromised by the adjoining and adjacent residential development. The proposed development would not compromise the ongoing operation of any existing industry uses and would not further compromise the future use of the site for industry purposes.

### 5.3.3 Codes

The planning scheme codes applicable to the proposal, and the location of the relevant appended code response are identified below:

**Table 5: Planning Scheme Code Responses**

| Planning Scheme Codes    | Applicability | Comment                                                                                                       |
|--------------------------|---------------|---------------------------------------------------------------------------------------------------------------|
| <b>Zone code</b>         |               |                                                                                                               |
| Industry Zone Code       | Applies       | Consideration is required in respect of Performance Outcomes PO16 and PO17 relating to land use. Refer below. |
| <b>Development Codes</b> |               |                                                                                                               |
| Development Works Code   | Applies       | Complies with applicable Assessment Benchmarks.                                                               |

A detailed assessment against the applicable codes is provided at **Appendix C**.

### 5.3.4 Town Planning Considerations

#### 5.3.4.1 Industry Zone Code

The proposed development involves a Dwelling house on Industry zoned land. The development of the land for industry purposes is considered to be constrained by the exiting residential land uses that adjoin the site and the resultant potential conflicts with the industrial development of the application site.

The proposed development conflicts with Performance Outcome PO16 and PO17 relating to retaining industry zoned land for industry purposes and resisting the development of the land for alternative purposes.

Performance Outcomes PO16 and PO17 state:

**PO16**

*Development does not compromise the use of land for industry purposes.*

**PO17**

Development is:

- (a) an industrial activity; or
- (b) trade related; or
- (c) difficult to locate in other zones due to land area or operational requirements (such as indoor sport and recreation uses); or
- (d) small in scale and ancillary to, or directly supports, the industrial functions of the area.

The proposed development does not comply with these Performance Outcomes. However, it is important to note that the subject site is a single lot with an area of 1,107m<sup>2</sup> located between two existing residential properties, each containing a dwelling house and the immediate locality containing the site has predominance of residential uses. The use of the site for industry purposes is compromised by these existing dwelling houses and the size of the site. In summary, the development of the land for industry purposes is not viable given the land uses in the locality and the potential for amenity impacts.

It is also important to note that the site was formerly part of the adjoining Lot 2 on SP210837 and has always been a residential use. **Figure 6** below illustrates the historic form of the site.



**Figure 6 Historic Imagery**

Source: QImagery 23 May 2003

Having regard to this local context, it is considered that the proposed development would not further compromise the use of the site for industry purposes and the land cannot be viably used for an industry use without adversely affecting the amenity of the adjoining and adjacent residential uses.

On this basis, it is considered that there is merit in providing for the residential use of the land despite the conflict with the Performance Outcomes.

## 6 CONCLUSION

RPS has been engaged by Podrein Pty Ltd to seek development approval for establishment of a Dwelling House on land at 1 Scott Street, Queenton, and described as Lot 3 on SP210837. The site has an area of 1,107m<sup>2</sup> and has frontage to the west to Scott Lane of approximately 24 metres and to an unnamed road reserve to the southeast of approximately 33.5 metres. It is understood that the site has been developed with a Dwelling House, which was relocated to the site from 20 Mosman Street in or about October 2012.

The house is located in the southeastern corner of the site approximately 3 metres from the unnamed road and 8.5 metres from the Scott Lane frontage. The dwelling is a three bedroom dwelling with a single car port with access provided from Scott Lane. The balance of the land comprising the site is currently vacant.

The site is located in an area that contains a mix of residential, low impact industry and other industry uses. Immediately to the south, east and west, the site adjoins land that has been developed with Dwelling Houses. To the south, land appears to be used for a transport and equipment depot. Further to the east is the railway line and to the south are the goods yards.

Under the Charters Towers Regional Town Plan, the site is identified in the Industry Zone. The Industry Zone table of assessment identifies the development of a dwelling house on the site as requiring the approval on an impact assessable application for material change of use.

We understand that it has become apparent that the Dwelling House has been provided on the site without the relevant approvals in place and that the Charters Towers Regional Council are requesting an application for the retrospective approval for the existing Dwelling House use.

This development application seeks a Development Permit for Material Change of Use to regularise the existing use of the site for the purpose of a Dwelling House.

The proposed development is not consistent with the purpose of the Industry Zone Code or the Performance Outcomes relating to land use within the Industry Zone. However, the site is immediately surrounded by residential uses and the predominant form of development in the immediate locality is residential. The use of the site for an industry use is compromised by the lawful residential development and the development of the site for a Dwelling house would be consistent with the adjoining developments. On this basis, it is considered that there is town planning merit in the development of the site for a residential purpose despite the conflict with the zone code.

The application is submitted for approval subject to reasonable and relevant conditions.

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

| 1) Applicant details                                |                                             |
|-----------------------------------------------------|---------------------------------------------|
| Applicant name(s) (individual or company full name) | Podrein Pty Ltd                             |
| Contact name (only applicable for companies)        | c/- RPS Consulting Pty Ltd, Patrick Clifton |
| Postal address (P.O. Box or street address)         | PO Box 1949                                 |
| Suburb                                              | Cairns                                      |
| State                                               | QLD                                         |
| Postcode                                            | 4870                                        |
| Country                                             | Australia                                   |
| Contact number                                      | 07 4031 1366                                |
| Email address (non-mandatory)                       | Patrick.clifton@rpsconsulting.com           |
| Mobile number (non-mandatory)                       |                                             |
| Fax number (non-mandatory)                          |                                             |
| Applicant's reference number(s) (if applicable)     | 468043                                      |

### 1.1) Home-based business

☐ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- ☐ Yes – the written consent of the owner(s) is attached to this development application  
☒ No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

|    |          |            |                                    |                          |
|----|----------|------------|------------------------------------|--------------------------|
| a) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          | 1          | Scott Lane                         | Queenton                 |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    | 4820     | 3          | SP210837                           | Charters Towers          |
| b) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          |            |                                    |                          |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    |          |            |                                    |                          |

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

|              |             |                                                                                                     |                                          |
|--------------|-------------|-----------------------------------------------------------------------------------------------------|------------------------------------------|
| Longitude(s) | Latitude(s) | Datum                                                                                               | Local Government Area(s) (if applicable) |
|              |             | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: |                                          |

- ☐ Coordinates of premises by easting and northing

|            |             |                                                                                           |                                                                                                     |                                          |
|------------|-------------|-------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|------------------------------------------|
| Easting(s) | Northing(s) | Zone Ref.                                                                                 | Datum                                                                                               | Local Government Area(s) (if applicable) |
|            |             | <input type="checkbox"/> 54<br><input type="checkbox"/> 55<br><input type="checkbox"/> 56 | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: |                                          |

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

|                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>                    |
| Name of airport: <input type="text"/>                                                                                             |
| <input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i> |
| EMR site identification: <input type="text"/>                                                                                     |
| <input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>        |
| CLR site identification: <input type="text"/>                                                                                     |

#### 5) Are there any existing easements over the premises?

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Dwelling House

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

**6.4) Is the application for State facilitated development?**

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

|                        |                                                                                                                 |
|------------------------|-----------------------------------------------------------------------------------------------------------------|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2                                                              |
| Operational work       | <input type="checkbox"/> Yes – complete division 3                                                              |
| Building work          | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                                |

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

| Provide a general description of the proposed use | Provide the planning scheme definition (include each definition in a new row) | Number of dwelling units (if applicable) | Gross floor area (m <sup>2</sup> ) (if applicable) |
|---------------------------------------------------|-------------------------------------------------------------------------------|------------------------------------------|----------------------------------------------------|
| Dwelling house                                    | Dwelling house                                                                | 1                                        | n/a                                                |
|                                                   |                                                                               |                                          |                                                    |
|                                                   |                                                                               |                                          |                                                    |

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- ☒ Yes
- ☐ No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

| Provide a general description of the temporary accepted development | Specify the stated period dates under the Planning Regulation |
|---------------------------------------------------------------------|---------------------------------------------------------------|
|                                                                     |                                                               |

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

|  |
|--|
|  |
|--|

**9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)**

|                                                             |                                                                                                                        |
|-------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Subdivision (complete 10)          | <input type="checkbox"/> Dividing land into parts by agreement (complete 11)                                           |
| <input type="checkbox"/> Boundary realignment (complete 12) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13) |

| 10) Subdivision                                                                                         |             |            |            |                        |
|---------------------------------------------------------------------------------------------------------|-------------|------------|------------|------------------------|
| 10.1) For this development, how many lots are being created and what is the intended use of those lots: |             |            |            |                        |
| Intended use of lots created                                                                            | Residential | Commercial | Industrial | Other, please specify: |
| Number of lots created                                                                                  |             |            |            |                        |

| 10.2) Will the subdivision be staged?                                                          |  |
|------------------------------------------------------------------------------------------------|--|
| <input type="checkbox"/> Yes – provide additional details below<br><input type="checkbox"/> No |  |
| How many stages will the works include?                                                        |  |
| What stage(s) will this development application apply to?                                      |  |

| 11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts? |             |            |            |                        |
|-------------------------------------------------------------------------------------------------------------------------|-------------|------------|------------|------------------------|
| Intended use of parts created                                                                                           | Residential | Commercial | Industrial | Other, please specify: |
| Number of parts created                                                                                                 |             |            |            |                        |

| 12) Boundary realignment                                                            |                        |                         |                        |
|-------------------------------------------------------------------------------------|------------------------|-------------------------|------------------------|
| 12.1) What are the current and proposed areas for each lot comprising the premises? |                        |                         |                        |
| Current lot                                                                         |                        | Proposed lot            |                        |
| Lot on plan description                                                             | Area (m <sup>2</sup> ) | Lot on plan description | Area (m <sup>2</sup> ) |
|                                                                                     |                        |                         |                        |
|                                                                                     |                        |                         |                        |
| 12.2) What is the reason for the boundary realignment?                              |                        |                         |                        |
|                                                                                     |                        |                         |                        |

| 13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?<br>(attach schedule if there are more than two easements) |           |            |                                                   |                                                     |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|------------|---------------------------------------------------|-----------------------------------------------------|
| Existing or proposed?                                                                                                                                                  | Width (m) | Length (m) | Purpose of the easement? (e.g. pedestrian access) | Identify the land/lot(s) benefitted by the easement |
|                                                                                                                                                                        |           |            |                                                   |                                                     |
|                                                                                                                                                                        |           |            |                                                   |                                                     |

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

| 14.1) What is the nature of the operational work?                                                                                                                        |                                                                                                                                                                                                                                                                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Road work<br><input type="checkbox"/> Drainage work<br><input type="checkbox"/> Landscaping<br><input type="checkbox"/> Other – please specify: | <input type="checkbox"/> Stormwater<br><input type="checkbox"/> Earthworks<br><input type="checkbox"/> Signage<br><input type="checkbox"/> Water infrastructure<br><input type="checkbox"/> Sewage infrastructure<br><input type="checkbox"/> Clearing vegetation |
| 14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)                                                                       |                                                                                                                                                                                                                                                                   |
| <input type="checkbox"/> Yes – specify number of new lots:                                                                                                               |                                                                                                                                                                                                                                                                   |
| <input type="checkbox"/> No                                                                                                                                              |                                                                                                                                                                                                                                                                   |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Charters Towers Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



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- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

| Referral requirement | Referral agency | Date of referral response |
|----------------------|-----------------|---------------------------|
|                      |                 |                           |
|                      |                 |                           |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

| List of approval/development application references | Reference number | Date | Assessment manager |
|-----------------------------------------------------|------------------|------|--------------------|
| <input type="checkbox"/> Approval                   |                  |      |                    |
| <input type="checkbox"/> Development application    |                  |      |                    |
| <input type="checkbox"/> Approval                   |                  |      |                    |
| <input type="checkbox"/> Development application    |                  |      |                    |

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$          |                      |                                |

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

|                      |  |                         |  |
|----------------------|--|-------------------------|--|
| Proposed ERA number: |  | Proposed ERA threshold: |  |
| Proposed ERA name:   |  |                         |  |

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



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## 25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

|                                                         |  |
|---------------------------------------------------------|--|
| Prescribed assessment manager                           |  |
| Name of chosen assessment manager                       |  |
| Date chosen assessment manager engaged                  |  |
| Contact number of chosen assessment manager             |  |
| Relevant licence number(s) of chosen assessment manager |  |

### QLeave notification and payment

**Note:** For completion by assessment manager if applicable

|                                                   |                      |
|---------------------------------------------------|----------------------|
| Description of the work                           |                      |
| QLeave project number                             |                      |
| Amount paid (\$)                                  | Date paid (dd/mm/yy) |
| Date receipted form sighted by assessment manager |                      |
| Name of officer who sighted the form              |                      |

## Appendix A

### Certificate(S) of Title and Search Results

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

|                            |                 |                     |                  |
|----------------------------|-----------------|---------------------|------------------|
| <b>Title Reference:</b>    | <b>50749902</b> | <b>Search Date:</b> | 26/08/2026 09:11 |
| <b>Date Title Created:</b> | 04/12/2008      | <b>Request No:</b>  | 57385283         |
| <b>Previous Title:</b>     | 17771061        |                     |                  |

#### ESTATE AND LAND

Estate in Fee Simple

LOT 3 SURVEY PLAN 210837

Local Government: CHARTERS TOWERS

#### REGISTERED OWNER

Dealing No: 718522657 17/01/2018

PODREIN PTY LTD A.C.N. 611 238 343

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 17771061 (Lot 2 on CP MPH21475)

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

\*\* End of Current Title Search \*\*

## Appendix B

### Proposal Plans

1 SCOTT LANE  
QUEENTON QLD 4820  
RELOCATED BUILDING



CLIENT  
PODREIN PL

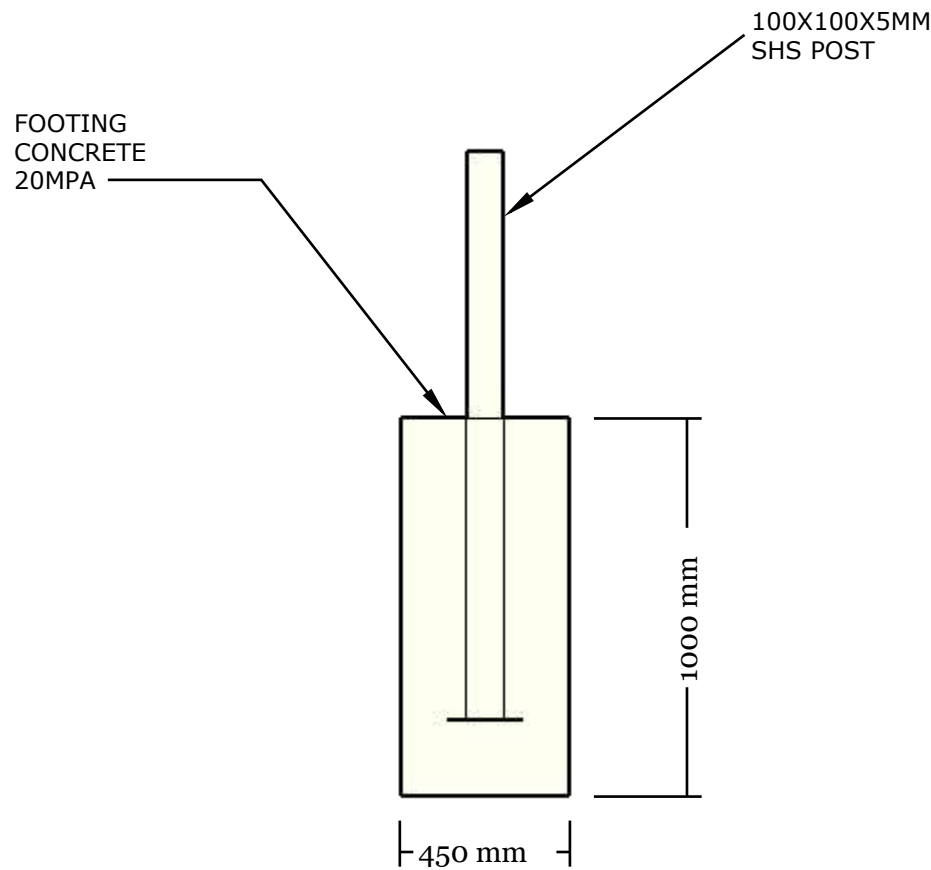
PROJECT  
*Relocated building*

PROJECT NO.  
2368

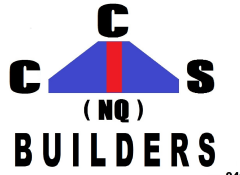
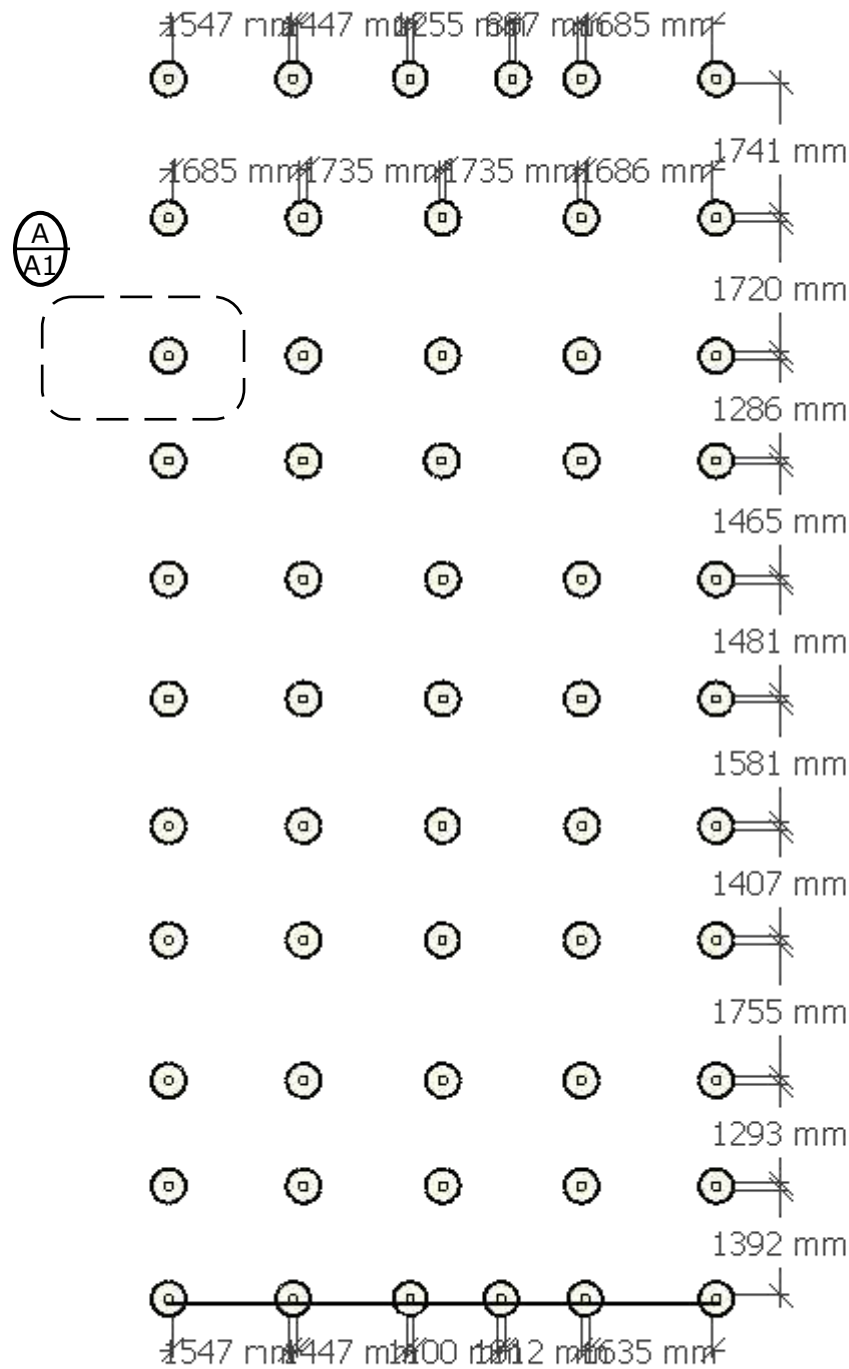
DRAWN BY  
BP

ISSUE  
02/03/2026

**A**  
**A1** POST DETAIL TYPICAL  
1:20



**B** POST LAYOUT  
1:100



36 Victoria Pde  
Thursday Island  
Qld 4875

CLIENT  
PODREIN PL

PROJECT ADDRESS:  
1 Scott Lane  
Queenton. 4820  
3SP210837

PROJECT  
Relocated building

DRAWN BY  
BP

ISSUE  
23.12.2022

RE-ISSUE  
2.03.2026

DESCRIPTION  
HOUSE  
FOOTINGS & POSTS

**A0.1**

CLIENT  
PODREIN PL

PROJECT ADDRESS:  
1 Scott Lane  
Queenton. 4820  
3SP210837

PROJECT  
Relocated building

DRAWN BY  
BP

ISSUE  
23.12.2022

RE-ISSUE  
2.03.2026

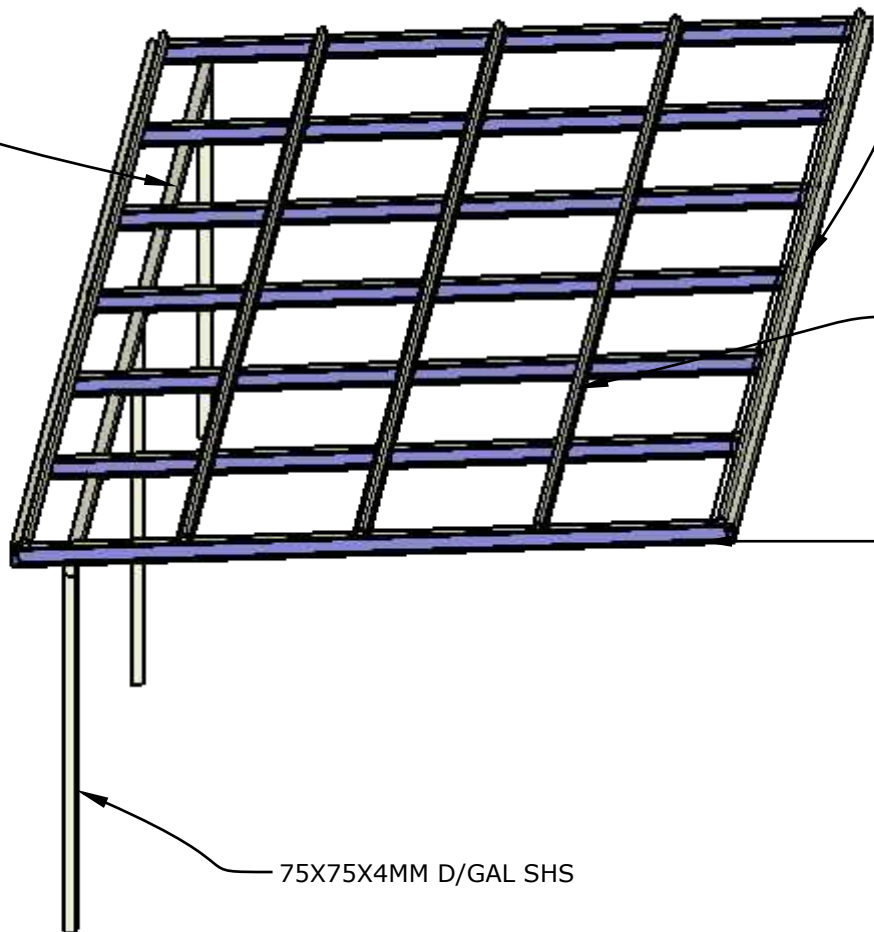
DESCRIPTION  
CARPORT  
FOOTINGS & SLAB, POSTS

**A0.2**

## SHED DETAIL

E  
A1

125X75X4MM  
DGAL SHS BEAM



C15019  
POLE PLATE

64MM TOP HAT  
BATTEN FIXED AT  
PURLINS WITH  
2X TEK SCREWS

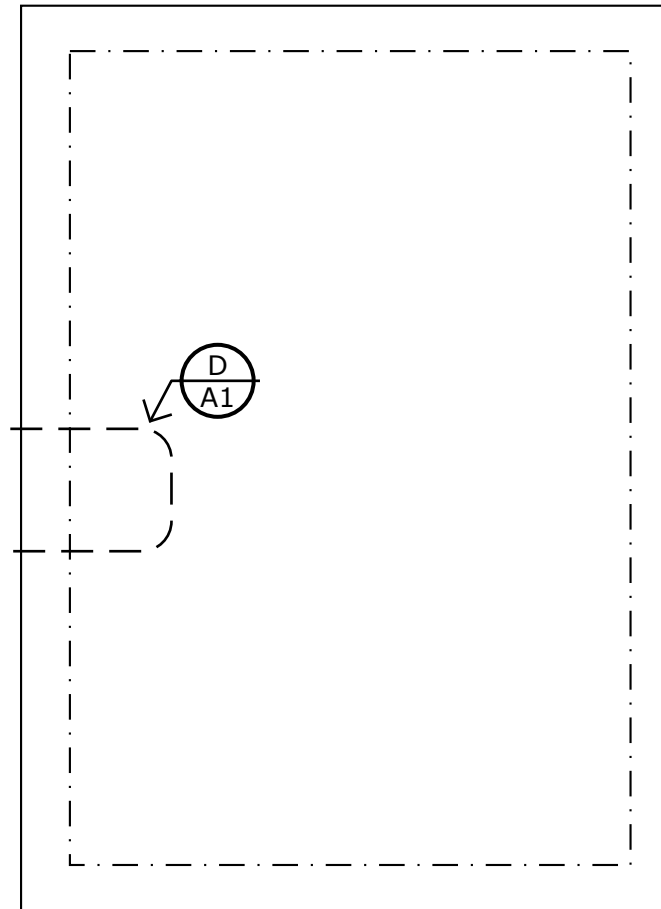
C15019 FIXED  
WITH GPB 4X M12  
PURLIN BOLTS

75X75X4MM D/GAL SHS

## SLAB DETAIL

1:50

C  
A1

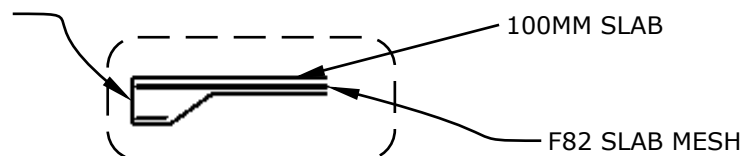


D  
A1

## SLAB FOOTING DETAIL

D  
A1

200MM  
FOOTING



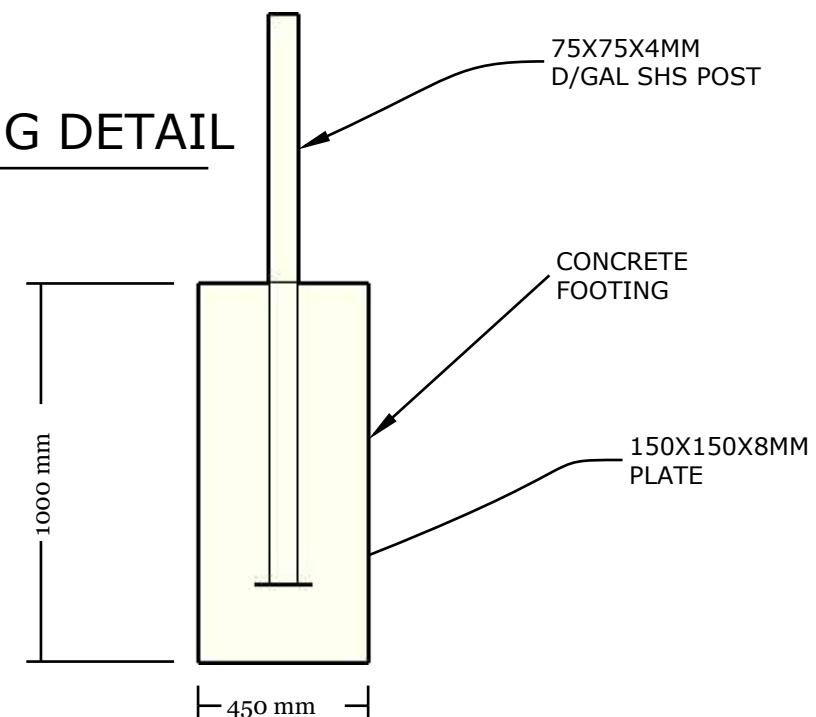
100MM SLAB

F82 SLAB MESH

## POST FOOTING DETAIL

1:20

F  
A1



75X75X4MM  
D/GAL SHS POST

CONCRETE  
FOOTING

150X150X8MM  
PLATE

1000 mm

450 mm

36 Victoria Pde  
Thursday Island  
Qld 4875

CLIENT  
PODREIN PL

PROJECT ADDRESS:  
1 Scott Lane  
Queenton. 4820  
3SP210837

PROJECT  
Relocated building

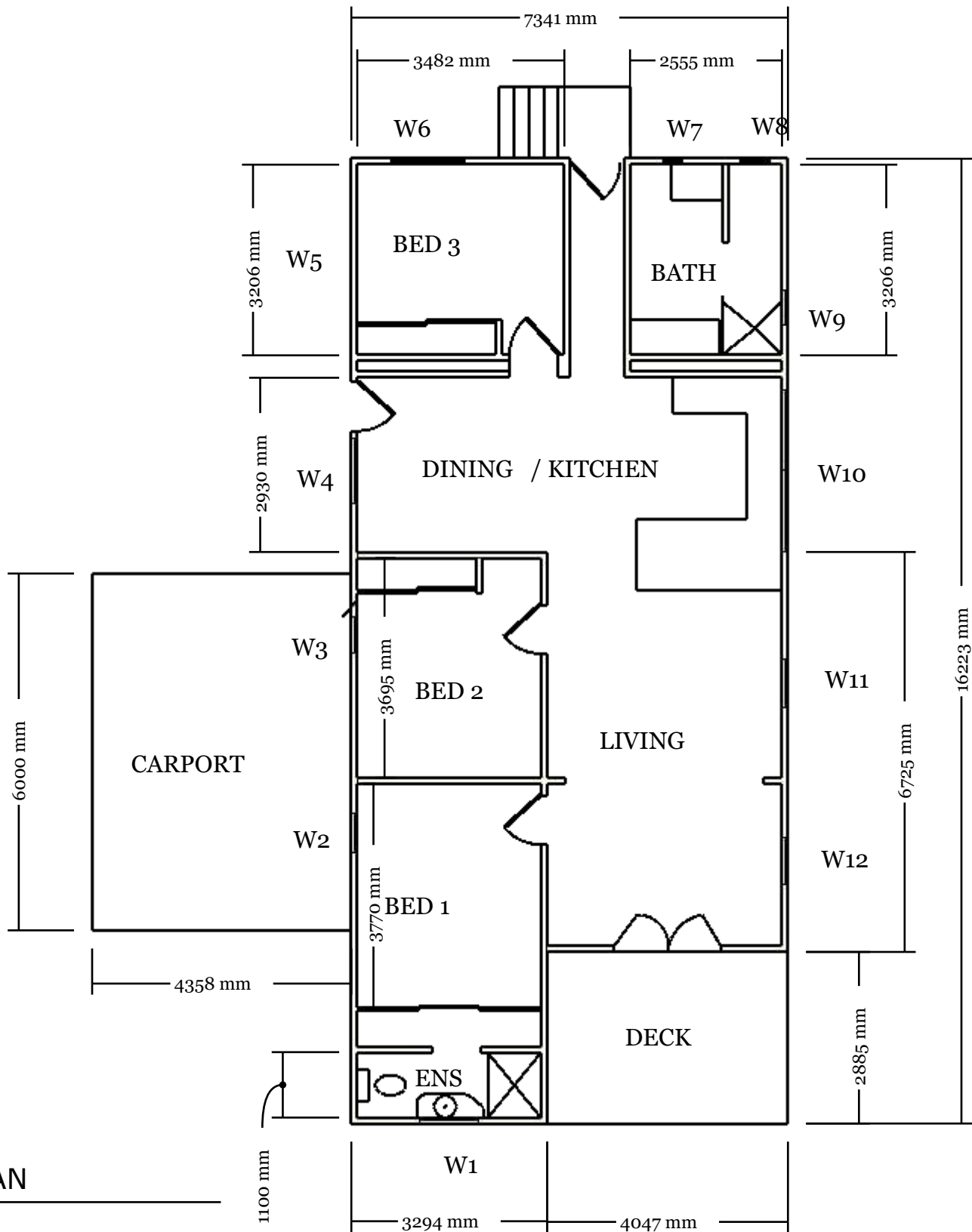
DRAWN BY  
BP

ISSUE  
23.12.2022

RE-ISSUE  
2.03.2026

DESCRIPTION  
FLOOR PLAN

A0.3



GROUND FLOOR PLAN  
1:100

GENERAL FRAMING NOTES

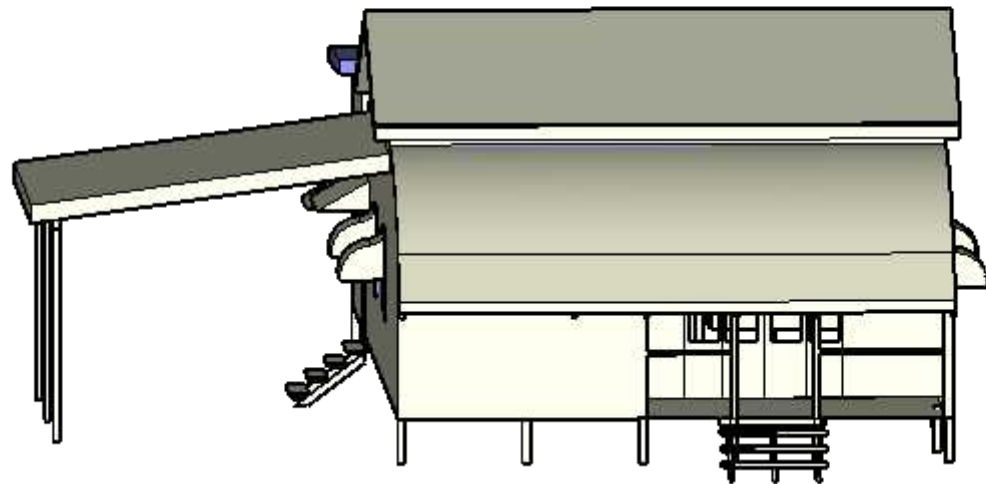
ALL EXTERNAL WALL FRAMES 90X50 HWD  
INTERNAL WALL FRAMES 75X50 HWD

| WINDOW SCHEDULE |       |                       |
|-----------------|-------|-----------------------|
| W1              | 02-11 | FIXED PANE GLASS      |
| W2              | 12-08 | TIMBER FRAME CASEMENT |
| W3              | 12-08 | TIMBER FRAME CASEMENT |
| W4              | 12-12 | TIMBER FRAME CASEMENT |
| W5              | 06-12 | TIMBER FRAME BIFOLD   |
| W6              | 06-12 | TIMBER FRAME CASEMENT |
| W7              | 03-06 | FIXED PANE GLASS      |
| W8              | 06-06 | TIMBER FRAME CASEMENT |
| W9              | 06-06 | FIXED PANE GLASS      |
| W10             | 06-24 | TIMBER FRAME CASEMENT |
| W11             | 12-08 | TIMBER FRAME CASEMENT |
| W12             | 12-08 | " " "                 |
|                 |       |                       |

G  
A1

FRONT ELEVATION

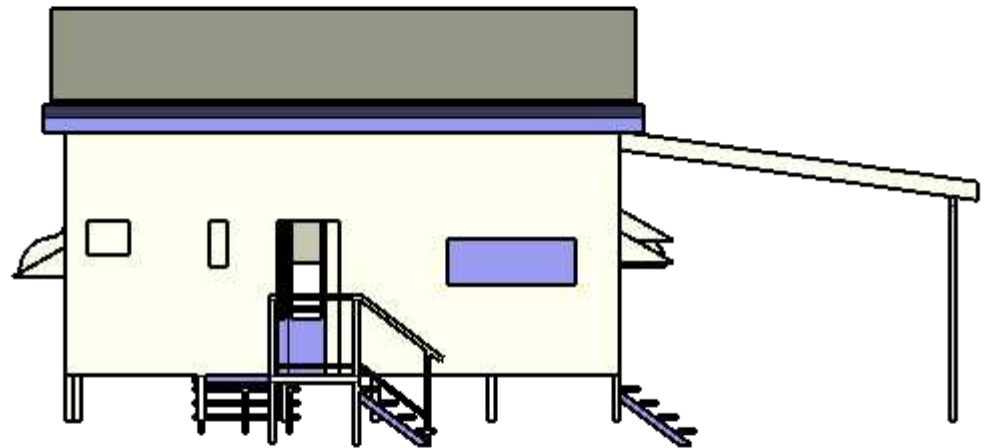
1:100



H  
A1

REAR ELEVATION

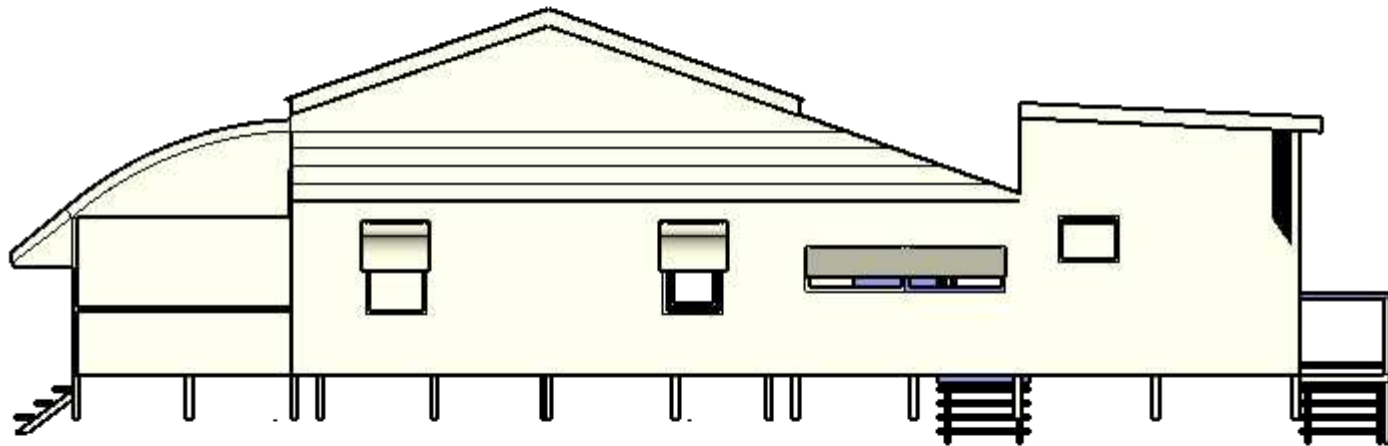
1:100



J  
A1

NORTH ELEVATION

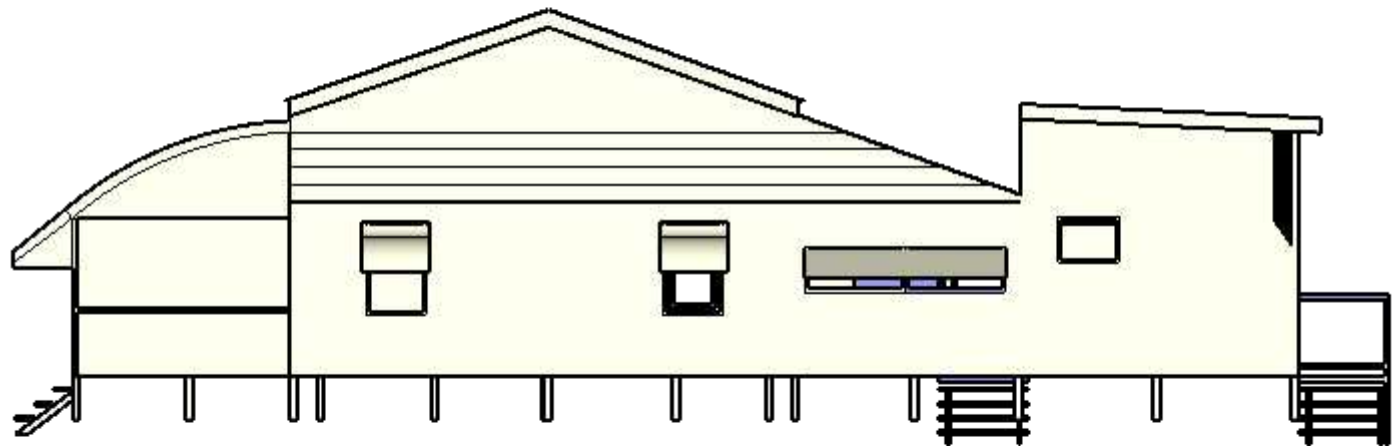
<Scale>



I  
A1

SOUTH ELEVATION

<Scale>



C  
(NQ)  
BUILDERS

QBCC LIC NO: 15081376

ph 0409 492 466  
e ccs.nqts@gmail.com

36 Victoria Pde  
Thursday Island  
Qld 4875

CLIENT  
PODREIN PL

PROJECT ADDRESS:  
1 Scott Lane  
Queenton. 4820  
3SP210837

PROJECT  
Relocated building

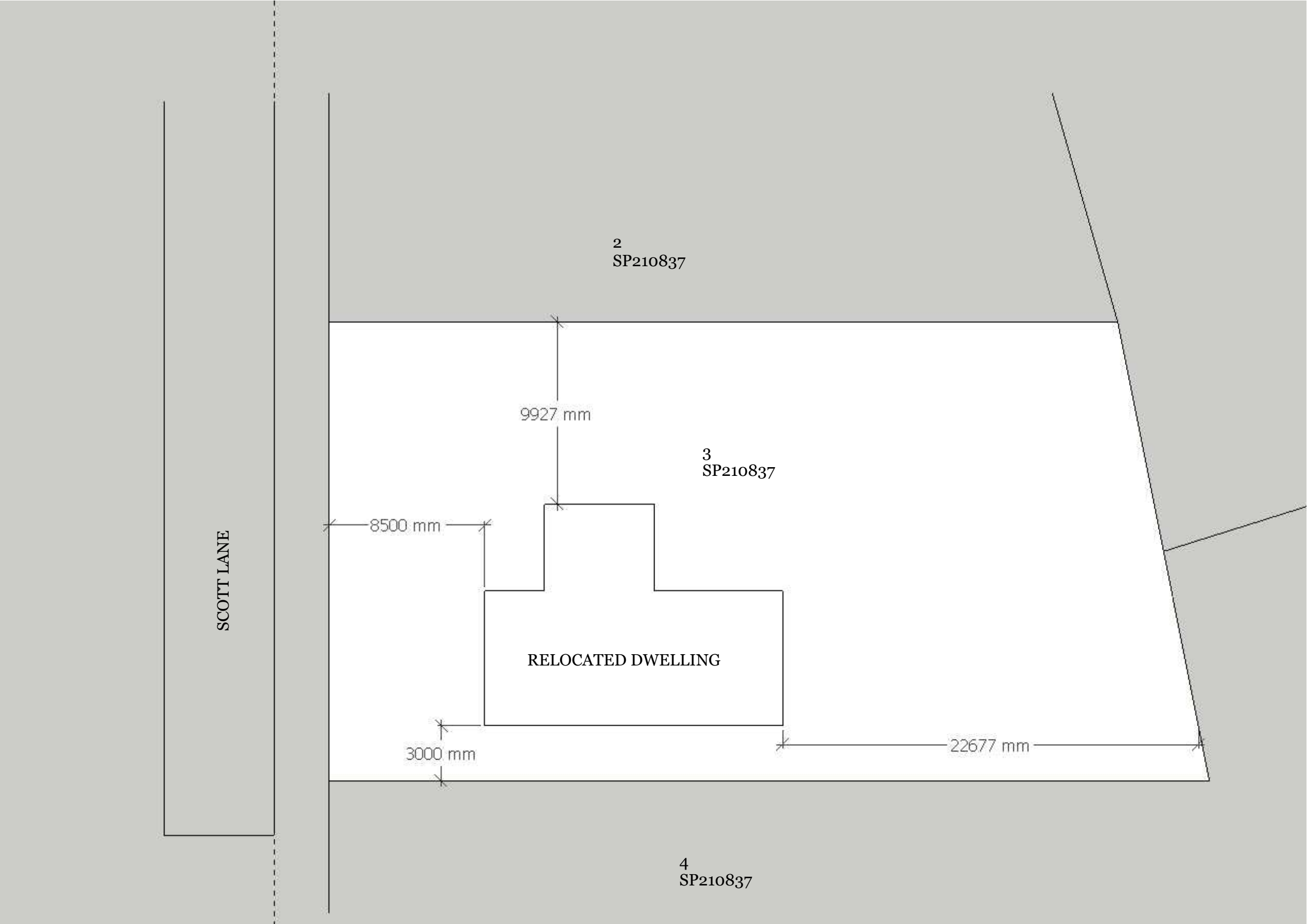
DRAWN BY  
BP

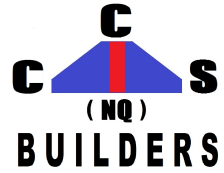
ISSUE  
23.12.2022

RE-ISSUE  
2.03.2026

DESCRIPTION  
ELEVATIONS

A0.4





CCS  
(NQ)  
BUILDERS

QBCC LIC NO: 15081376  
p: 0409 492 466  
e: ccs.nqts@gmail.com

36 Victoria Pde  
Thursday Island  
Qld 4875

CLIENT  
PODREIN PL

PROJECT ADDRESS:  
1 Scott Lane  
Queenton. 4820  
3SP210837

PROJECT  
Relocated building

DRAWN BY  
BP

ISSUE  
23.12.2022

RE-ISSUE  
2.03.2026

DESCRIPTION

SITE PLAN

A<sub>0.5</sub>

## Appendix C

### Planning Scheme Code Responses

### **8.3 Other development codes**

#### **8.3.1 Development works code**

##### **8.3.1.1 Application**

This code applies to development identified as requiring assessment against the Development works code by the tables of assessment in Part 5 (Tables of assessment).

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

##### **8.3.1.2 Purpose**

- (1) The purpose of the Development works code is to:
  - (a) ensure all development is provided with appropriate infrastructure, parking spaces and services;
  - (b) ensure development manages stormwater and wastewater as part of the integrated total water cycle and in ways that help protect the environmental water values specified in the *Environmental Protection (Water) Policy 2009* and the Stormwater Management Design Objectives in the State Planning Policy;
  - (c) protect surface water and ground water; and
  - (d) ensure development is designed, constructed, operated and maintained to eliminate any adverse impacts on the environment and the amenity of the locality.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development is adequately serviced by utility and access infrastructure including roads, water, waste water, power, telecommunications, stormwater management and waste management;
  - (b) the integrity and efficiency of utility and access infrastructure systems is maintained;
  - (c) environmental values of receiving waters are protected from adverse development impacts arising from stormwater quality and flow;
  - (d) environmental values of receiving waters are protected from waste water impacts;
  - (e) public health and safety are protected and damage or nuisance caused by stormwater is avoided;
  - (f) stormwater management works is designed to maintain or recreate natural hydrological processes and minimise run-off;
  - (g) the function, safety and efficiency of the transport network is optimised;
  - (h) development within close proximity to existing or future public passenger transport facilities supports an integrated approach to land use and transport integration;
  - (i) development provides adequate on site vehicular access and adequate parking and servicing facilities for vehicles and parking facilities for bicycles;

- (j) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and meet the reasonable demands generated by the development;
- (k) provision of safe and non-discriminatory public and pedestrian access is provided;
- (l) works in public streets and spaces enhance the pedestrian amenity and improve streetscape appearance;
- (m) earthwork does not impact adversely on the amenity of the site or the surrounding area and does not result in increased flooding, drainage and soil erosions problems on upstream and downstream property; and
- (n) development provides for the storage of generated waste in an environmentally acceptable manner and waste storage facilities are functionally appropriate for users of the facilities.

### 8.3.1.3 Specific benchmarks for assessment

**Table 8.3.1.3(a) — Accepted development subject to requirements and assessable development**

| Performance outcomes                                                                                                                                                                                                       | Acceptable outcomes                                                                                                                                                                                                                                                                                                                                                                                                               | Applicants response                                                      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| <b>Utility infrastructure and services</b>                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                          |
| <b>PO1</b><br>Development is serviced by an adequate, safe and reliable supply of potable and general use water, connected to reticulated water supply where possible.                                                     | <b>AO1</b><br>Development is:<br>(a) connected to Council's reticulated water supply network, including the installation of easily accessed water meters, in accordance with the <i>Development works Town plan policy</i> ; or<br>(b) if connection to Council's reticulated water supply network is not possible, a potable on site water supply is provided in accordance with the <i>Development works Town plan policy</i> . | <b>Complies with AO1</b><br>The site is connected to all urban services. |
| <b>PO2</b><br>Development is serviced by appropriate waste water disposal infrastructure which ensures:<br>(a) no adverse ecological impacts on the receiving environment;<br>(b) cumulative impacts of onsite waste water | <b>AO2</b><br>Development is:<br>(a) connected to Council's reticulated sewerage treatment system, in accordance with the <i>Development works Town plan policy</i> ; or<br>(b) if connection to Council's reticulated sewerage                                                                                                                                                                                                   | <b>Complies with AO2</b><br>The site is connected to all urban services  |

| Performance outcomes                                                                                                                                                                                                                                                                                                               | Acceptable outcomes                                                                                                                                                                                                                  | Applicants response                                                                                                                                                                         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>treatment are considered in assessing the likely environmental impacts;</p> <p>(c) public health is maintained;</p> <p>(d) the location, site area, soil type and topography is suitable for on site waste water treatment; and</p> <p>(e) the reuse of waste water does not contaminate any surface water or ground water.</p> | <p>treatment system is not possible, waste water is treated in accordance with <i>Development works Town Plan Policy</i>.</p>                                                                                                        |                                                                                                                                                                                             |
| <p><b>PO3</b></p> <p>Electricity supply network and telecommunication service connections are provided to the site and are connected.</p>                                                                                                                                                                                          | <p><b>AO3.1</b></p> <p>The development is connected to electricity and telecommunications infrastructure in accordance with the standards of the relevant regulatory authority prior to the commencement of any use of the site.</p> | <p><b>Complies with AO3.1</b></p> <p>The site is connected to all urban services</p>                                                                                                        |
|                                                                                                                                                                                                                                                                                                                                    | <p><b>AO3.2</b></p> <p>Where not included in the development, provision is made for future telecommunications services (such as fibre optic cable) in accordance with the standards of the relevant regulatory authority.</p>        | <p><b>Complies with AO3.2</b></p> <p>The site is connected to all urban services</p>                                                                                                        |
| <p><b>Stormwater management</b></p> <p>Editor's note–Refer also to the Stormwater management design objectives in the State planning policy.</p>                                                                                                                                                                                   |                                                                                                                                                                                                                                      |                                                                                                                                                                                             |
| <p><b>PO4</b></p> <p>Stormwater management is designed and operated to ensure that adjoining land and upstream and downstream areas are not adversely affected through any ponding or changes in flows:</p> <p>(a) ensure that adjoining land and upstream and</p>                                                                 | <p><b>AO4.1</b></p> <p>Development does not result in an increase in flood level or flood duration on upstream, downstream or adjacent properties.</p>                                                                               | <p><b>Complies with AO4.1</b></p> <p>All stormwater would be directed to a lawful point of discharge and the development is not of a scale that would result in increased flood levels.</p> |
|                                                                                                                                                                                                                                                                                                                                    | <p><b>AO4.2</b></p> <p>Stormwater (including roof and surface water) is</p>                                                                                                                                                          | <p><b>Complies with AO4.2</b></p> <p>All stormwater would be directed to a lawful point of</p>                                                                                              |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Acceptable outcomes                                                                                                                                              | Applicants response                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>downstream areas are not adversely affected through any ponding or changes in flows; and</p> <p>(b) direct stormwater to a lawful point of discharge through competently designed and constructed outlet works in a manner that reflects the predevelopment status.</p> <p>Editor's note– Stormwater quality must meet the design objectives within the <i>Development works Town plan policy</i>.</p>                                                                                                                                                                                                                                                 | <p>conveyed to the kerb and channel or other lawful point of discharge in accordance with the requirements of the <i>Development works Town plan policy</i>.</p> | <p>discharge.</p>                                                                                                                                               |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>AO4.3</b></p> <p>Stormwater runoff from all impervious areas (roof, pavements, etc) are not permitted to flow or discharge over adjoining properties.</p>  | <p><b>Complies with AO4.3</b></p> <p>All stormwater would be directed to a lawful point of discharge and not directed or channeled over adjoining premises.</p> |
| <b>Earthworks</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                  |                                                                                                                                                                 |
| <p><b>PO5</b></p> <p>Earthworks are undertaken in a manner that:</p> <p>(a) prevents any worsening of soil erosion or water quality on the site, any adjoining land, or land upstream or downstream of the site;</p> <p>(b) produces stable landforms and structures;</p> <p>(c) maintain natural landforms where possible;</p> <p>(d) minimise the height of any batter faces;</p> <p>(e) does not unduly impact on the amenity or privacy for occupants of the site or on adjoining land or on the amenity of the streetscape;</p> <p>(f) does not result in the contamination of land or water; and</p> <p>(g) avoids risk to people and property.</p> | <p><b>AO5.1</b></p> <p>Earthworks comply with the <i>Development works Town plan policy</i>.</p>                                                                 | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p>                                                                                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>AO5.2</b></p> <p>The extent of filling or excavation does not exceed 40% of the site area or 500m<sup>2</sup>, whichever is lesser.</p>                    | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p>                                                                                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>AO5.3</b></p> <p>Excavating or filling is no greater than 1m in height or depth.</p>                                                                       | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p>                                                                                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>AO5.4</b></p> <p>Batters have a maximum slope of 25%, are terraced at every rise of 1.5m and each terrace has a depth of 0.75m.</p>                        | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p>                                                                                                 |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>AO5.5</b></p> <p>No contaminated material is used as fill.</p>                                                                                             | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p>                                                                                                 |
| <b>PO6</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>AO6.1</b>                                                                                                                                                     | <b>Not applicable</b>                                                                                                                                           |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                 | Acceptable outcomes                                                                                                                                                                                                                                                                                                              | Applicants response                                  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|
| Retaining walls are designed to minimise visual impact through:<br>(a) setbacks from any boundary; and<br>(b) being stepped or terraced to accommodate landscaping.                                                                                                                                                                                                                                  | The combined height of any retaining walls and fences does not exceed 2m.                                                                                                                                                                                                                                                        | No earthworks are proposed.                          |
|                                                                                                                                                                                                                                                                                                                                                                                                      | <b>AO6.2</b><br>A retaining wall is set back at least half the height of the wall from any boundary of the site.                                                                                                                                                                                                                 | <b>Not applicable</b><br>No earthworks are proposed. |
|                                                                                                                                                                                                                                                                                                                                                                                                      | <b>AO6.3</b><br>Retaining walls over 1.5m are stepped 0.75m for every 1.5m in height, terraced and landscaped.                                                                                                                                                                                                                   | <b>Not applicable</b><br>No earthworks are proposed. |
|                                                                                                                                                                                                                                                                                                                                                                                                      | <b>AO6.4</b><br>Design and construction of retaining walls over 1m in height are certified by a Registered Professional Engineer of Queensland.                                                                                                                                                                                  | <b>Not applicable</b><br>No earthworks are proposed. |
| <b>P07</b><br>The excavation, filling or laying of pipes within the vicinity of electricity supply infrastructure must not create damage or hazard.<br>Editor's note—Development involving filling, excavation or laying of metal pipes on land contiguous to electricity supply infrastructure should be referred to the relevant electricity entity for safety advice on the proposed development. | <b>AO7.1</b><br>Excavation or filling does not occur within:<br>(a) 10m of any tower, pole, foundation, ground anchorage or stay supporting electric lines or associated equipment;<br>(b) 5m of a substation site boundary;<br>(c) 2m of a padmount substation; or<br>(d) 1m of a padmount transformer or an underground cable. | <b>Not applicable</b><br>No earthworks are proposed. |
|                                                                                                                                                                                                                                                                                                                                                                                                      | <b>AO7.2</b><br>The laying of metal pipes does not occur within:<br>(a) 5m of any pole, tower, foundation, ground anchorage or stay supporting electric lines or associated equipment;                                                                                                                                           | <b>Not applicable</b><br>No earthworks are proposed. |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                       | Acceptable outcomes                                                                                                                                                      | Applicants response                                                                                                                     |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                            | (b) 15m of any substation site boundary; or<br>(c) 5m of, and parallel to, an electric line shadow.                                                                      |                                                                                                                                         |
| <b>Parking and access</b>                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                          |                                                                                                                                         |
| <b>PO8</b><br>Development includes the provision of adequate and convenient car parking on site to satisfy the anticipated requirements of the land use or activity.                                                                                                                                                                                       | <b>AO8</b><br>Car parking is provided in accordance with Table 8.3.1.3(b)–Car parking requirements.                                                                      | <b>Complies with PO8</b><br>Sufficient car parking would be provided to accommodate the demand anticipated by the proposed development. |
| <b>PO9</b><br>Development provides end of trip facilities for people engaging in active transport (bicycle and pedestrian):<br>(a) to meet the needs of users and promote active modes of travel;<br>(b) at convenient, easily identifiable, safe locations; and<br>(c) in locations that do not obstruct vehicular, bicycle or pedestrian movement paths. | <b>AO9</b><br>Development provides cycling and pedestrian end of trip facilities, in accordance with the requirements of the <i>Development works Town plan policy</i> . | <b>Not applicable</b><br>End of trip facilities are not applicable to a dwelling house.                                                 |
| <b>PO10</b><br>Access driveways are designed and constructed to:<br>(a) provide convenient access to the site and maintain the safety and efficiency of the road;<br>(b) minimise conflicts with traffic and pedestrians; and<br>(c) are constructed to a standard that is appropriate to the location and to meet the                                     | <b>AO10.1</b><br>Access driveways are designed and constructed in accordance with the relevant <i>Development works Town plan policy</i> .                               | <b>Complies with AO10.1</b><br>Driveway access would be in accordance with the relevant policy.                                         |
|                                                                                                                                                                                                                                                                                                                                                            | <b>AO10.2</b><br>Access driveways allow vehicles (with the exception of Dwelling house and Dual occupancy) to enter and exit the site in a forward gear.                 | <b>Not applicable</b><br>The proposed development is a Dwelling house.                                                                  |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Acceptable outcomes                                                                                                                                                                                                                                                                         | Applicants response                                                                       |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| anticipated volume and type of traffic.                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                             |                                                                                           |
| <b>PO11</b><br>Vehicle movement areas (including internal driveways, access aisles, manoeuvring areas, car parks and service bays) are designed to ensure:<br>(a) a gradient appropriate for the type of vehicles;<br>(b) effective stormwater drainage;<br>(c) clearly marked and signed spaces;<br>(d) convenience and safety for drivers and pedestrians; and<br>(e) adequate dimensions to meet user requirements, including access and egress for emergency vehicles. | <b>AO11</b><br>Manoeuvring, queuing, loading and unloading areas, and parking areas are:<br>(a) designed and constructed in accordance with the Development works Town plan policy; and<br>(b) certified by a Registered Professional Engineer of Queensland.                               | <b>Not applicable</b><br>The proposed development is a Dwelling house.                    |
| <b>PO12</b><br>Footpaths in the road reserve are provided along all road frontages and are paved in durable and stable materials matching any adjacent development footpaths.                                                                                                                                                                                                                                                                                              | <b>AO12</b><br>Footpaths are:<br>(a) provided for the full width and length of all road frontages;<br>(b) designed and constructed in accordance with the requirements of the Development works Town plan policy; and<br>(c) certified by a Registered Professional Engineer of Queensland. | <b>Not applicable</b><br>There are no existing footpaths in Scott Lane or New Queen Road. |
| <b>PO13</b><br>Pedestrian access to buildings:<br>(a) do not obstruct pedestrian movement (or form physical clutter) on public footpaths;<br>(b) are not visually overbearing (or form visual                                                                                                                                                                                                                                                                              | <b>AO13</b><br>Steps, escalators, ramps and lifts are:<br>(a) located wholly within the site; and<br>(b) setback a minimum of 1.5m from the front boundary.                                                                                                                                 | <b>Not applicable</b><br>The development is for a Dwelling house only.                    |

| Performance outcomes                                                                                                                                                                                                                                          | Acceptable outcomes                                                                                                                                                                                                                                                                                                                                             | Applicants response                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| clutter) in the streetscape; and<br>(c) provide safe, efficient and convenient access including wheelchair access.                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                      |
| <b>Acoustic and air quality</b>                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                      |
| <b>PO14</b><br>Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.                                                                                                          | <b>AO14</b><br>Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2008, as amended</i> .<br><br>Editor's note—To achieve compliance, development is planned, designed and managed to ensure emissions from activities achieve the appropriate acoustic objectives (measured at the receptor dB(A)). | <b>Complies with AO14</b><br>The proposed development is compatible with adjoining development and would not result in any adverse impacts on air quality.           |
| <b>PO15</b><br>Development prevents or minimises the generation of any noise so that:<br>(a) nuisance is not caused to adjoining premises or other nearby sensitive land uses; and<br>(b) desired ambient noise levels in residential areas are not exceeded. | <b>AO15</b><br>Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2008, as amended</i> .                                                                                                                                                                                                                | <b>Complies with AO15</b><br>The proposed development is compatible with adjoining development and would not result in any adverse impacts on the noise environment. |
| <b>PO16</b><br>Development adjacent to State controlled roads or Council controlled arterial road minimise nuisance caused by noise, vibration and dust emissions.                                                                                            | <b>AO16</b><br>Development complies with the requirements of the Department Main Roads - Road Traffic Noise Management Code of Practice and the <i>Environmental Protection (Noise) Policy 2008</i> .                                                                                                                                                           | <b>Not applicable</b><br>The site is not located adjacent a state controlled road.                                                                                   |
| <b>Lighting</b>                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                      |
| <b>PO17</b><br>External lighting is provided in urban areas to                                                                                                                                                                                                | <b>AO17</b><br>Technical parameters, design, installation, operation and maintenance of outdoor lighting                                                                                                                                                                                                                                                        | <b>Not applicable</b><br>No external lighting is proposed.                                                                                                           |

| Performance outcomes                                                                                                                                                                                                                                                                                                                    | Acceptable outcomes                                                                                                                                          | Applicants response                                                                                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| ensure a safe environment.                                                                                                                                                                                                                                                                                                              | complies with the requirements of <i>AS4282 – Control of the Obtrusive Effects of Outdoor Lighting</i> .                                                     |                                                                                                                                         |
| <b>Waste management</b>                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                              |                                                                                                                                         |
| <b>PO18</b><br>Development:<br>(a) minimises waste generation (including construction, demolition and operational waste); and<br>(b) provides adequate facilities on site for the storage of waste and recyclables.                                                                                                                     | <b>AO18</b><br>Waste storage and management arrangements are sited, screened and designed in accordance with the <i>Development works Town plan policy</i> . | <b>Not applicable</b><br>The application is for a Dwelling house only. Domestic waste storage would be adequately accommodated on site. |
| <b>PO19</b><br>Development is designed to allow for safe and efficient servicing of waste and recycling containers through:<br>(a) a development layout that facilitates direct and unobstructed servicing of waste and recycling containers; and<br>(b) minimising the potential for nuisances to be caused by way of noise and odour. | <b>AO19</b><br>Waste and recycling collection services are provided in accordance with the <i>Development works Town plan policy</i> .                       | <b>Complies with AO19</b><br>Waste collection would be by Council kerb side collection.                                                 |
| <b>For all assessable development</b>                                                                                                                                                                                                                                                                                                   |                                                                                                                                                              |                                                                                                                                         |
| <b>General</b>                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                              |                                                                                                                                         |
| <b>PO20</b><br>Where buildings and structures are located on multiple lots, these are amalgamated to form one lot.                                                                                                                                                                                                                      | No acceptable outcome specified.                                                                                                                             | <b>Not applicable</b><br>The site is a single lot.                                                                                      |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Acceptable outcomes              | Applicants response                                                                         |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|---------------------------------------------------------------------------------------------|
| <b>Wastewater management</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                  |                                                                                             |
| <p><b>PO20</b></p> <p>Wastewater is managed to:</p> <p>(a) avoid wastewater discharge to any waterway; or</p> <p>(b) if wastewater discharge to waterways cannot be practically avoided, discharge is minimised to an acceptable level by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.</p> <p>Editor's note--Wastewater is defined in accordance with <i>Environmental Protection (Water) Policy 2009</i>, schedule 2). A wastewater management plan (WWMP) is prepared by a suitably qualified person and addresses:</p> <p>(i) wastewater type; and</p> <p>(ii) climatic conditions; and</p> <p>(iii) water quality objectives (WQOs); and</p> <p>(iv) best-practice environmental management.</p> | No acceptable outcome specified. | <p><b>Complies with PO20</b></p> <p>All waste water would be directed to Council sewer.</p> |
| <p><b>PO21</b></p> <p>Wastewater discharge maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health including:</p> <p>(a) protecting applicable water quality objectives for the receiving waters;</p> <p>(b) managing soil disturbance or altering natural hydrology in coastal areas; and</p> <p>(c) avoiding or minimising the release of nutrients of concern.</p>                                                                                                                                                                                                                                                                                                                                  | No acceptable outcome specified. | <p><b>Complies with PO21</b></p> <p>All waste water would be directed to Council sewer</p>  |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Acceptable outcomes                                                                                                                                                                                                                                                                       | Applicants response                                                                            |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| <b>Stormwater management</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                           |                                                                                                |
| <b>PO22</b><br>Stormwater management systems:<br>(a) implement Water Sensitive Urban Design (WSUD) principles that:<br>(i) protect natural systems and waterways;<br>(ii) allow for the detention of stormwater instead of rapid conveyance;<br>(iii) minimise impervious areas;<br>(iv) utilise stormwater to conserve potable water;<br>(v) integrate stormwater treatment into the landscape;<br>(vi) ensure water quality values are protected;<br>(b) must be economically maintained for the life of the system;<br>(c) provide for safe access and maintenance; and<br>(d) maintain natural drainage lines and adequate filtering and settlement of sediment for the protection of watercourses, wetlands from point sources and non-point source stormwater discharges. | <b>AO22</b><br>Stormwater management systems are designed and constructed in accordance with the <i>Development works Town plan policy</i> .<br>Editor's note—A site Stormwater Quality Management Plan (SQMP) is prepared in accordance with <i>Development works Town plan policy</i> . | <b>Complies with AO22</b><br>All storm water would be directed to a lawful point of discharge. |
| <b>PO23</b><br>Development allows for sufficient site area to accommodate an effective stormwater management system.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | No acceptable outcome specified.                                                                                                                                                                                                                                                          | <b>Not applicable</b><br>This is not considered applicable to a Dwelling house.                |
| <b>PO24</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | No acceptable outcome specified.                                                                                                                                                                                                                                                          | <b>Not applicable</b>                                                                          |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                       | Acceptable outcomes                                                                                                                                   | Applicants response                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| <p>Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to:</p> <p>(a) existing capacity of stormwater infrastructure and ultimate catchment conditions;</p> <p>(b) discharge for existing and future upstream development; and</p> <p>(c) protecting the integrity of adjacent and downstream development.</p> |                                                                                                                                                       | <p>This is not considered applicable to a Dwelling house.</p>                              |
| <p><b>PO25</b></p> <p>Major stormwater drainage network elements are designed and constructed with the capacity to control stormwater flows under normal and minor system blockage conditions for the applicable defined flood event ensuring there is no damage to property or hazards for motorists.</p>                                                                 | <p><b>AO25</b></p> <p>Stormwater infrastructure is designed in accordance with the requirements of the <i>Development works Town plan policy</i>.</p> | <p><b>Not applicable</b></p> <p>This is not considered applicable to a Dwelling house.</p> |
| <p><b>PO26</b></p> <p>Reconfiguration of lots includes stormwater management measures in the design of any road reserve, streetscape or drainage networks to:</p> <p>(a) minimise impacts on the water cycle;</p> <p>(b) protect waterway health by improving stormwater quality and reducing site run-off; and</p> <p>(c) avoid large impervious surfaces.</p>            | <p>No acceptable outcome specified.</p>                                                                                                               | <p><b>Not applicable</b></p> <p>No reconfiguration of any lots is proposed.</p>            |
| <p><b>PO27</b></p> <p>Construction activities for the development avoids or minimise adverse impacts on stormwater</p>                                                                                                                                                                                                                                                     | <p><b>AO27</b></p> <p>Stormwater quality achieves the stormwater design objectives of the <i>Development works Town plan</i></p>                      | <p><b>Not applicable</b></p> <p>This is not considered applicable to a Dwelling house.</p> |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Acceptable outcomes                     | Applicants response                                             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|-----------------------------------------------------------------|
| <p>quality by:</p> <p>(a) achieving the post construction stormwater management design objectives for pollution load reductions for Western Queensland (TSS 85% TP 60% TN 45% and 90% Gross pollutants) and or In lieu of modelling, the default bio-retention treatment area of 1.5 per cent of the contributing catchment area; and</p> <p>(b) the waterway stability management design objective: limit the peak 1-year ARI event discharge within the receiving waterway to the pre-development peak1-year ARI discharge.</p> <p>An Erosion and Sediment Control Plan (ESCP) is prepared by a suitably qualified person that demonstrates:</p> <p>(a) erosion and sediment control practices (including any proprietary erosion and sediment control products) are designed, installed, constructed, operated, monitored and maintained, and any other erosion and sediment control practices are carried out in accordance with local conditions; or</p> <p>(b) how stormwater quality will be managed in accordance with an acceptable regional or local guideline so that target contaminants are treated to a design objective at least equivalent of this Performance outcome.</p> | <p><i>policy.</i></p>                   |                                                                 |
| <b>Earthworks</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                         |                                                                 |
| <p><b>PO28</b></p> <p>Earthworks associated with roads:</p> <p>(a) maintain the efficiency of the road network;</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <p>No acceptable outcome specified.</p> | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p> |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Acceptable outcomes              | Applicants response                                             |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-----------------------------------------------------------------|
| <p>(b) do not adversely impact upon residents or road infrastructure; and</p> <p>(c) do not obstruct access to the site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                  |                                                                 |
| <p><b>PO29</b></p> <p>Development in the Rural zone and Rural residential zone manages soil erosion and sedimentation by:</p> <p>(a) avoiding land clearing or earthworks in the riparian corridor to a designated stream;</p> <p>(b) minimising the extent of disturbance on, or the stabilisation of slopes steeper than 10%; and</p> <p>(c) managing and controlling surface drainage by using natural flow paths.</p>                                                                                                                                                                                                                                                                          | No acceptable outcome specified. | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p> |
| <p><b>PO30</b></p> <p>Any disturbed areas within the site are to be progressively rehabilitated through appropriate earthworks and involve the:</p> <p>(a) grading and reshaping of the disturbed areas to provide controlled and stable drainage flow paths;</p> <p>(b) construction of drainage paths which divert high velocity flows away from disturbed areas;</p> <p>(c) re-spreading of stored topsoil stripped from the site prior to commencement of construction works; and</p> <p>(d) planting of the disturbed area with native species of grasses, ground covers and trees and placing mulch in between on the surface.</p> <p>Editor's note—Applicants may be required to engage</p> | No acceptable outcome specified. | <p><b>Not applicable</b></p> <p>No earthworks are proposed.</p> |

| Performance outcomes                                                                                                                                                                                                                                                               | Acceptable outcomes                                                                                                                                                                                | Applicants response                                                                  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| specialists to prepare a rehabilitation plan.                                                                                                                                                                                                                                      |                                                                                                                                                                                                    |                                                                                      |
| <b>Land use and transport integration</b>                                                                                                                                                                                                                                          |                                                                                                                                                                                                    |                                                                                      |
| <b>PO31</b><br>Development:<br>(a) supports a road hierarchy which facilitates efficient movement of all transport modes; and<br>(b) appropriately integrates and connects with surrounding movement networks.<br>Editor's note—Refer to the road hierarchy identified on map AM1. | No acceptable outcome specified.                                                                                                                                                                   | <b>Not applicable</b><br>This is not considered applicable to a Dwelling house.      |
| <b>PO32</b><br>Development provides direct and safe access to public passenger transport facilities.                                                                                                                                                                               | <b>AO32</b><br>Any through-site pathway connections to public passenger transport facilities are provided in accordance with Austroads guide to road design—Part 6A: Pedestrian and cyclist paths. | <b>Not applicable</b><br>No through site pathway connection is required or proposed. |
| <b>Road design</b>                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                    |                                                                                      |
| <b>PO33</b><br>Roads providing access to the site are provided, constructed and maintained to a standard which is adequate for the traffic type and volume likely to be generated by the activities on site.                                                                       | <b>AO33</b><br>Roadworks are provided in accordance with the requirements of the <i>Development works Town plan policy</i> .                                                                       | <b>Not applicable</b><br>No road works are proposed.                                 |
| <b>PO34</b><br>Street lighting and signs are provided to ensure the safety of both vehicles and pedestrians, and to facilitate access and movement.                                                                                                                                | <b>PO34</b><br>Street lighting and signage comply with the requirements of the <i>Development works Town plan policy</i> .                                                                         | <b>Not applicable</b><br>No road works are proposed.                                 |
| <b>Acoustic and air quality</b>                                                                                                                                                                                                                                                    |                                                                                                                                                                                                    |                                                                                      |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                        | Acceptable outcomes              | Applicants response                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|----------------------------------------------------------------------------------|
| <b>PO35</b><br>Utility services and service structures attached to buildings, do not adversely impact on the acoustic or visual amenity of the surrounding area and are:<br>(a) located as far from sensitive land uses, road frontage boundaries and public open spaces as practical;<br>(b) acoustically shielded and visually screened so as not to be audible or visible from adjoining and nearby sites, public open spaces and roads. | No acceptable outcome specified. | <b>Not applicable</b><br>No utility services or service structures are proposed. |

**Table 8.3.1.3(b)—Car parking requirements**

| Use                      | Car parking rate requirements                                          |
|--------------------------|------------------------------------------------------------------------|
| Multiple dwelling        | 1.5 spaces per dwelling                                                |
| Short-term accommodation | 1 space per rooming units plus 1 space per 2 employees                 |
| Rooming accommodation    | 1 space per rooming units plus 1 space per 3 rooming units for visitor |
| Retirement facility      | 1 space dwelling plus 1 space per 2 employees                          |
| Tourist park             | 1 space per van site or tent site, plus 1 space per 2 employees        |
| Relocatable home park    | 1 space per relocatable home                                           |
| Child care centre        | 1 space per employee plus passenger set down area for 4 vehicles       |

| Use                                                                                                                                                      | Car parking rate requirements                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| Adult store<br>Bar<br>Food and drink outlet<br>Nightclub entertainment facility<br>Service industry<br>Shop<br>Shopping centre<br>Theatre                | 1 space per 15m <sup>2</sup> of total use area                                                                  |
| Office                                                                                                                                                   | 1 space per 30m <sup>2</sup> GFA                                                                                |
| Agricultural supplies store<br>Bulk landscape supplies<br>Garden centre<br>Hardware and trade supplies<br>Outdoor sales<br>Showroom<br>Wholesale nursery | 1 space per employee and 1 space per 100m <sup>2</sup> GFA                                                      |
| Car wash                                                                                                                                                 | 2 spaces per bay, AND<br>queuing space within the site for 4 vehicles using or awaiting use of each washing bay |
| Hotel                                                                                                                                                    | 1 space per 15m <sup>2</sup> GFA area plus 1 space per 2 employees                                              |
| Veterinary service                                                                                                                                       | 1 space per 25m <sup>2</sup> GFA                                                                                |
| Health care services                                                                                                                                     | 1 space per 20m <sup>2</sup> of GFA and 1 space for ambulance vehicle pick-up and set down                      |
| Cemetery<br>Crematorium                                                                                                                                  | 1 space per 2 employees, plus 1 space per 2 seats in an auditorium or chapel situated on the premises           |

| Use                                    | Car parking rate requirements                                                                               |
|----------------------------------------|-------------------------------------------------------------------------------------------------------------|
| Funeral parlour                        | 1 space per 2 employees, plus 1 space per 2 seats in an auditorium or chapel                                |
| Community care centre                  | 1 space per 20m <sup>2</sup> of GFA                                                                         |
| Community use                          | 1 space per 2 employees, including volunteers, plus 1 space per 50m <sup>2</sup> GFA                        |
| Place of worship                       | 1 space per 10 seats                                                                                        |
| High impact industry                   | 1 space per 100m <sup>2</sup> of total use area                                                             |
| Low impact industry                    |                                                                                                             |
| Medium impact industry                 |                                                                                                             |
| Research and technology industry       |                                                                                                             |
| Rural industry                         |                                                                                                             |
| Special industry                       |                                                                                                             |
| Warehouse                              |                                                                                                             |
| Transport Depot                        | 1 space per employee                                                                                        |
| Animal keeping                         | 1 space per employee                                                                                        |
| Intensive animal industry              |                                                                                                             |
| Winery                                 | 1 space per 25m <sup>2</sup> of GFA                                                                         |
| Detention facility                     | 1 space per 2 employees plus 1 space per 20 inmates or residents                                            |
| Any other use not listed in this table | Sufficient spaces to accommodate the amount of vehicle traffic likely to be generated by the particular use |

### **6.2.3 Industry zone category**

#### **6.2.3.1 Industry zone code**

##### **6.2.3.1.1 Application**

This code applies to development where the code is identified as applicable in categories of assessment and development.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

##### **6.2.3.1.2 Purpose**

- (1) The purpose of the Industry zone is to provide for:
  - (a) a variety of industry activities; and
  - (b) other uses and activities that:
    - (i) support industry activities; and
    - (ii) do not compromise the future use of premises for industry activities.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
  - (a) industrial activities are located, designed and managed to maintain public safety, avoid significant adverse effects on the natural environment and minimise impacts on adjacent non-industrial land;
  - (b) high impact, noxious and hazardous industrial uses require large development sites with appropriate separation from other land use activities;
  - (c) the zone also accommodates limited activities of wholesale, trade supplies and indoor sport and recreation uses which are difficult to locate in other areas, where these have low levels of potential impacts on surrounding areas;
  - (d) other non-industrial uses that are ancillary to, and directly support, the industrial area are facilitated;
  - (e) the zone does not accommodate uses which are primarily oriented to retail sales and commercial business activities and which are more appropriately located in centres, such as Shops, Shopping centres, showrooms and offices;
  - (f) uses and works for industrial purposes are located, designed and managed to maintain safety to people, avoid significant adverse effects on the natural environment and minimise impacts on adjacent non-industrial land;
  - (g) development maximises the use of existing transport infrastructure and has access to the appropriate level of transport infrastructure (railways, freight routes and motorways) and facilities such as airports;
  - (h) development is supported by transport infrastructure that is designed to provide and promote safe and efficient transport use, walking and cycling;
  - (i) development is designed to incorporate sustainable practices including maximising energy efficiency and water conservation;
  - (j) the scale, character and built form of development contributes to a high standard of amenity and makes a positive contribution to the public domain and streetscape particularly along major roads;

- (k) the viability of both existing and future industrial uses are protected from the intrusion of incompatible uses;
- (l) development responds to land constraints, including but not limited to topography, bushfire and flooding, former mining activities and land contamination;  
  
 Editor's note—Sites of former mining activity may be identified through the Historic Mining Permits, Resources (Mineral Occurrence and Geological Observation Data) and Abandoned Mines layers of MyMinesOnline Maps. However, proponents should be aware that the online mapping does not spatially represent all abandoned mines and their extent. Geotechnical investigation of past mining areas may reveal additional unmapped historic mine sites.
- (m) adverse impacts on natural features and processes, both on site and from adjoining areas, are minimised through location, design, operation and management of development;
- (n) development avoids significant adverse effects on water quality and the natural environment; and
- (o) industrial uses are adequately separated from sensitive land uses to minimise the likelihood of environmental harm or environmental nuisance occurring.

#### 6.2.3.1.3 Specific benchmarks for assessment

**Table 6.2.3.1.3 — Accepted development subject to requirements and assessable development**

| Performance outcomes                                                                                                                                                                                                                                                                                                   | Acceptable outcomes                                                                                                                                         | Applicant's response                                                                           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| <b>Built form (if involving building work)</b>                                                                                                                                                                                                                                                                         |                                                                                                                                                             |                                                                                                |
| <b>PO1</b><br>Buildings, outdoor storage and activity areas:<br>(a) are appropriate to the height, scale, bulk and character of other buildings and activities in the surrounding industrial area;<br>(b) are proportionate to the size of the site; and<br>(c) do not result in a significant loss of visual amenity. | <b>AO1.1</b><br>Building height does not exceed:<br>(a) 12m; or<br>(b) 8.5m where adjoining a residential premises or land in the General residential zone. | <b>Complies with AO1.1</b><br>The built form would not exceed 8.5 metres in height.            |
|                                                                                                                                                                                                                                                                                                                        | <b>AO1.2</b><br>Site cover including any outdoor storage and sales areas do not exceed 75% of the site.                                                     | <b>Complies with AO1.2</b><br>The site cover would be less than 50%.                           |
| <b>PO2</b><br>Buildings, structures and industry activities are setback from the road frontage to mitigate the impact of activities on the streetscape.                                                                                                                                                                | <b>AO2</b><br>Buildings, structures and industrial activity areas are setback 6m from the road frontage.                                                    | <b>Complies with AO2</b><br>The built form would be setback 8.5 metres from the site frontage. |

| Performance outcomes                                                                                                                                                                                    | Acceptable outcomes                                                                                                                                                                                                                          | Applicant's response                                                                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| <b>Building design (if involving building work)</b>                                                                                                                                                     |                                                                                                                                                                                                                                              |                                                                                                                                   |
| <b>PO3</b><br>Building entrances are legible and safe.                                                                                                                                                  | <b>AO3.1</b><br>The main entry to the premises is:<br>(a) easily identifiable and directly accessible from the street with a clearly defined entrance point; and<br>(b) separate to vehicle access points.                                   | <b>Complies with AO3.1</b><br>The main entrance is clearly visible from the street.                                               |
|                                                                                                                                                                                                         | <b>AO3.2</b><br>Each building or tenancy is provided with a highly visible street and unit number.                                                                                                                                           | <b>Able to comply with AO3.2</b><br>A street number is able to be provided to the street frontage.                                |
|                                                                                                                                                                                                         | <b>AO3.3</b><br>Premises are provided with external lighting sufficient to provide safe ingress and egress for site users.                                                                                                                   | <b>Complies with AO3.3</b><br>As a single residential use the existing lighting is sufficient to provide safe ingress and egress. |
|                                                                                                                                                                                                         | <b>AO3.4</b><br>Ancillary office space is sited and orientated towards the principal road frontage of a site.                                                                                                                                | <b>Not applicable</b><br>No ancillary office space is proposed                                                                    |
| <b>Amenity</b>                                                                                                                                                                                          |                                                                                                                                                                                                                                              |                                                                                                                                   |
| <b>PO4</b><br>Where adjoining land in the General residential zone, development provides adequate buffering and screening so that adverse impacts on the amenity on adjoining properties are minimised. | <b>AO4.1</b><br>New buildings, plant and equipment, active outdoor use areas, site access and car parking, servicing or outdoor storage areas are set back a minimum of 5m from any boundary adjoining land in the General residential zone. | <b>Not applicable</b><br>The proposed development is a residential use and the site adjoins residential uses.                     |
|                                                                                                                                                                                                         | <b>AO4.2</b>                                                                                                                                                                                                                                 | <b>Not applicable</b><br>The proposed development is a residential use and                                                        |

| Performance outcomes                                                                                                                                                                                                 | Acceptable outcomes                                                                                                                                                                                                                                                                                                                                                             | Applicant's response                                                                                                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                      | <p>Within the setback area of any adjoining land in the General residential zone, the following is provided:</p> <p>(a) a minimum 1.8m high solid boundary fence; and</p> <p>(b) a densely planted landscape strip, having a minimum width of 3m and the balance setback area turfed.</p>                                                                                       | the site adjoins residential uses.                                                                                       |
|                                                                                                                                                                                                                      | <p><b>AO4.3</b></p> <p>Windows or openings that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of 50% transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>                                                                                            | <p><b>Not applicable</b></p> <p>The proposed development would not have direct views into adjoining residences.</p>      |
| <p><b>PO5</b></p> <p>Utility elements (including refuse areas, outdoor storage, plant and equipment, loading and unloading areas) are screened from view from the street and adjoining any land in another zone.</p> | <p><b>AO5</b></p> <p>Utility elements are:</p> <p>(a) located within or behind the building; or</p> <p>(b) screened by a 1.8m high solid wall or fence; or</p> <p>(c) behind landscaping having the same screening effect as a 1.8m screen fence.</p> <p>Editor's note—Screening can be provided by any combination of the above treatments to meet the acceptable outcome.</p> | <p><b>Not applicable</b></p> <p>The proposal is for a residential use that would not involve large utility elements.</p> |
| <p><b>PO7</b></p> <p>Landscaping is provided to mitigate the visual impact of development and screen unsightly components.</p>                                                                                       | <p><b>AO7</b></p> <p>A minimum 2m width of landscaping is provided along the entire principal road frontage excluding the driveway.</p>                                                                                                                                                                                                                                         | <p><b>Not applicable</b></p> <p>The proposed development is a residential use and the site adjoins residential uses.</p> |
| <p><b>PO8</b></p>                                                                                                                                                                                                    | <p><b>AO8.1</b></p>                                                                                                                                                                                                                                                                                                                                                             | <p><b>Not applicable</b></p> <p>The proposed development is a residential use that</p>                                   |

| Performance outcomes                                                                                                                                                                                                                                                 | Acceptable outcomes                                                                                                                                                                                                                                                                                                                                 | Applicant's response                                                                                                                                 |
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| Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.                                                                                                                                | Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2008</i> , as amended.<br><br>Editor's note—To achieve compliance, development is planned, designed and managed to ensure emissions from activities to achieve the appropriate acoustic objectives (measured at the receptor dB(A)). | would not involve vibration, dust, odour or other similar emissions.                                                                                 |
|                                                                                                                                                                                                                                                                      | <b>AO8.2</b><br>Development that involves the storage of materials on site that are capable of generating air contaminants either by wind or when disturbed are managed by:<br><br>(a) being wholly enclosed in storage bins; or<br><br>(b) a watering program so material cannot become airborne.                                                  | <b>Not applicable</b><br><br>The proposed development is a residential use that would not involve vibration, dust, odour or other similar emissions. |
| <b>PO9</b><br>Development prevents or minimizes the generation of any noise so that:<br><br>(a) nuisance is not caused to adjoining premises or other nearby sensitive land uses; and<br><br>(b) desired ambient noise levels in residential areas are not exceeded. | <b>AO9</b><br>Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2008</i> , as amended.                                                                                                                                                                                                     | <b>Not applicable</b><br><br>The proposed development is a residential use that would not involve vibration, dust, odour or other similar emissions. |
| <b>PO10</b><br>Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.                                                                                                                          | <b>AO10.1</b><br>Light emanating from any source complies with <i>Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting</i> .                                                                                                                                                                                             | <b>Not applicable</b><br><br>The proposed development is a residential use that would not involve outdoor lighting.                                  |
|                                                                                                                                                                                                                                                                      | <b>AO10.2</b><br>Outdoor lighting is provided in accordance with <i>Australian Standard AS 1158.1.1 Road</i>                                                                                                                                                                                                                                        | <b>Not applicable</b><br><br>The proposed development is a residential use that would not involve outdoor lighting                                   |

| Performance outcomes                                                                                                                                                                  | Acceptable outcomes                                                                                                                                                                                                                                                                                                                                       | Applicant's response                                                                                                    |
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|                                                                                                                                                                                       | <i>Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements.</i>                                                                                                                                                                                                                                             |                                                                                                                         |
| <b>PO11</b><br>Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off site releases of contaminants do not occur. | <b>AO11.1</b><br>Areas where potentially contaminating substances are stored or used, are:<br>(a) roofed and sealed with concrete, asphalt or similar impervious surface and bunded; and<br>(b) located above the defined flood event.<br>Editor's note–Refer to the Flood hazard overlay code for further information regarding the defined flood event. | <b>Not applicable</b><br>The proposed development is a residential use that would not involve contaminating substances. |
|                                                                                                                                                                                       | <b>AO11.2</b><br>Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.                                                                                                                                                                                                                            | <b>Not applicable</b><br>The proposed development is a residential use that would not involve contaminating substances. |
|                                                                                                                                                                                       | <b>AO11.3</b><br>Roof water is piped away from areas of potential contamination.                                                                                                                                                                                                                                                                          | <b>Not applicable</b><br>The proposed development is a residential use that would not involve contaminating substances. |
| <b>Hours of operation</b>                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                         |
| <b>PO12</b><br>Hours of operation are limited to minimise nuisance to any surrounding sensitive land uses.                                                                            | <b>AO12</b><br>Where within 150m of a sensitive land use or land in a Residential zone, hours of operation are limited to 7:00 to 18:00 daily.                                                                                                                                                                                                            | <b>Not applicable</b><br>The proposed development is a residential use.                                                 |
| <b>Use - Caretaker's accommodation</b>                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                         |
| <b>PO13</b>                                                                                                                                                                           | <b>AO13.1</b><br>No more than 1 Caretaker's accommodation unit on                                                                                                                                                                                                                                                                                         | <b>Not applicable</b>                                                                                                   |

| Performance outcomes                                                                                           | Acceptable outcomes                                                                                                       | Applicant's response                                                                                                                                                                                                                                                       |
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| Development:                                                                                                   | site.                                                                                                                     | No caretakers accommodations units are proposed.                                                                                                                                                                                                                           |
| (a) is subordinate to non-residential uses on the same site; and                                               | <b>AO13.2</b>                                                                                                             | <b>Not applicable</b>                                                                                                                                                                                                                                                      |
| (b) only accommodates 1 caretaker.                                                                             | Caretaker's accommodation is a maximum of 50m <sup>2</sup> in GFA.                                                        | No caretakers accommodations units are proposed.                                                                                                                                                                                                                           |
| <b>Use - Office</b>                                                                                            |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| <b>PO14</b>                                                                                                    | <b>AO14</b>                                                                                                               | <b>Not applicable</b>                                                                                                                                                                                                                                                      |
| Offices are only accommodated within the Industry zone where they are ancillary to the primary industrial use. | The area used for an ancillary office use does not exceed 100m <sup>2</sup> GFA.                                          | No offices are proposed.                                                                                                                                                                                                                                                   |
| <b>Use - Agricultural supplies store, Garden centre, Hardware and trade supplies</b>                           |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| <b>PO15</b>                                                                                                    | <b>AO15</b>                                                                                                               | <b>Not applicable</b>                                                                                                                                                                                                                                                      |
| Development:                                                                                                   | GFA does not exceed 250m <sup>2</sup> for any Agricultural supplies store, Garden centre and Hardware and trade supplies. | No agricultural supplies stores, garden centres or hardware and trade supplies uses are proposed.                                                                                                                                                                          |
| (a) does not impact on the viability of the region's centres and industrial areas;                             |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| (b) does not compromise the industry character of the locality; and                                            |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| (c) does not include large format, land consumptive commercial uses.                                           |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| <b>For all assessable development</b>                                                                          |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| <b>Land use</b>                                                                                                |                                                                                                                           |                                                                                                                                                                                                                                                                            |
| <b>PO16</b>                                                                                                    | No acceptable outcome is nominated.                                                                                       | <b>Complies with PO16</b>                                                                                                                                                                                                                                                  |
| Development does not compromise the use of land for industry purposes.                                         |                                                                                                                           | The subject site is a single lot with an area of 1,107m <sup>2</sup> located between two existing residential properties, each containing a dwelling house. The use of the site for industry purposes is compromised by these existing dwelling houses and the size of the |

| Performance outcomes                                                                                                                                                                                                                                                                                                                | Acceptable outcomes                                                                | Applicant's response                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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|                                                                                                                                                                                                                                                                                                                                     |                                                                                    | site.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>PO17</b><br>Development is:<br>(a) an industrial activity; or<br>(b) trade related; or<br>(c) difficult to locate in other zones due to land area or operational requirements (such as indoor sport and recreation uses); or<br>(d) small in scale and ancillary to, or directly supports, the industrial functions of the area. | No acceptable outcome is nominated.                                                | <b>Does not comply</b><br>The subject site is a single lot with an area of 1,107m <sup>2</sup> located between two existing residential properties, each containing a dwelling house. The use of the site for industry purposes is compromised by these existing dwelling houses and the size of the site.<br>The development of the land for industry purposes is not viable given the land uses in the locality and the potential for amenity impacts.<br>The site was formerly part of the adjoining Lot 2 on SP210837 and has always been a residential use. |
| <b>PO18</b><br>Any Educational establishment must involve the provision of training exclusively and specifically related to industrial or trade related activities.                                                                                                                                                                 | No acceptable outcome is nominated.                                                | <b>Not applicable</b><br>No Educational establishments are proposed.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>Use - Food and drink outlet</b>                                                                                                                                                                                                                                                                                                  |                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>PO19</b><br>Development:<br>(a) occurs at a scale which provides for the day to day convenience needs of employees in the industry area; and<br>(b) does not impact on the viability of the region's centres.                                                                                                                    | <b>AO19</b><br>GFA including all seating areas does not exceed 150m <sup>2</sup> . | <b>Not applicable</b><br>No Food & Drink uses are proposed                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <b>PO20</b><br>Development provides a safe environment for staff and patrons through:                                                                                                                                                                                                                                               | No acceptable outcome is nominated.                                                | <b>Not applicable</b><br>No Food & Drink uses are proposed                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Acceptable outcomes                                                                                                                                                                                                                           | Applicant's response                                                                                                                                                                           |
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| <p>(a) adequate separation from the source of any emissions generated by surrounding uses; and</p> <p>(b) design and construction features which mitigate noise and air quality impacts on food preparation and dining areas.</p>                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                               |                                                                                                                                                                                                |
| <b>Use - Service station</b>                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                               |                                                                                                                                                                                                |
| <p><b>PO21</b></p> <p>Buildings and structures allow for the safe operation of the Service station.</p>                                                                                                                                                                                                                                                                                                                                                                | <p><b>AO21</b></p> <p>All buildings and structures, including equipment associated with the Service station operation are setback as follows:</p> <p>(a) 10m from the front boundary; and</p> <p>(b) 2m from the side and rear boundaries</p> | <p><b>Not applicable</b></p> <p>No Service stations are proposed</p>                                                                                                                           |
| <p><b>PO22</b></p> <p>Retail components are ancillary to the Service station use.</p>                                                                                                                                                                                                                                                                                                                                                                                  | <p><b>AO22</b></p> <p>The maximum area of retail GFA is 80m<sup>2</sup>.</p>                                                                                                                                                                  | <p><b>Not applicable</b></p> <p>No Service stations are proposed</p>                                                                                                                           |
| <b>Amenity</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                               |                                                                                                                                                                                                |
| <p><b>PO23</b></p> <p>Development must provide adequate separation to sensitive land uses to avoid harmful exposure to air, noise and odour emissions from industrial uses that have the potential to adversely impact on human health, amenity and wellbeing.</p> <p>Editor's note—Applicants may be required to engage specialists to provide detailed investigations into the above matters in order to demonstrate compliance with this performance criterion.</p> | <p>No acceptable outcome is nominated.</p>                                                                                                                                                                                                    | <p><b>Complies with PO23</b></p> <p>The proposed development would be consistent with development on adjoining land and would not result in any adverse impact on the amenity of the area.</p> |
| <p><b>PO24</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p>No acceptable outcome is nominated.</p>                                                                                                                                                                                                    | <p><b>Complies with PO24</b></p>                                                                                                                                                               |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Acceptable outcomes                        | Applicant's response                                                                                                                                          |
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| <p>All uses are located, designed, orientated and constructed to:</p> <ul style="list-style-type: none"> <li>(a) minimise noise dust, odour or other nuisance from existing lawful uses; and</li> <li>(b) minimise nuisance caused by noise, vibration and dust emissions generated from any state-controlled road, infrastructure corridor and rail network in the vicinity; and</li> <li>(c) avoid areas that may place unreasonable risk to people and property from former mining activities and contaminated land.</li> </ul> <p>Editor's note–Sites of former mining activity may be identified through the Historic Mining Permits, Resources (Mineral Occurrence and Geological Observation Data) and Abandoned Mines layers of MyMinesOnline Maps. However, proponents should be aware that the online mapping does not spatially represent all abandoned mines and their extent. Geotechnical investigation of past mining areas may reveal additional unmapped historic mine sites.</p> |                                            | <p>The proposed development would be consistent with development on adjoining land and would not result in any adverse impacts on the amenity of the area</p> |
| <p><b>PO25</b></p> <p>Development is designed to facilitate the safety and security of people and property having regard to:</p> <ul style="list-style-type: none"> <li>(a) maximising casual surveillance and sight lines;</li> <li>(b) exterior building design that promotes safety;</li> <li>(c) adequate lighting;</li> <li>(d) appropriate signage and wayfinding;</li> <li>(e) minimisation of personal concealment and entrapment locations; and</li> <li>(f) building entrances, parking, loading and</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p>No acceptable outcome is nominated.</p> | <p><b>Complies with PO25</b></p> <p>The development would front the street and provide opportunity for casual surveillance.</p>                               |

| Performance outcomes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Acceptable outcomes                 | Applicant's response                                                                                                |
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| <p>storage areas that are well lit and have clearly defined access points.</p> <p>Editor's note—Applicants should have regard to <i>Prevention through Environmental Design Guidelines for Queensland</i>.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                     |                                                                                                                     |
| <b>Effects of development</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                     |                                                                                                                     |
| <p><b>PO26</b></p> <p>Development responds sensitively to on site and surrounding topography, waterways, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any hazards to people or property are avoided;</p> <p>(b) any earthworks are minimised;</p> <p>(c) the retention of natural drainage lines are maximised;</p> <p>(d) the retention of existing vegetation is maximized;</p> <p>(e) damage or disruption to sewer, stormwater and water infrastructure is avoided;</p> <p>(f) the risk of introducing and spreading weeds and pest animals is mitigated; and</p> <p>(g) there is adequate buffering, screening or separation to adjoining development.</p> | No acceptable outcome is nominated. | <p><b>Complies with PO26</b></p> <p>The development would be consistent with the development on adjoining land.</p> |
| <p><b>PO27</b></p> <p>Development is located, designed and operated so that adverse environmental impacts and environmental harm on nearby land is minimised.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | No acceptable outcome is nominated. | <p><b>Complies with PO27</b></p> <p>The development would be consistent with the development on adjoining land.</p> |