

16 February 2026

Our Reference: NP26.012  
IC.MH

Assessment Manager  
Charters Towers Regional Council  
PO Box 189  
CHARTERS TOWERS QLD 4820

## **Attention: Corporate and Community Building**

Dear Sir/Madam,

### **Application for Material Change of Use – Community Use (Walk of Honour) located at 1-7 and 9 Goldtower Street, Queenton and formally identified as Lot 1 & 2 on SP326358**

On behalf of the Applicant, please accept this correspondence and the accompanying planning report as a properly made development application in accordance with the *Planning Act 2016*.

The application seeks a Development Permit for Material Change of Use – Community Use (Walk of Honour) located at 1-7 and 9 Goldtower Street, Queenton and formally identified as Lot 1 & 2 on SP326358.

In accordance with Council's schedule of fees and charges, the assessment fee for the application is \$1,875. Payment will be issued on receipt of lodgement.

Please do not hesitate to contact the undersigned should you have any queries in relation to this application.

Yours faithfully,



**Meredith Hutton**

DIRECTOR  
**Northpoint Planning**

Encl. Development Application

# Development Application

Material Change of Use – Community Use (Walk of Honour)



**Northpoint**  
Planning

1-7 and 9 Goldtower Street, Queenton  
Lot 1 & 2 on SP326358

16 February 2026  
Reference: NP26.012

**Client:** Goldtower Properties

**Project:** 1-7 and 9 Goldtower Street, Queenton

**Date:** 16 February 2026

**Project Reference:** NP26.012

**Contact:** Meredith Hutton

**Prepared by:** Meredith Hutton – Northpoint Planning

### Document Verification

Revision		Author	Reviewer
1	Draft	I.C	M.H
3	Final	M.H	

Approval			
Author Signature		Approver Signature	
Name	I. Cooper	Name	M. Hutton
Title	Student Planner	Title	Principal Planner

Northpoint Planning

ABN 52 352 159 357

**E** [hello@northpointplanning.com.au](mailto:hello@northpointplanning.com.au)

**W** [www.northpointplanning.com.au](http://www.northpointplanning.com.au)

**Disclaimer:** Northpoint Planning retains copyright and ownership of the contents of this document, including all tables, plans, drawings, figures and other work produced by Northpoint Planning. Unless expressly approved by Northpoint Planning, this document may not be reproduced in full or in part, except for the client and for the purpose for which it was created.

This report is commissioned by and prepared for the exclusive use of the Client and is subject to and issued in accordance with the agreement between the Client and Northpoint Planning. Northpoint Planning is not responsible and will not be liable to any other person or organisation for or in relation to any matter dealt within this report, or for any loss or damage suffered by any other person or organisation arising from matters dealt with or conclusions expressed in this report.



## Table of Contents

1.0	EXECUTIVE SUMMARY.....	4
2.0	SITE AND SURROUNDING ENVIRONMENT.....	6
2.1.	SUBJECT SITE AND SURROUNDS.....	6
3.0	PROPOSED DEVELOPMENT.....	7
3.1.	GENERAL OVERVIEW.....	7
3.2.	PROPOSAL PLANS.....	8
3.3.	USE DEFINITION.....	9
3.4.	ACCESS AND PARKING.....	9
3.5.	INFRASTRUCTURE SERVICES.....	9
3.6.	STORMWATER DRAINAGE.....	9
3.7.	LANDSCAPING.....	9
4.0	LEGISLATIVE FRAMEWORK.....	10
4.1.	STATE PLANNING POLICY.....	10
4.2.	NORTH QUEENSLAND REGIONAL PLAN.....	10
4.3.	STATE DEVELOPMENT AND ASSESSMENT PROVISIONS.....	10
4.4.	LOCAL PLANNING INSTRUMENT.....	10
4.5.	ASSESSMENT BENCHMARKS.....	10
5.0	STATE DEVELOPMENT ASSESSMENT PROVISIONS.....	11
5.1.	STATE CODE 1: DEVELOPMENT IN A STATE-CONTROLLED ROAD ENVIRONMENT.....	11
5.2.	STATE CODE 2: DEVELOPMENT IN A STATE-CONTROLLED RAIL ENVIRONMENT.....	12
6.0	PLANNING ASSESSMENT.....	13
6.1.	STRATEGIC FRAMEWORK.....	13
6.2.	GOLDTOWER DEVELOPMENT CODE.....	13
7.0	OTHER RELEVANT MATTERS.....	15
8.0	CONCLUSION AND RECOMMENDATIONS.....	16

## Appendices

- Appendix 1: DA Form 1, Title search and Landowner's consent
- Appendix 2: SmartMap and SARA mapping
- Appendix 3: Subject site and surrounds
- Appendix 4: Development plans



Appendix 5: Proposed Statues

## Tables

Table 1: Application Summary

Table 2: Proposal Plans

## Figures

Figure 1: Site Location

Figure 2: Proposed Walk of Honour



## 1.0 Executive Summary

In accordance with s 51 of the *Planning Act 2016* (the Act) this development application seeks a development permit for Material Change of Use – Community use (Walk of Honour).

The subject site is located at 1-7 and 9 Goldtower Street, Queenton and is formally described as Lot 1 & 2 on SP326358. The subject site involves the northern part of the subject allotments fronting New Queen Road, comprising a total area of approximately 750m<sup>2</sup>.

The site is located within the Goldtower Development Area. Accordingly, the land is subject to assessment against the *Goldtower Development Plan* in accordance with MC15/181.

The proposed development involves the construction of a covered walkway traversing the northern site boundary. Specifically, the proposed walkway will be situated on the benched area between the two existing retaining walls to the western part of the New Queen Road frontage. The proposed walkway will incorporate statues and interactive story-telling exhibitions of historical and community figures of significance to the Charters Towers region, allowing visitors to learn about the individuals who shaped the character and history of the region.

The proposed development incorporates a shade structure to the full extent of the walkway, comprising a gable roof profile and decorative fretwork presenting to the New Queen Road frontage. The proposal maintains the high level of visual amenity and character established within the Goldtower Development Area, with the development intentionally designed with features reflective of a railway station, a historically significant industry associated with the township and surrounds.

Assessment of the proposed development against the provisions of all relevant benchmarks has been undertaken and outlined in this town planning report. As outlined in this town planning report, the proposed development achieves the nominated assessment criteria.

The proposed development is considered appropriate for the location, and it is therefore requested that the application be approved subject to reasonable and relevant conditions.

**Table 1: Application Summary**

Application Summary	
<b>Address</b>	1-7 and 9 Goldtower Street, Queenton
<b>Real Property Description</b>	Lot 1 & 2 on SP326358
<b>Area of Lot</b>	34,400m <sup>2</sup>
<b>Applicant</b>	Goldtower Properties
<b>Purpose of Proposal</b>	Community Use – Walk of Honour
<b>Type of Application</b>	Material Change of Use
<b>Category of Assessment</b>	Impact
<b>SARA Mapping</b>	<ul style="list-style-type: none"><li>▪ Water resource planning area boundaries</li><li>▪ State-controlled road</li><li>▪ Railway corridor</li><li>▪ Area within 25m of a State-controlled road</li><li>▪ Area within 25m of a railway corridor</li><li>▪ Area within 100m of a State-controlled road intersection</li></ul>



<b>Application Summary</b>	
<b>Referral Agencies</b>	<ul style="list-style-type: none"><li>▪ Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (a) – Development within 25m of a State-controlled transport corridor</li><li>▪ Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 (c) – Development within 100m of a State-controlled road intersection</li></ul>
<b>Public Notification</b>	Required



## 2.0 Site and Surrounding Environment

### 2.1. Subject Site and Surrounds

The subject site is located at 1-7 and 9 Goldtower Street, Queenton and is formally identified as Lots 1 & 2 on SP326358. The subject site involves two regular shaped allotments comprising a total area of 34,400m<sup>2</sup> and forms part of the Goldtower Development Area. The eastern allotment is currently utilised for commercial purposes, improved by two retail/commercial buildings and associated parking and hardstand areas. The western lot remains wholly vacant.

The subject site maintains frontage to New Queen Road to the north and Goldtower Street to the south and east, noting that New Queen Road is identified as a State-controlled road corridor. Access to the site is facilitated via existing crossover to the Goldtower Street frontage. The Mount Isa Railway Line is located approximately 22m south-east of the site.

Two existing retaining walls traverse the western half of the New Queen Road frontage. The topography of the site gradually slopes downwards towards the west, with the site comprising mapped contours between 293m AHD and 299m AHD. Easement E on SP326358 traverses the northern property boundary of Lot 1 for access purposes, and Easement A on SP326358 is situated centrally along the southern property boundary of Lot 2 for electrical infrastructure purposes.

The immediate surrounding locality comprises a mix of commercial and industrial uses associated with the Goldtower Development Area, alongside community uses and heavily vegetated vacant allotments. The wider locality includes the Charters Towers CBD to the south-east, and the Charters Towers Airport and Charters Towers Racecourse to the north.

The subject site is not affected by any overlays identified within the Charters Towers Regional Town Plan (the planning scheme).

The subject lot and surrounding locality are illustrated in Figure 1 below.

**Figure 1: Site Location**



Source: Qld Globe



## 3.0 Proposed Development

### 3.1. General Overview

The proposed development involves the construction of a covered walk of honour, situated on the benched area between two existing retaining walls to the western half of the New Queen Road frontage. A shade structure is proposed to the full extent of the walkway, comprising a gable roof profile and decorative fretwork presenting to the New Queen Road frontage. The path will be of a ramped design, supporting accessibility for all visitors.

The proposed walkway is designed to imitate an historical railway station line. The proposal incorporates statues and interactive story-telling exhibitions of significant historical and community figures along the pathway, inviting visitors to learn about the individuals who shaped the character and history of the region. Images of the proposed statues are provided at **Appendix 5**. The proposed development has been intentionally designed with features reflective of a railway station, honouring a historically significant industry which has contributed to the identity of the township and surrounds.

The proposal maintains the high level of visual amenity and character established within the Goldtower Development Area. Specifically, the proposed development involves the following:

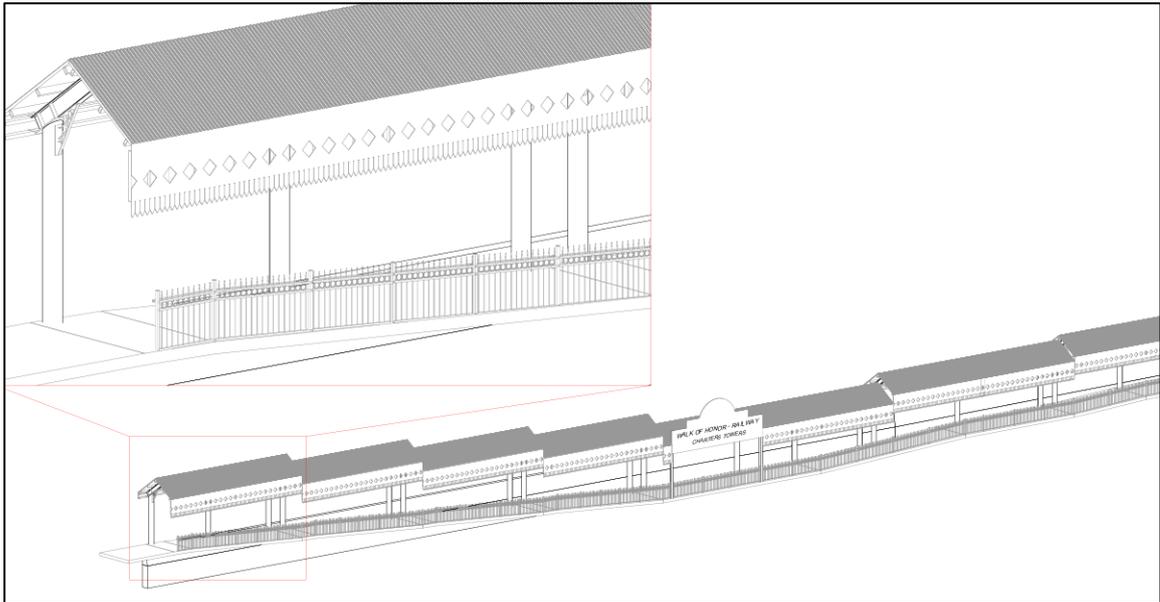
- Construction of a covered 'Walk of Honour' to the northern site boundary.
- Proposed walkway situated on the benched area between two existing retaining walls to the western half of the New Queen Road frontage.
- Proposed walkway comprising a width of approximately 1.8m.
- Proposed pathway of ramped design.
- Inclusion of approximately 20 statues and interactive story-telling exhibitions of historical and community figures along the full extent of the walkway. Examples of the proposed figures are provided at **Appendix 5**.
- Provision of a shade structure to the full extent of the walkway, comprising a gable roof profile, with an overall height of approximately 4.6m.
- Shade structure comprising decorative fretwork to the New Queen Road frontage.
- Development façade oriented to the New Queen Road frontage.
- Proposed covered walkway of open design, with all required support beams situated along the eastern side of the pathway to mitigate impacts of built-form bulk from the road frontage.
- Fencing provided to the full extent of the walkway to the New Queen Road frontage.
- No vehicle access or parking arrangements provided in association with the proposed development.

Following pre-lodgement discussions with Council, the proposal is defined as a Community Use in accordance with the planning scheme, as the pedestrian pathway with historical character installations is intended to provide for a community-based cultural and educational activities accessible to the public.

The proposed development is illustrated in Figure 2 overleaf.



**Figure 2: Proposed Walk of Honour**



Source: Northern Consulting Engineers

### 3.2. Proposal Plans

The proposed development is illustrated in the development plans listed below in Table 2, prepared by Northern Consulting Engineers (refer **Appendix 4**).

**Table 2 – Proposal Plans**

Plan title	Number	Issue	Date
Engineering Specification	GDTC0100-ST01	P1	04.02.2025
Proposed Site Plan	GDTC0100-ST02	P1	04.02.2025
Layout Plan – Grades and Levels	GDTC0100-ST03	P1	04.02.2025
Layout Plan – Grades and Levels	GDTC0100-ST04	P1	04.02.2025
Walkway Plan and Elevations	GDTC0100-ST06	P1	04.02.2025
Walkway Plan and Elevations	GDTC0100-ST07	P1	04.02.2025
Walkway Plan and Elevations	GDTC0100-ST08	P1	04.02.2025
Typical Section and Details	GDTC0100-ST10	P1	04.02.2025



Typical Section and Details	GDTC0100-ST11	P1	04.02.2025
3D Isometric	GDTC0100-ST12	P1	04.02.2025

### 3.3. Use Definition

In accordance with schedule 1 of the planning scheme, the use is defined a Community use. A Community use is defined as *the use of premises for –*

- (a) *providing artistic, social or cultural facilities or community services to the public; or*
- (b) *preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).*

### 3.4. Access and Parking

In accordance with the relevant assessment benchmarks, the prescribed parking rate for a Community use is 1 space per 2 employees, including volunteers, plus 1 space per 50m<sup>2</sup> gross floor area (GFA). Given the proposed development does not require employees and does not provide for any gross floor area, no vehicle parking spaces associated with the proposed use are required.

The proposed development provides for a covered walkway only, and therefore no vehicle access or parking arrangements are proposed. The proposal is suitably setback from existing access arrangements associated with the subject site and wider Goldtower Development Area and is of open design, therefore mitigating impacts on vehicle sight lines and visibility.

It is noted the proposed walkway is intended to form part of the pedestrian network of the wider area, connecting to future development within Lot 1 on SP326358 and pedestrian walkways that have previously been approved within the Goldtower Development Area.

### 3.5. Infrastructure Services

The proposed development provides for a covered walkway only and therefore does not require connection to Council's reticulated water or sewer networks. The proposed development does not interfere with the reticulated network, telecommunication or electrical connections servicing the two subject allotments.

### 3.6. Stormwater Drainage

The proposed development has been suitably designed to maintain the existing drainage pattern of the site. The proposal retains the existing topography of the subject site. Stormwater within the site will continue to convey to a lawful point of discharge.

### 3.7. Landscaping

The proposed development is wholly located within the benched, non-landscaped area between the two existing retaining walls to the New Queen Road frontage. The proposed walkway is of open design and provides for a high level of visual amenity to the road frontage. Given the design and siting of the proposal, additional landscaping is not considered necessary.

Furthermore, the proposed development does not involve the removal or alteration of any street tree.



## 4.0 Legislative Framework

### 4.1. State Planning Policy

In accordance with section 26 of the *Planning Regulation 2017*, assessment against the State Planning Policy (SPP) is required to the extent the provisions of the SPP are appropriately integrated within the planning scheme.

For the purposes of this development application, it is considered all relevant provisions of the State Planning Policy are appropriately integrated with the planning scheme and no additional standalone provisions are relevant for assessment.

### 4.2. North Queensland Regional Plan

The North Queensland Regional Plan (NQ Regional Plan) provides for the strategic vision for the local government areas of Burdekin, Charters Towers, Hinchinbrook, Palm Island and Townsville. The subject site is located within the Charters Towers Priority Living Area of the NQ Regional Plan.

The NQ Regional Plan will be realised through a series of goals, with the proposed development considered to further these goals. In particular, Goal 1 – A leading economy in regional Australia, and Goal 3 – Liveable, sustainable and resilient communities that promote living in the tropics. It is considered all aspects of the NQ Regional Plan relevant to the proposed development are appropriately addressed.

### 4.3. State Development and Assessment Provisions

In accordance with Schedule 10 of the *Planning Regulation 2017*, referral of the development application is required given the subject site is located within proximity to a State transport corridor. The relevant referral trigger is identified as:

- Schedule 10, Part 9, Division 4, Subdivision 2, Table 4, Item 1 – Development within 25m of a State-controlled transport corridor.

Assessment against the relevant benchmarks is provided in Section 5.

### 4.4. Local Planning Instrument

Charters Towers Regional Council is nominated as assessment manager for this development application. In accordance with Preliminary Approval MC15/181, the Goldtower Development Plan varies the effect of the Charters Towers Regional Plan pursuant to section 242 of the *Sustainable Planning Act 2009*.

Accordingly, the proposed development requires an impact assessable development application assessed against the Goldtower Development Plan.

### 4.5. Assessment Benchmarks

Pursuant to Table 5.3 of the Goldtower Development Plan the proposal requires impact assessment and is therefore assessable against the strategic framework of the Goldtower Development Plan. Accordingly, the relevant assessment benchmarks are identified as:

- Strategic framework.
- Goldtower development code.

Assessment against the relevant benchmarks is provided in section 6.



## 5.0 State Development Assessment Provisions

### 5.1. State Code 1: Development in a State-controlled road environment

The purpose of State Code 1 is to *protect the safety, function and efficiency of state-controlled roads, future state-controlled roads, road transport infrastructure, active transport infrastructure and public passenger services on state-controlled roads from adverse impacts of development. The code is intended to protect the safety of people using, and living or working near, state-controlled roads.*

Specifically, this code seeks to ensure development:

- (1) *does not increase the likelihood or frequency of accidents, fatalities or serious injury for users of a state-controlled road;*
- (2) *does not adversely impact the structural integrity or physical condition of state-controlled roads, road transport infrastructure, public passenger transport infrastructure or active transport infrastructure;*
- (3) *does not adversely impact the function and efficiency of state-controlled roads or future state-controlled roads;*
- (4) *does not adversely impact the state's ability to plan, construct, maintain, upgrade or operate state-controlled roads, future state-controlled roads or road transport infrastructure;*
- (5) *does not significantly increase the cost to the state to plan, construct, upgrade or maintain state-controlled roads, future state-controlled roads or road transport infrastructure;*
- (6) *maintains or improves access to public passenger transport infrastructure or active transport infrastructure;*
- (7) *does not adversely impact the state's ability to operate public passenger services on state-controlled roads;*
- (8) *protects community amenity from significant adverse impacts of environmental emissions generated by road transport infrastructure or vehicles using state-controlled roads*

#### Response

The proposed development is considered to comply with the purpose of State Code 1. The proposal provides for a covered walkway only and does not result in new or changed access to a State-controlled road. The proposed walkway is wholly contained within the subject site and does not involve any physical alterations within the adjoining State-controlled road. The proposal will continue to convey stormwater to a lawful point of discharge and will not result in worsened stormwater impacts on the New Queen Road corridor.

The proposed walkway is of open design and is suitably buffered from the Ben Lane/New Queen Road and Goldtower Street/New Queen Road intersections, mitigating impacts on vehicle sight lines. The proposal retains the functionality, safety and traffic regime of the State-controlled road network, with minimal to no vehicle traffic movement increases anticipated as part of the proposal. A varying verge width between 6m and 12m between the subject site and the formed corridor of New Queen Road provides for a suitable buffer between the proposed development and the state-controlled road corridor. Fencing is provided to the full extent of the proposed walkway along the New Queen Road frontage, mitigating increased pedestrian access to the state-controlled road and enhancing both road user and pedestrian safety.

Given the proposed development involves a covered walkway only, does not result in new or altered access to a State-controlled road and is suitably buffered and designed to ensure the safety of both road users and pedestrians, further assessment against State Code 1 is not considered necessary.



## 5.2. State Code 2: Development in a State-controlled Rail Environment

The purpose of State Code 2 is to *protect railway corridors, future railway corridors, rail transport infrastructure and other rail infrastructure from adverse impacts of development. The purpose of this code is also to protect the safety of people using, and living and working near, railways.*

Specifically, this code seeks to ensure development:

- (1) *does not result in an increase in the likelihood or frequency of accidents, fatalities or serious injury for users of a railway;*
- (2) *does not adversely impact the structural integrity or physical condition of railways, rail transport infrastructure or other rail infrastructure within a railway corridor;*
- (3) *does not compromise the operating performance of railway corridors;*
- (4) *does not adversely impact the state's ability to plan, construct, maintain, upgrade or operate railway corridors, future railway corridors and associated rail transport infrastructure or other rail infrastructure;*
- (5) *does not significantly increase the cost to the state to plan, construct, maintain, upgrade or operate railway corridors, future railway corridors, rail transport infrastructure or other rail infrastructure;*
- (6) *does not compromise pedestrian or cycle access to public passenger transport infrastructure or active transport infrastructure associated with railways;*
- (7) *protects the community from significant adverse impacts resulting from environmental emissions generated by a railway.*

### Response

The proposed development is considered to comply with the purpose of State Code 2. The proposed covered walkway is wholly contained within the subject site and does not involve any physical alterations within the adjoining rail corridor. The proposed development is situated along the northern site boundary and is setback in excess of 125m from the railway corridor to the south. The proposal provides for a covered walkway with statues and points of interest as pedestrian's traverse the pathway, providing a complementary community use compatible with the established character and built form of the Goldtower Development Area. No built form is proposed in proximity to the railway corridor, with no access to the railway corridor required in association with the proposed development.

Given the siting and nature of the proposed development, further assessment against State Code 2 is not considered necessary.



## 6.0 Planning Assessment

### 6.1. Strategic Framework

The strategic framework sets the strategic direction for the Goldtower Development Area and ensures appropriate development occurs within the area.

The strategic framework provides for four themes that collectively represent the intent of the Goldtower Development Plan:

- (i) *Integrated development;*
- (ii) *Built form;*
- (iii) *Access and mobility; and*
- (iv) *Infrastructure services.*

The strategic framework seeks to facilitate integrated development outcomes that support economic activity, community identity and high-quality built form within the Goldtower Development Area. The proposed Walk of Honour directly supports this intent by:

- Providing a community-focused and cultural educational facility.
- Enhancing the identity of the Goldtower Development Area through recognition of local history.
- Contributing to tourism and visitation opportunities within Charters Towers.
- Activating the New Queen Road frontage through a visually engaging and publicly accessible pedestrian space.

The development does not introduce competing land uses or activities that would undermine the overall vision of the development area. Rather, it complements the established commercial and mixed-use character by introducing a safe, accessible and shaded pedestrian pathway, with integrated statues and push-button audio elements that provide historical information about notable local figures.

The proposal is low intensity in nature and involves passive pedestrian activity only. Fundamentally, the development provides improved pedestrian infrastructure within the site by formalising and enhancing a defined walkway. The provision of continuous shade to the full extent of the pathway improves usability and comfort for pedestrians in the local climate, encouraging walkability and safe movement within the Goldtower Development Area.

The proposal remains low intensity in nature, involving passive pedestrian activity only, and does not introduce competing land uses or activities that would conflict with surrounding development. The covered walkway is designed to integrate with the established character of the Goldtower Development Area and does not result in visual bulk or built form outcomes inconsistent with the intended character of the locality. The development improves the streetscape presentation to New Queen Road and contributes to a cohesive and activated public realm.

### 6.2. Goldtower Development Code

The purpose of the Goldtower development code is to *provide for a mixture of development that may include industry and selected business and retail uses. Activities permitted in this area are defined within the level of assessment table.*



The purpose of this code will be achieved through the following overall outcomes:

- a) *the area primarily accommodates a range of generally smaller scale industrial uses that regularly provide goods and services to the general public, and have low levels of potential impacts on surrounding areas;*
- b) *the area also accommodates a mix of business activity groups that are pertinent to the nature of the region;*
- c) *development makes a positive contribution to the public domain, particularly along major roads and near entries; and*
- d) *development avoids significant adverse affects on water quality and the natural environment.*

The proposed development is considered to further the purpose and overall outcomes of the Goldtower development code, particularly given:

- The proposed development provides for a covered pedestrian walkway only, and does not result in an increase in GFA or operational intensity within the subject site.
- The proposed Walk of Honour provides for an attractive and complementary use which improves the functionality of the subject site and wider Goldtower Development Area.
- The proposal delivers a high standard of visual presentation to the New Queen Road frontage, maintaining consistency with the established built form outcomes of the development area and positively contributing to the overall streetscape character.
- The proposed development is consistent with the height and scale of surrounding built-form, providing for seamless integration of the structure within the subject site and wider development area.
- The proposed development is wholly contained within the subject site and does not involve built form or encroachment within a road or rail corridor.
- The proposed Walk of Honour is of open design and is appropriately setback from surrounding road network intersections, maintaining driver safety, visibility and sight lines.
- The proposed development does not hinder or alter the operations of established retail and industrial uses within the Goldtower Development Area.
- The proposed development facilitates improved pedestrian connectivity and accessibility within the development area.
- All existing servicing arrangements for associated with the subject site are wholly maintained as part of the proposed development.
- The proposal seeks to honour the history and culture of the wider Charters Towers region, maintaining the established character and design goals associated with the Goldtower Development Area.

Given the nature of the proposed development, further assessment against the Goldtower development code is not considered necessary.



## 7.0 Other Relevant Matters

In accordance with section 45(5)(b) of the Act, the following are other relevant matters considered applicable to assessment of this development application:

- The proposed development honours the culture and history of the Charters Towers region, inviting both the local community and tourists to learn about the individuals who shaped the character of the locality.
- The proposal is appropriately sited and designed to maintain the operations and functionality of existing established uses within the development area.
- The proposed development is of a minor scale and low intensity, involving passive pedestrian activity only, and does not introduce built form or operational impacts inconsistent with the intent of the development area.
- The development provides climatic protection through full-length shade coverage, improving pedestrian comfort and usability in North Queensland conditions.
- The development does not prejudice the orderly and efficient future development of the balance of the land within the Goldtower Development Area.
- The proposal does not require significant upgrades to infrastructure networks and will not create unreasonable demands on existing services.
- The development contributes positively to the public realm through improved streetscape presentation and activation of the New Queen Road frontage.



## **8.0 Conclusion and Recommendations**

This town planning report has been prepared by Northpoint Planning on behalf of Goldtower Properties in association with a Development Application for a Material Change of Use – Community use (Walk of Honour) located at 1-7 and 9 Goldtower Street, Queenton and formally described as Lot 1 & 2 on SP326358.

The subject site is located within the Goldtower Development Area and is subject to assessment under the Goldtower Development Plan. An assessment against the relevant benchmarks has been undertaken and is outlined in detail in this town planning report.

The proposal is consequently considered appropriate development in the context in which it is located and has been suitably demonstrated to comply with the relevant assessment benchmarks. It is therefore recommended Council approve the proposed development, subject to reasonable and relevant conditions.



# Appendix 1

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) <i>(individual or company full name)</i>	Goldtower Properties C/- Northpoint Planning
Contact name <i>(only applicable for companies)</i>	Meredith Hutton
Postal address <i>(P.O. Box or street address)</i>	PO Box 4
Suburb	Townsville
State	Queensland
Postcode	4810
Country	Australia
Contact number	07 4440 5282
Email address <i>(non-mandatory)</i>	<a href="mailto:hello@northpointplanning.com.au">hello@northpointplanning.com.au</a>
Mobile number <i>(non-mandatory)</i>	0407 574 897
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	NP26.012

### 1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		1-7	Goldtower Street	Queenton
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	2	SP326358	Charters Towers Regional
b)	Unit No.	Street No.	Street Name and Type	Suburb
		9	Goldtower Street	Queenton
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	1	SP326358	Charters Towers Regional

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Material Change of Use – Community Use (Walk of Honour)

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**6.4) Is the application for State facilitated development?**

- Yes - Has a notice of declaration been given by the Minister?
- No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

- |                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                                |

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m <sup>2</sup> ) <i>(if applicable)</i>
Covered pathway – Walk of Honour	Community Use		

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- Yes
- No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

--

**9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)***

- |  |   |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i>          | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>   |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Charters Towers Regional Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland  
Government

- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

**Matters requiring referral to the local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

**Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:**

- Infrastructure-related referrals – Electricity infrastructure

**Matters requiring referral to:**

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

**Matters requiring referral to the Brisbane City Council:**

- Ports – Brisbane core port land

**Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:**

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

**Matters requiring referral to the relevant port operator, if applicant is not port operator:**

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

**Matters requiring referral to the Chief Executive of the relevant port authority:**

- Ports – Land within limits of another port (*below high-water mark*)

**Matters requiring referral to the Gold Coast Waterways Authority:**

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

**Matters requiring referral to the Queensland Fire and Emergency Service:**

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

- I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	MC15/181	20/10/2016	Charters Towers Regional Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- Yes – a copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government’s website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

### Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

### 24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



Queensland  
Government

**25) Applicant declaration**

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**QLeave notification and payment**

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 51277220	<b>Search Date:</b> 23/01/2026 08:40
<b>Date Title Created:</b> 15/03/2022	<b>Request No:</b> 54804768
<b>Previous Title:</b> 51182797, 51182798	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 2 SURVEY PLAN 326358

Local Government: CHARTERS TOWERS

#### REGISTERED OWNER

Dealing No: 721508584 28/02/2022

GOLDTOWER PTY LTD A.C.N. 127 721 957

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 40019901 (Lot 139 on CP DV804358)  
Deed of Grant No. 40065117 (Lot 4 on SP 242554)
2. EASEMENT IN GROSS No 721508585 28/02/2022 at 08:35  
burdening the land  
ERGON ENERGY CORPORATION LIMITED A.C.N. 087 646 062  
over  
EASEMENT A ON SP326358

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 51277219	<b>Search Date:</b> 23/01/2026 08:40
<b>Date Title Created:</b> 15/03/2022	<b>Request No:</b> 54804768
<b>Previous Title:</b> 51182797	

#### ESTATE AND LAND

Estate in Fee Simple

LOT 1 SURVEY PLAN 326358

Local Government: CHARTERS TOWERS

#### REGISTERED OWNER

Dealing No: 721508584 28/02/2022

GOLDTOWER PTY LTD A.C.N. 127 721 957

#### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 40019901 (Lot 139 on CP DV804358)
2. EASEMENT IN GROSS No 721508589 28/02/2022 at 08:35  
burdening the land  
CHARTERS TOWERS REGIONAL COUNCIL  
over  
EASEMENT E ON SP326358

#### ADMINISTRATIVE ADVICES

NIL

#### UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

**Company owner's consent to the making of a development application under the *Planning Act 2016***

**GOLDTOWER PTY LTD** (ACN 127 721 957)

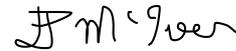
as owner(s) of premises identified as:

**Lot 1 & 2 on SP326358** and located at 1-7 and 9 Goldtower Street, Queenton

consent to the making of a development application under the *Planning Act 2016* by Northpoint Planning on the premises described above.

*Name* Lindsay Paul McIver

*Signature*



*Position* Director

*Date*

29th Jan 2026

*Name*

*Signature*

*Position*

*Date*



# Appendix 2



## **Matters of Interest for all selected Lot Plans**

*Water resource planning area boundaries*

*State-controlled road*

*Area within 25m of a State-controlled road*

*Area within 25m of a railway corridor*

*Railway corridor*

## **Matters of Interest by Lot Plan**

### **Lot Plan: 2SP326358 (Area: 17970 m<sup>2</sup>)**

*Water resource planning area boundaries*

*State-controlled road*

*Area within 25m of a State-controlled road*

*Area within 25m of a railway corridor*

### **Lot Plan: 1SP326358 (Area: 16460 m<sup>2</sup>)**

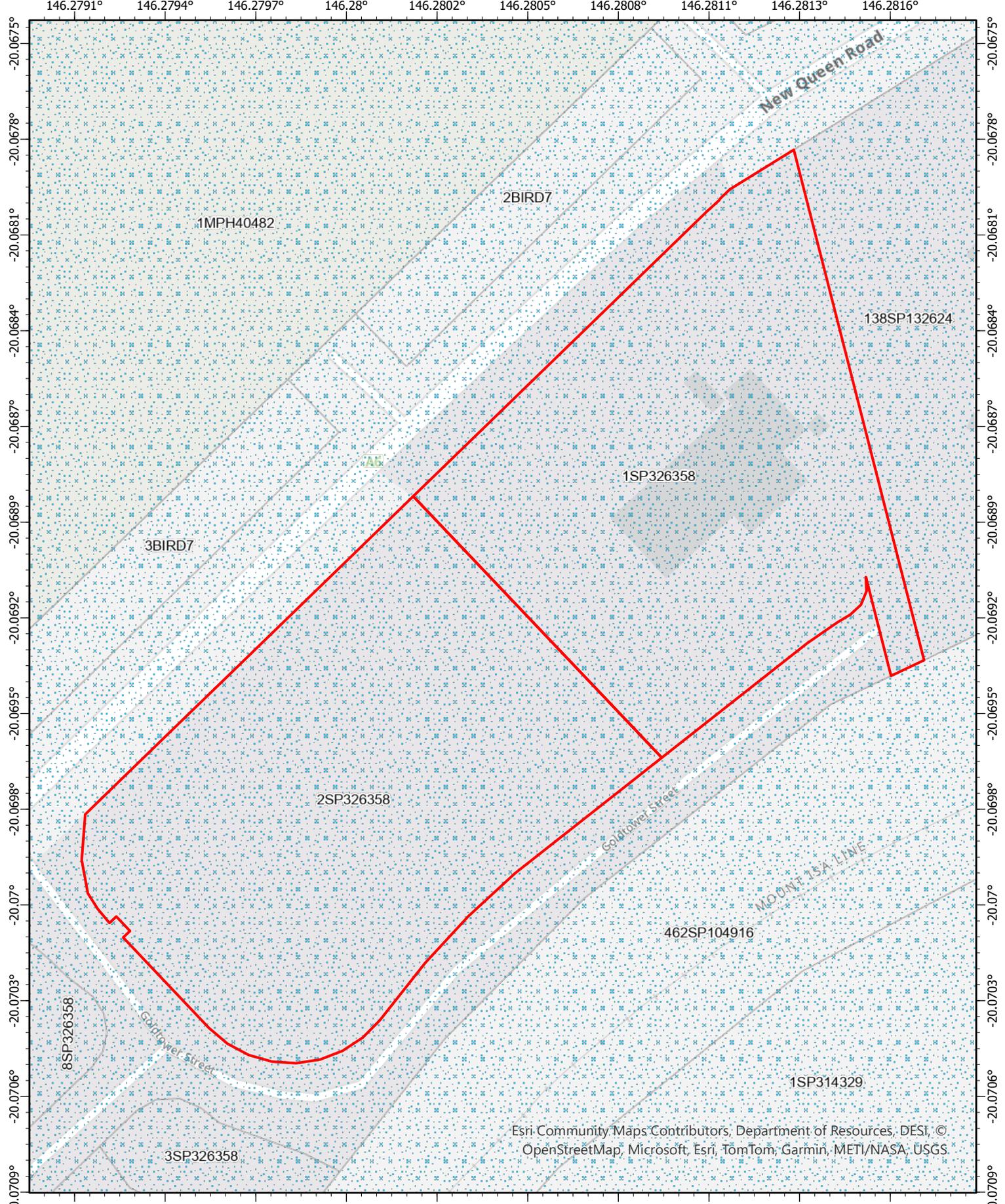
*Water resource planning area boundaries*

*State-controlled road*

*Railway corridor*

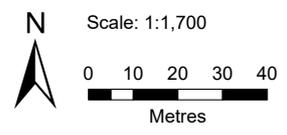
*Area within 25m of a State-controlled road*

*Area within 25m of a railway corridor*



 Water resource planning area boundaries

Date: 22/01/2026



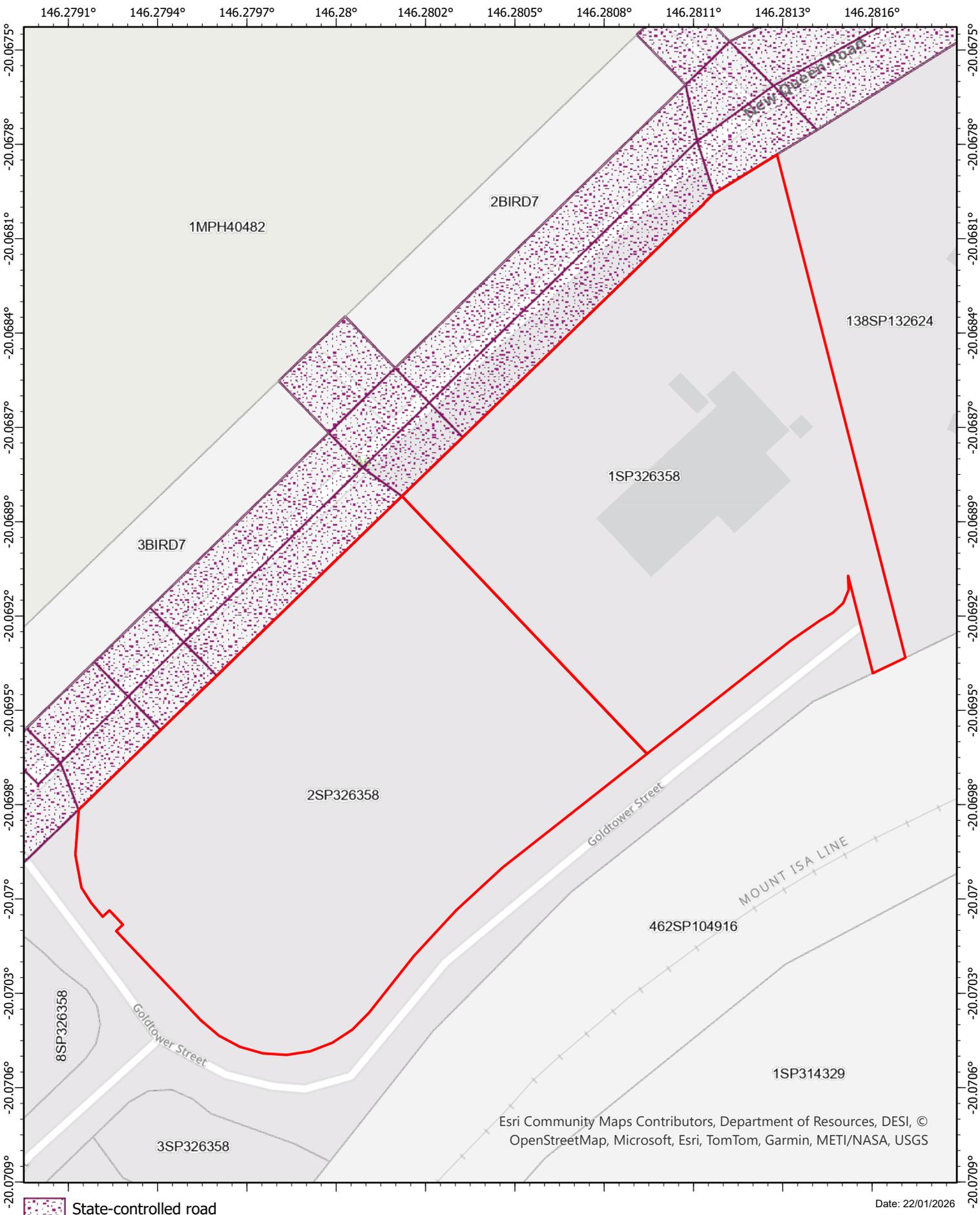
Esri Community Maps Contributors, Department of Resources, DESI, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, METI/NASA, USGS.

Queensland Government



© The State of Queensland 2026.

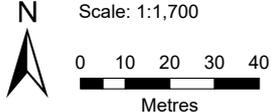
**Disclaimer** This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.  
 Document ID: 5173916  
 Version: 1, Version Date: 18/02/2026



Esri Community Maps Contributors, Department of Resources, DESI, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, METI/NASA, USGS

Date: 22/01/2026

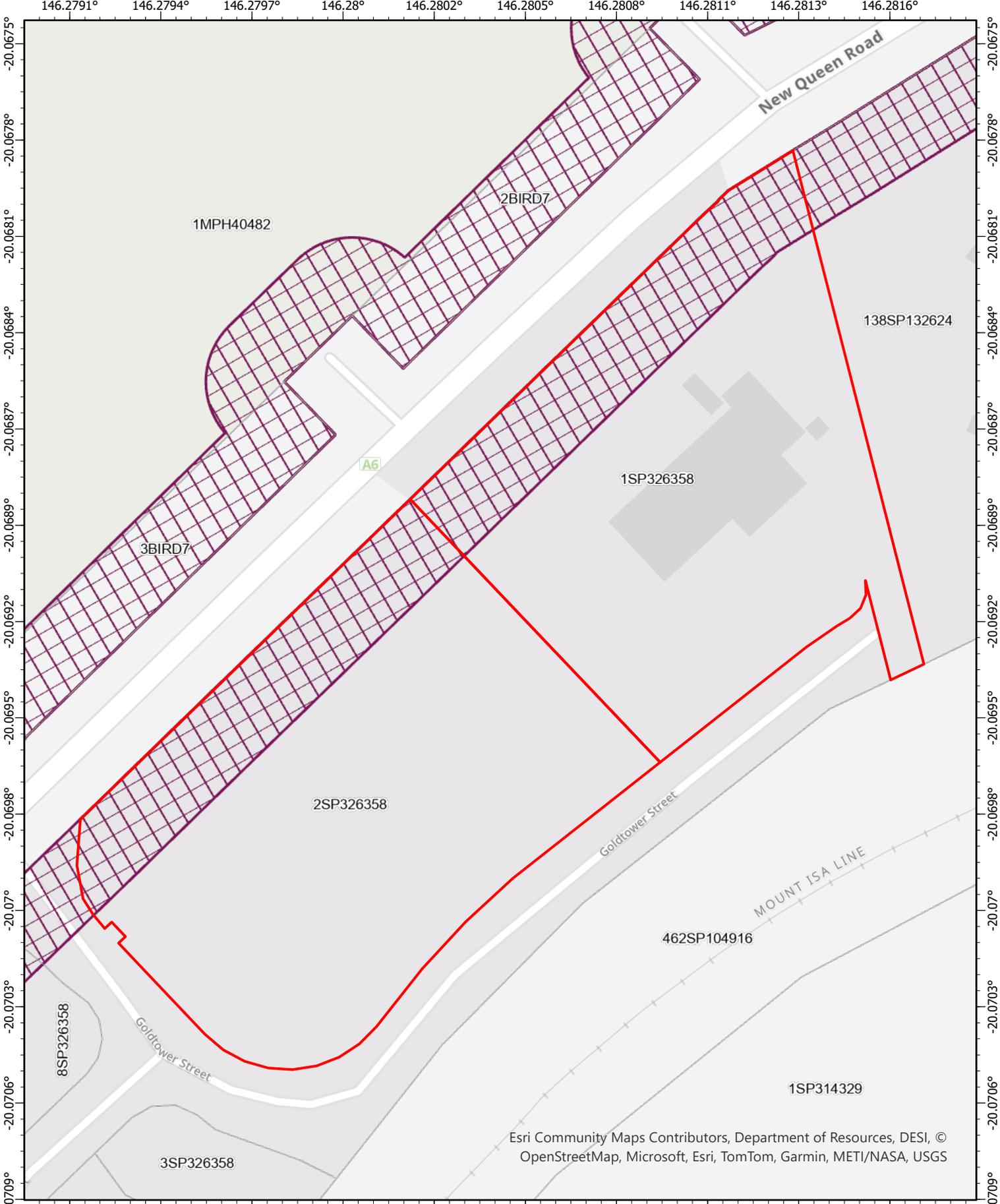
 State-controlled road



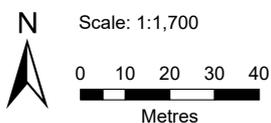
Queensland Government



**Disclaimer** This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.



 Area within 25m of a State-controlled road



Date: 22/01/2026

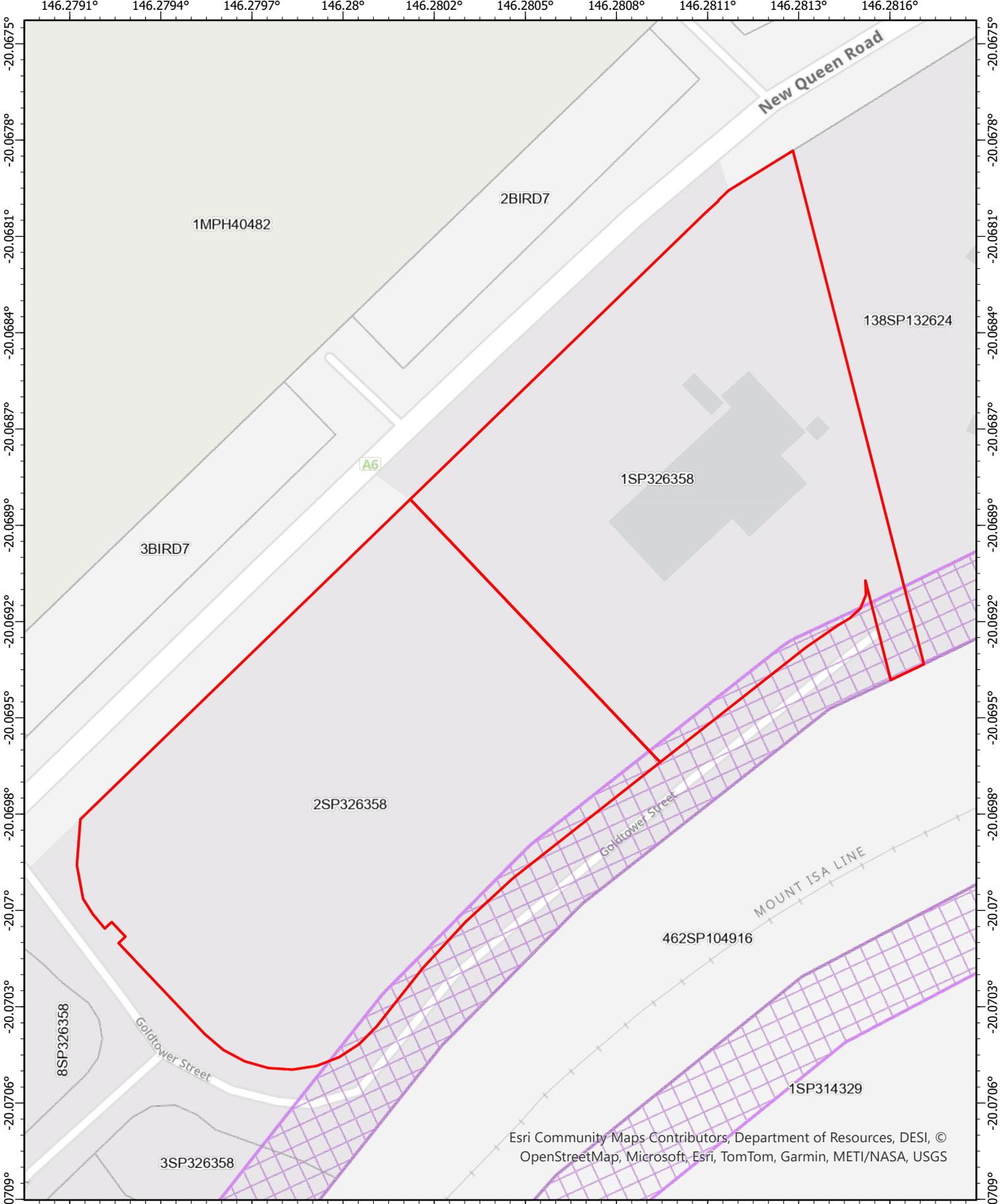
Esri Community Maps Contributors, Department of Resources, DESI, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, METI/NASA, USGS

**Disclaimer** This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.  
 Document Set ID: 5173916  
 Version: 1, Version Date: 18/02/2026

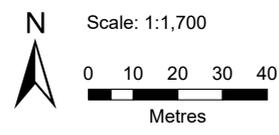
Queensland Government



© The State of Queensland 2026.



 Area within 25m of a railway corridor



Date: 22/01/2026

Esri Community Maps Contributors, Department of Resources, DESI, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, METI/NASA, USGS

Queensland Government



**Disclaimer** This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.

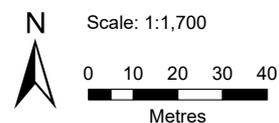
Document Set ID: 5173916  
 Version: 1, Version Date: 18/02/2026

© The State of Queensland 2026.



 Railway corridor

Date: 22/01/2026



Queensland  
Government



**Disclaimer** This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.

Document Set ID: 5173916  
Version: 1, Version Date: 18/02/2026

© The State of Queensland 2026.



# Appendix 3

# Subject Site and Surrounds - 1-7 & 9 Goldtower Street, Queenton

Lots 1 & 2 on SP326358

20°3'55"S 146°16'30"E

20°3'55"S 146°17'9"E

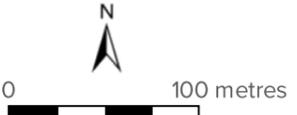


Legend located on next page



20°4'24"S 146°16'30"E

20°4'24"S 146°17'9"E



Scale: 1:3649  
Printed at: A3  
Print date: 22/1/2026  
Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit <https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

Includes material © State of Queensland 2026. You are responsible for ensuring that the map is suitable for your purposes. The State of Queensland makes no representation or warranties in relation to the map contents and disclaims all liability.  
If imagery is displayed, imagery includes material © CNES reproduced under license from Airbus DS, all rights reserved © 2IAT © Earth-i, all rights reserved, © Planet Labs PBC, 2025



Department of Natural Resources and Mines, and Regional and Rural Development



# Appendix 4

**GENERAL**

- This specification is to be read in conjunction with the engineering and Architectural drawings. Any discrepancies are to be referred to the Engineer. The contractor must ensure that construction drawings are the most recent.
- Northern Consulting Engineers reserves the right to make amendments to the structural design during the construction process as required by site conditions without seeking approval from the appropriate government authority.
- All workmanship and materials are to be in accordance with the relevant Australian Codes. All materials are to be new and first grade.
- The Contractor is to inspect the site and the conditions to be encountered, including ground conditions, before submitting prices or commencing work.
- Details shown on the drawings do not constitute all details but are typical only. Whether detailed or not, the Contractor shall allow for all work necessary for the completion of the project. Structural and Civil Engineering documents do not cover details for termite barrier / treatment. The Builder must consult experts in this field for advice and design of protection.
- Should the Contractor deem that a contract variation is warranted, written agreement must be obtained from the Engineer before commencing the work involving the variation.
- Drawings shall not be scaled. All dimensions must be checked on site before submitting prices, fabrication or construction. No amendments may be made to the structure as shown on the drawings without written approval of the Engineer.
- The Contractor shall allow for co-ordination with any other trades outside the scope of this Contract.
- The Contractor is to ensure that all work is carried out under the direction of a capable supervisor experienced in the types of work within the Contract and in the requirements of the Workplace Health and Safety Act. The Contractor is to ensure that the structure and works are kept in a stable and safe condition at all times during construction.
- All services are to be installed in the nearest possible way in keeping with good standard practices. Generally services shall be concealed.
- The Contractor shall allow for structural deflections, expansions and contractions when placing finishes or services. Finishes shall not be fixed across structural joints. Joints shall be provided in ceilings at wall joint locations.
- The engineer accepts no responsibility for the work unless the works are inspected and approved during construction.
- All doors and windows are to be made and installed to take the wind pressures detailed as follows:-

**WIND PRESSURE TABLES**

<b>WIND PRESSURE:</b>	
Base Site Ultimate Wind Pressures:	2.65 kPa
Base Site Serviceability Wind Pressures:	1.23 kPa

<b>LOCAL PRESSURE FACTORS:</b>	
Side wall	kt=2.0 a/Z = 2.0 m
	kt=1.5 a = 4.0 m
Windward Wall	kt=1.5

<b>PRESSURE CO-EFFICIENTS:</b>	
<b>External Pressure Co-efficient</b>	<b>Internal Pressure Co-efficient</b>
Windward Wall Co-efficient =	0.7 Internal Pressure = 0.70
Leeward Wall Co-efficient =	-0.5 Internal Pressure = -0.65
	-0.65 0.00 to 7.56m
Side wall =	-0.5 7.56 to 15.12m
	-0.3 15.12 to 22.67m
	-0.2 Greater than 22.67m

<b>ULTIMATE WIND PRESSURES:</b>	
Windward wall =	4.06 kPa Distance from edge of building
Leeward wall =	-2.87 kPa
	-4.78 kPa 0.00 to 4.00m
Side wall =	-3.23 kPa 4.00 to 7.56m
	-2.87 kPa 7.56 to 15.12m
	-2.39 kPa 15.12 to 22.67m
	-2.15 kPa Greater than 22.67m

<b>SERVICEABILITY WIND PRESSURES:</b>	
Windward wall =	1.88 kPa Distance from edge of building
Leeward wall =	-1.33 kPa
	-2.22 kPa 0.00 to 4.00m
Side wall =	-1.50 kPa 4.00 to 7.56m
	-1.33 kPa 7.56 to 15.12m
	-1.11 kPa 15.12 to 22.67m
	-1.00 kPa Greater than 22.67m

<b>SERVICEABILITY WIND PRESSURES: (for water Penetration*)</b>		
Windward wall =	1.50 kPa Distance from edge of building	*Note: Reduced internal pressure coefficients for the windows water penetration has been applied for the greater serviceability wind pressures based on the assumption that all windows have maintained their structural integrity and a dominate opening is not formed in the structure.
Leeward wall =	-0.55 kPa	
	-1.14 kPa 0.00 to 4.00m	
Side wall =	-0.72 kPa 4.00 to 7.56m	
	-0.55 kPa 7.56 to 15.12m	
	-0.33 kPa 15.12 to 22.67m	
	-0.22 kPa Greater than 22.67m	

**FOOTINGS**

- All vegetable matter and soft soil underneath slabs and footings is to be removed before filling or construction commences.
- The footings for this building are designed for a safe bearing capacity of 150 kPa.
- All footings shall be founded in firm, natural undisturbed ground unless written Approval is received from the Engineer. Where a new or old sewer or service trench runs parallel to a footing, the footing must be deeper than a line drawn at 45 degrees from the bottom of the trench to the footing location.
- The builder is to check for soft spots that may exist under footings and contact the Engineer if in doubt to the foundation quality or requirements for backfilling excavations resulting from removal of soft spots or tree stumps.
- Services should not penetrate or be placed beneath footings or slab. Where services must penetrate, the penetrations are to be made permanently water tight.
- Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.

**CONCRETE SLABS**

- All vegetable matter and soft soil underneath slabs and footings is to be removed before filling or construction commences.
- Fill beneath slabs to be compacted to a minimum of 97% minimum dry density ratio (based on standard compaction) for cohesive soils, and to a minimum density index of 70% for cohesionless soils.
- All fill material shall be granular and of minimum CBR5.
- TESTING** - The Contractor is responsible for testing and must allow for the cost of testing (and removal, re-compaction and retesting where failures occur) of the fill compaction. One test is to be completed at locations selected by the engineer in accordance AS3798 every layer or every 200mm depth. Compaction test result records must be kept and it is advisable to forward a copy to the Engineer for recording.
- Where a granular base is required by the drawings the gravel is to be of minimum CBR 25 and the tolerance for compacted thickness is - 5 mm to + 20 mm.
- The ground and slabs are to be treated for termites in accordance with Australian Standards and Council requirements.
- Slabs are to fall to wastes and are to allow for recesses for tiling, doors and weather steps. Provide wheelchair access ramps at doorways. Finished floor levels are to the top finished surface of tiles etc.
- A 0.2 mm vapour barrier membrane is to be placed on prepared founding material before placing reinforcement.
- Generally joints in slabs are to line up with joints in walls. All dowels are to be galvanised, parallel and aligned perpendicular to the joint. Round dowels in joints are to be greased. Unless noted otherwise, joints are to be finished off with round frowelled edges. External joints are to be sealed with a polysulphide or similar sealant applied in accordance with manufacturers recommendations. The use of pressed metal keys to form key control joints (KCI) is not recommended. Where the builder elects to form a key by this method, any undesirable outcomes will be completely his responsibility. Where hard wheel forklift & trolley jacks are used. All joints to use an Armor edge joint protection, similar to Armourate, in accordance with manufactures details.
- Where reinforcement has been cut to provide for services, an equivalent amount of trimming reinforcement is to be placed each side of the service. Provide 2N16 bars 2000 long to u/s of mesh adjacent re-entrant corners.
- All slabs must be cured for a minimum of 3 days for internal slabs or 7 days for exposed slabs (ponded water or type I-D liquid membrane forming curing compound to AS3799 is recommended). In hot, windy weather, an aliphatic alcohol protective treatment is to be sprayed on the concrete surface immediately after screeding.
- Concrete in slabs thicker than 100 mm, beams and thickenings must be adequately compacted by vibration.
- U.N.O., external slabs shall be graded to drain to an outfall with a minimum slope of 1 in 300.
- Vehicles, heavy equipment and stacking of materials will not be permitted on slabs for 5 days.
- To reduce cracking in brittle floor finishes caused by inevitable concrete shrinkage, flexible mortars and glues should be used and tiles should be placed as long as possible after the slab was last wet. Expansion joints must be provided in the tiling to suit the tiles. It is advisable to use SL92 mesh in ground slabs beneath these finishes.
- Ground Slab Tolerance:- Thickness within - 5 mm and + 20 mm. - Smoothness - The finished surface shall not deviate from a 3m long straight edge by more than 3mm.
- Suspended Slabs:- The formwork quality and compaction of the concrete are to be adequate to provide a Class 2 off form finish in accordance with the Australian Standard.

Formwork shall be certified by an engineer (RPEQ) experienced with formwork design. Slabs and beams shall not be stripped for at least 6 days and back-props of capacity to take all dead and live loads are to remain in place for at least 18 days. At least two levels of undisturbed supports shall be in place for each floor pour. This shall be increased to three (3) if back-propping is provided.

Vehicles, heavy equipment and stacking of materials will not be permitted on suspended slabs.

A maximum of 3 kPa load will be allowed on propped spans. Stacking of materials shall be over columns or beside support walls only.

Conduits and services are not to be placed within the concrete cover.

Holes are NOT to be cored through suspended slabs without written approval of the Certifying Engineer.

**CONCRETE**

- All concrete, including testing of concrete, to be in accordance with AS 3600 CONCRETE STRUCTURES. The Contractor shall allow for testing of the concrete.
- Concrete mix and cover to reinforcement, unless otherwise indicated, as follows:-

ITEM	COVER (mm)	DEPTH	COMPRESSIVE STRENGTH, F'c (MPa)	MAXIMUM SLUMP (mm)	MAXIMUM AGGREGATE SIZE (mm)
Footings	40		25	100	20
Slab on Ground					
Internal	30	100	25	75	20
External	40	100	25	75	20
Suspended slab					
Internal	20	200	32	75	20
External	40	220	32	75	20
Columns	40		40	75	20

The concrete manufacture and supply shall be in accordance with AS1379.

Air entraining agents are to comply with AS1478 and 1479 "CHEMICAL ADMIXTURES FOR CONCRETE". No other additives will be permitted without written approval of the Engineer.

- The Contractor shall give at least 24 hours notice to the Engineer of his intention to pour concrete. No concrete shall be poured without the approval of the Engineer. All concrete shall be compacted by use of mechanical vibrators.
- Concrete surfaces must be cured! Curing of concrete surfaces, by an approved method, shall commence immediately after finishing and must remain in place for a minimum time of three full days for interior surfaces and seven days for exposed surfaces. The Contractor shall allow for curing of all concrete surfaces in their price.
- Less noted otherwise all concrete formed edges shall have 20 mm chafers.

**CONCRETE CONT.**

- No re-bending of reinforcing bar is to occur unless approved by the engineer.
- All concrete is to be mechanically vibrated during placing.
- Construction joints are to be formed and only used as specified on the drawings unless an emergency construction joint is required.
- The formwork quality and compaction of the concrete are to be adequate to provide a Class 2 off form finish in accordance with the Australian Standard.
- Formwork shall be certified by an engineer (RPEQ) experienced with formwork design. All formwork shall be installed and stripped in accordance with AS3610.
- Vibration of forms is not acceptable and concrete shall not be spread by vibration.
- Concrete quality shall be verified by tests.
- All formwork is to be free of debris prior to pouring of concrete.

**REINFORCEMENT**

- Reinforcement is to be supported on approved bar chairs at 800 maximum centres in both directions. Unless otherwise noted, the following minimum reinforcement splices for members less than 300mm are required:-

Unless otherwise noted, the following minimum reinforcement splices for members greater than 300mm are required:-

Reinforcing fabric:- one grid overlap plus 25 mm.

- Alternate detail with separation.

Trench mesh:- 600

Provide 2-N12 corner bars at corners and intersection of footings.

**CHEMICAL ANCHORS**

- The following minimum standard is required for anchorage (unless noted otherwise)

SIZE	Minimum Hole diameter (mm)	Maximum Hole diameter (mm)	Required hole depth (mm)
N12	15	17	115
N16	19	21	125
N20	24	27	175

- All dust to be removed from anchor holes before filling with binder and reinforcement. This must be conducted in accordance with manufacturers' recommendations. Northern Consulting Engineers minimum requirement would be for holes to be cleaned out with a wire brush and blown out with an air compressor. This is to be repeated three times before chemical is added to the hole.
- Curing times as specified by the manufacturer must be adhered to. If, for assembly reasons, it is necessary to apply some load to the fixing before the above time lapse has occurred, the Engineer may approve the installation of a trubolt in association with the chemical.
- Unless otherwise approved, anchors must be a minimum of 150 mm from all edges and a minimum of 100 mm spacing.

**SITE MAINTENANCE**

- During Construction**  
Site maintenance starts at the beginning of the job.  
Keep the Site drained and all water flowing away from the building.  
Water must not be allowed to pond along the sides of the building or in trenches close to the building.  
All service trenches leading to the building or close to the building must be backfilled with impervious material.  
In clay soils, clay from the site is to be compacted back over the bedding sand.
- Services**  
Avoid services beneath slabs wherever possible.  
Where services are placed beneath slabs:-  
Provide 100 mm of flexible sealant / lagging between pipes and penetrated footing concrete.  
Provide a flexible joint each side of the concrete and another within 500 mm upstream and downstream, creating a short length of pipe each side of the short pipe through the concrete.  
Service trench inverts are to slope away from the footings and be backfilled and compacted with clay from the site. Flexible joints are to be provided where services adjoin the building.  
All service trenches parallel to footings to be located at least 15m away from the footing.  
Provide tolerance for vertical movements in vertical pipes entering the ground, eg Slip joints.  
Downpipes and tap outlets are to be provided with a splash pad and the finished ground surface is to drain to an outfall or an area remote from the building.
- Landscaping & Maintenance**- The ground adjacent to the building is to be graded for 2 m at 1:100 away from the building and then to an outfall.  
Trees must be kept well away from the building. Recommended minimum distance of at least the height of a mature tree and 1.5 times this for a group of trees.  
The builder should instruct the owner of his/ her responsibility for maintenance of the area around the building in accordance with CSIRO sheet No. 10-91, especially with respect to surface water, trees and plumbing leaks.

**STEELWORK**

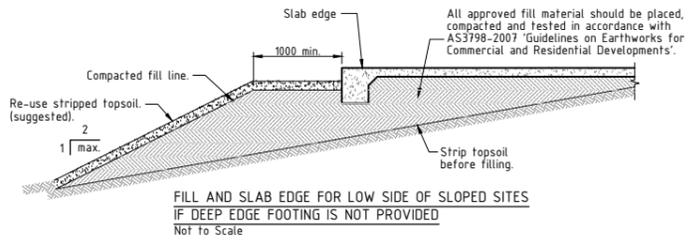
- Steel Grade:- Universal beams and Parallel Flange Channels - Grade 300PLUS. R.H.S. members - Grade 350 minimum. Plate - Grade 250.
- Bolts are to be galvanised, grade 8.8/5, high strength bolts made snug tight. Holding down bolts to concrete are to be galvanised grade 4.6/5, mild steel bolts made snug tight, unless noted otherwise. Maximum hole clearances 2 mm on steel to steel connections and 6 mm on steel to concrete connections. Where holes have been "blown" or enlarged to facilitate connections, the connections are to be welded to attain the same strength by the weld. All such holes must be brought to the attention of the Engineer. (Cold formed sections are not to be welded)
- Where possible cleats are to have their thickness normal to the direction of deflection and their width parallel to the loading or shall be stiffened to prevent fatigue. Cleats or stiffeners with bolts are to be as follows unless noted otherwise: Cleats minimum 75 mm wide.

Bolt grade	Cleat thickness
grade 4.6 bolts	8 mm
grade 8.8 16 dia	8 mm
grade 8.8 20 dia	10 mm
grade 8.8 24 dia	12 mm
grade 8.8 30 dia	16 mm

- Welding**- All surface preparation and welding is to be in accordance with AS1554.1 for category SP. All welds are to be carried out by suitably qualified tradesmen. Flanges in moment connections are to be complete penetration butt welded. Other welds are to be 6 mm continuous fillet welds unless noted otherwise. Electrode grade is to match the strength grade of the parent metal of the member (not the cleat) used in the fabrication.
- Grout under base plates to be one part cement to one part sand dry packed.
- Painting**- All internal steelwork is to be sandblasted to Class 2.0 and treated with at least 1 coat of zinc phosphate high build primer or approved equivalent applied in accordance with the manufacturer's written instructions to a minimum dry film thickness of not less than 75 microns.  
Note: All exposed steel work to be galvanised or treated. Refer to NCC Table 3.4.4.7 "Protective Coatings for Steelwork" Extract.
- Purlins and Girts- are designed using Stramit Industries design capacity tables. Lysaght capacity tables are very similar but use of this product must be approved by the Engineer. No other brand of purlins or associated products are to be supplied without Engineering certification. This certification must be approved by the Engineer. Purlin bolts, bridging and other accessories are to be as recommended by the manufacturer and installed in accordance with their recommendations. Unless noted otherwise, all "Z" section purlins and girts are to have bridging and be lapped 900 mm at every frame, column or end wall mullion. Cold formed sections are to have coating class Z350 for non-aggressive environments and coating class Z450 for aggressive environments. Bottom flange bracing to be installed to every second purlin.  
The bottom flange and turned up lip of the purlins are not designed to carry loads of any kind. All attachments must be to the web of the member.
- Bracing**- All bracing is to be tight and secure after installation. If rod bracing is specified, it is to be installed with turnbuckles or other proprietary fittings that provide tightening adjustment. These fittings must provide full equivalent strength to the rod specified.
- Metal Battens**- All external metal battens that accept roof or wall sheeting screws are to be of minimum base metal thickness 0.75 mm.
- Tubular members to be galvanised shall be adequately vented.
- Coating damaged during transport and erection shall be made good.
- All details, gauge lines, edge distances and clearances etc, where not specifically shown on the drawings shall be in accordance with Australian Steel Institute design capacity tables for structural steel and standard sized structural details for steel.
- All fabricated structural steelwork specified for this project must comply with Australian Standard AS/NZS 5131 Structural Steelwork - Fabrication and Erection. Construction category is nominated as 2.0 for this project under AS/NZS5131.
- All structural steel shall be sourced from mills with relevant JAS ANZ accredited third party certification scheme such as the ACRS Scheme (see http://steelcertification.com). Alternative sourcing of third party certified structural steel shall be submitted for review and must be approved prior to the commencement of procurement.
- High strength bolt assemblies to AS/NZS 1252.1 shall be verified to AS/NZS 1252.2. Documentation to meet the requirements of AS/NZS 1252.2 shall be provided.

**CLADDING**

- Roof sheeting and wall sheeting types are nominated on the drawings. The thickness and profile must be adhered to as the purlin and girt spacings are set in accordance with sheeting and fixing strength. Sheeting fixing must be with shankguard protected no.14 class 4 roofing screws to AS3566.
- For fixing to metal battens 15 -15 x 55 mm metal batten teks are required.
- Expansion joints in sheeting to be located as per manufactures details. Typical metal roof sheeting expansion joints at 25 m - must be confirmed by manufacturer.



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....

Signature.....  
Mr Timothy Roy Messer - BE (ME) Aust, RPEQ 9985, Registered on the NPER in the areas of practice of Civil & Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 259890  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural): 11637385  
Registered Engineer - (Civil): VIC: PE0002216  
Registered Engineer - (Civil): TAS: CC3648M

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

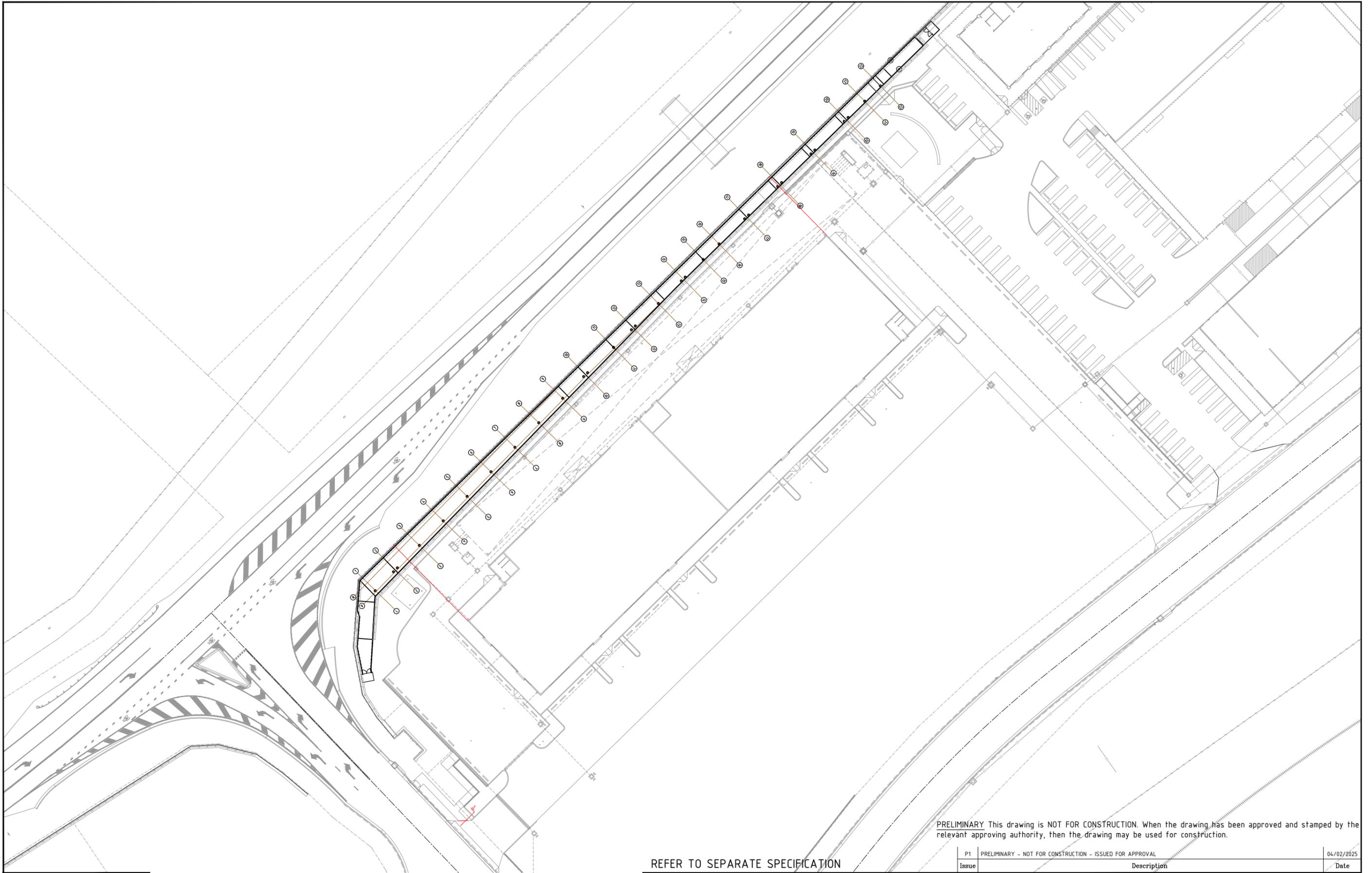
REFER TO SEPARATE SPECIFICATION

**NORTHERN CONSULTING**  
engineers

Civil | Structural | Forensic  
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND  
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	<b>GOLDTOWER</b>
Date		
Checked	WALK OF HONOUR	<b>ENGINEERING SPECIFICATION</b>
Approved	SHADE STRUCTURE	
COPYRIGHT ©	1 GOLDTOWER STREET QUEENTON, QLD 4820	Drawing Number
		<b>GDTC0100-ST01</b>
		Issue
		<b>P1</b>



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

REFER TO SEPARATE SPECIFICATION

Scale 'A' 1:250 @ A1  
0 2.5 5.0 7.5 10.0m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

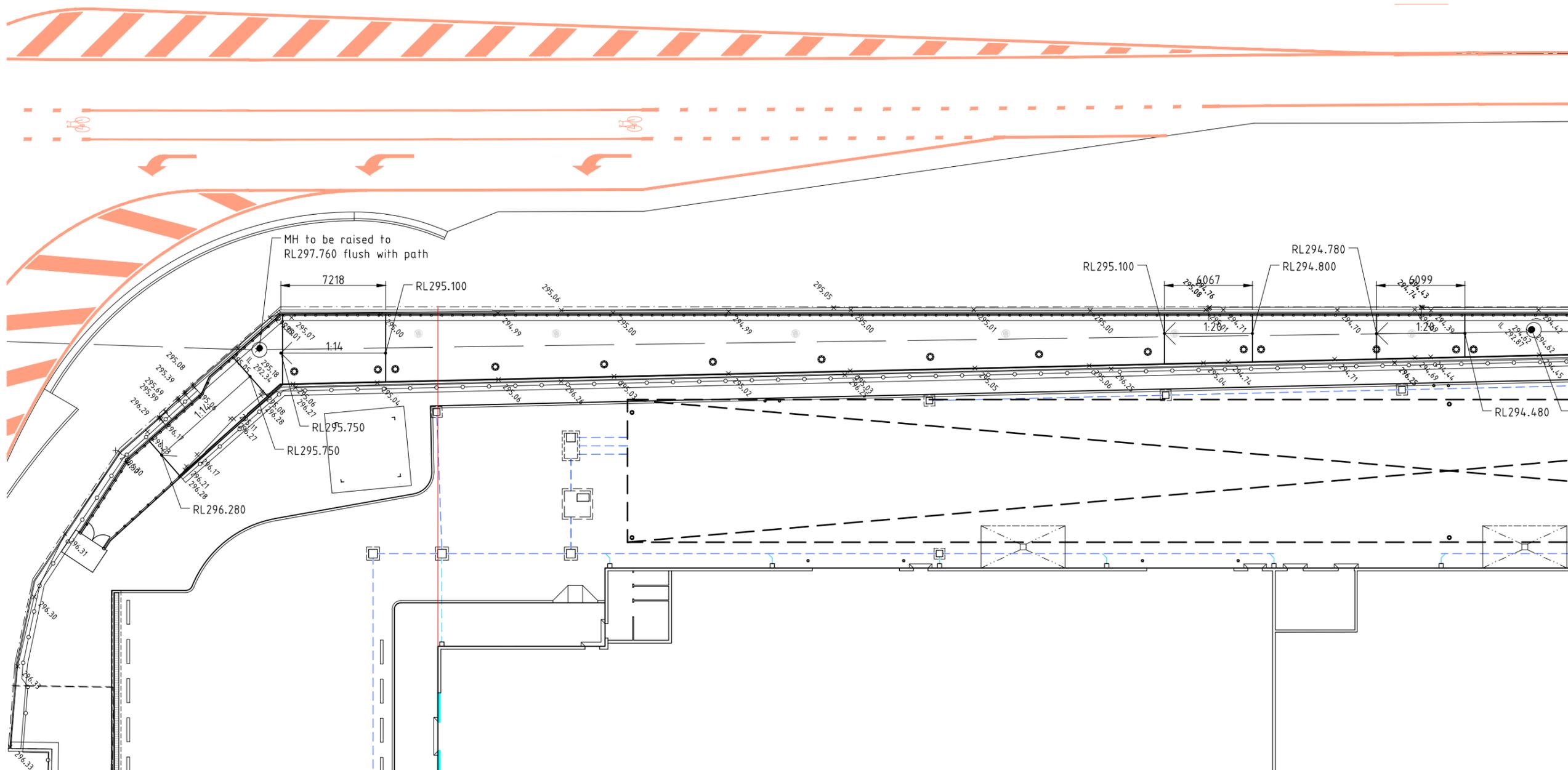


Civil | Structural | Forensic  
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND  
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

Issue	P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue		Description	Date
Drawn	CH	In Association With	
Date		<b>GOLDTOWER</b>	
Checked		WALK OF HONOUR	
Approved		SHADE STRUCTURE	
COPYRIGHT ©		1 GOLDTOWER STREET	
		QUEENTON, QLD 4820	
		Drawing Number	Issue
		<b>GDTC0100-ST02</b>	P1

Date.....  
Signature.....  
Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
Registered on the NPER in the areas of practice of Civil &  
Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 258980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural NT): 116378ES  
Registered Engineer - (Civil MC): PE0002216  
Registered Engineer - (Civil TAS): CC3648M



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

REFER TO SEPARATE SPECIFICATION

Scale 'A' 1:200 @ A1  
0 2 4 6 8m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

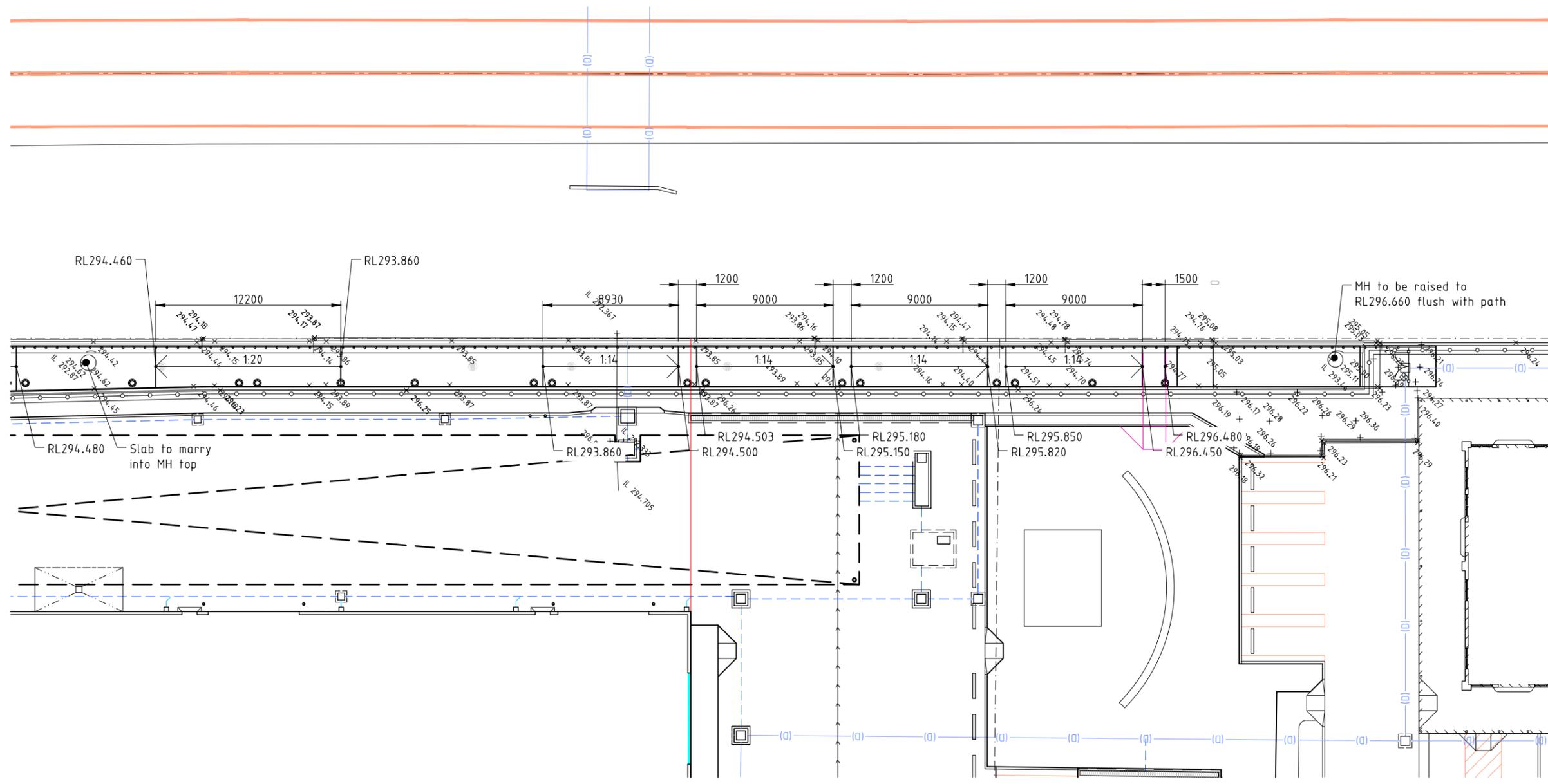


Civil | Structural | Forensic  
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND  
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

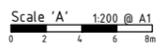
P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	
CH	<b>GOLDTOWER</b>	
Date		
Checked	WALK OF HONOUR SHADE STRUCTURE	
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		
Drawing Number		Issue
<b>GDT0100-ST03</b>		<b>P1</b>

Date.....  
Signature.....  
Mr Timothy Roy Messier - BE MIEAust, RPEQ 9985.  
Registered on the NPER in the areas of practice of Civil & Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 255980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural, NT): 1163736S  
Registered Engineer - (Civil, VIC): PE0002216  
Registered Engineer - (Civil, TAS): CC3648M



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
 Signature.....  
 Mr Timothy Roy Messier - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 2558980  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural, NT): 116373ES  
 Registered Engineer - (Civil, VIC): PE0002216  
 Registered Engineer - (Civil, TAS): CC3648M



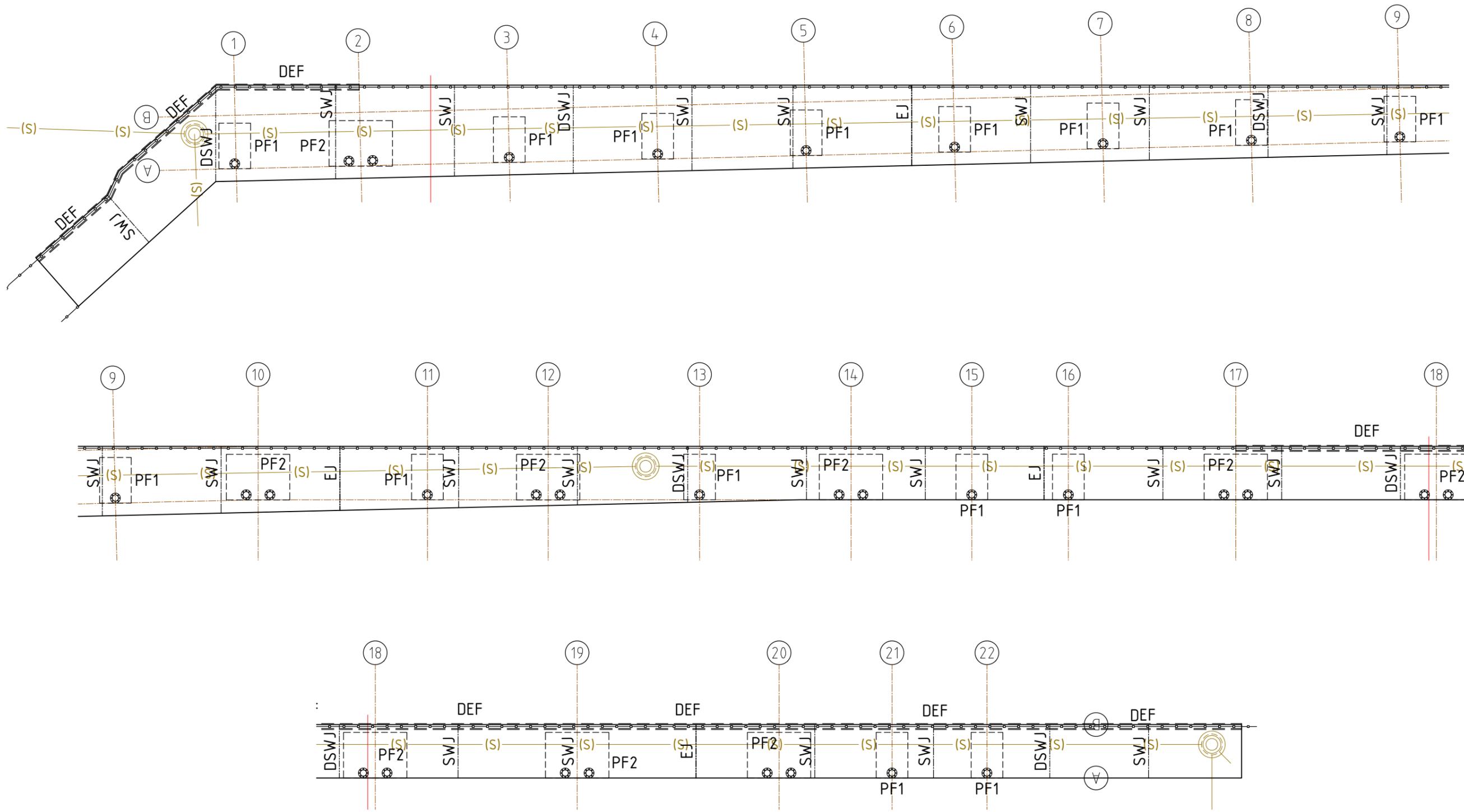
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
 AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
 PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
 DIMENSIONS ON SITE BEFORE CONSTRUCTION.

REFER TO SEPARATE SPECIFICATION



Civil | Structural | Forensic  
 Traffic | Flood Modelling  
 TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND  
 T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	LAYOUT PLAN GRADES AND LEVELS
CH	GOLDTOWER	
Date	WALK OF HONOUR SHADE STRUCTURE 1 GOLDTOWER STREET QUEENTON, QLD 4820	Drawing Number
Checked		GDT0100-ST04
Approved		Issue
COPYRIGHT ©		P1



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

REFER TO SEPARATE SPECIFICATION

Date.....  
 Signature.....  
 Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 255990  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural, NT): 11637385  
 Registered Engineer - (Civil, VIC): PE0002216  
 Registered Engineer - (Civil, TAS): CC3648M



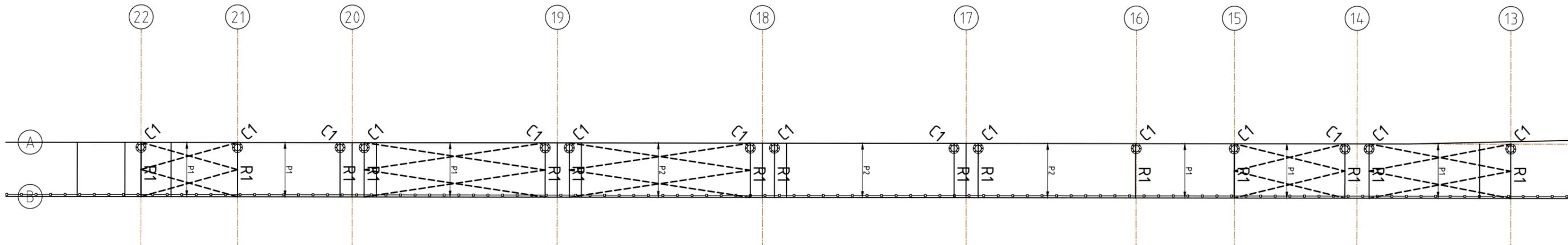
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
 AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
 PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
 DIMENSIONS ON SITE BEFORE CONSTRUCTION.

**NORTHERN CONSULTING**  
 engineers

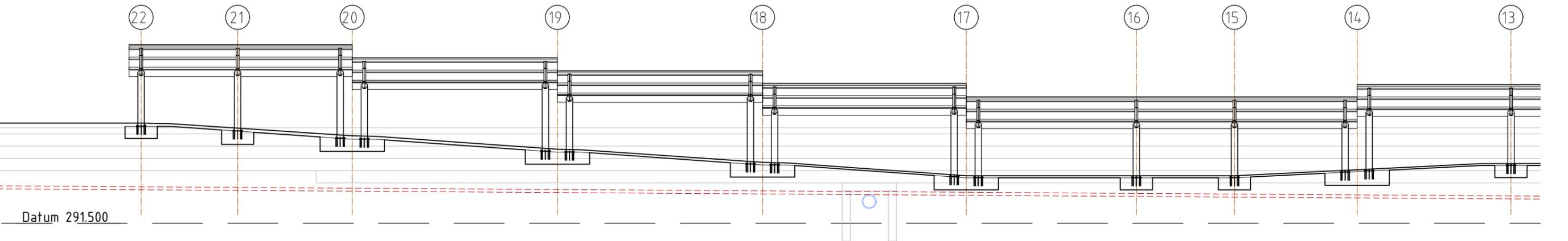
Civil | Structural | Forensic  
 Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND  
 T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

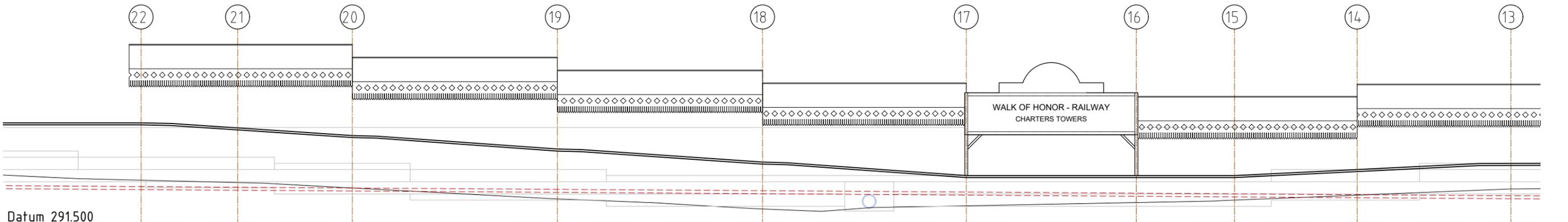
P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	
Date	<b>GOLDTOWER</b>	
Checked	WALK OF HONOUR SHADE STRUCTURE	
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		
Drawing Number		Issue
<b>GDT0100-ST05</b>		P1



PLAN ON WALKWAY



ELEVATION A  
UPPER RETAINING WALL



ELEVATION B  
LOWER RETAINING WALL

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

REFER TO SEPARATE SPECIFICATION

Issue	P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue		Description	Date
Drawn	CH	In Association With	
Date		<b>GOLDTOWER</b>	
Checked		WALK OF HONOUR SHADE STRUCTURE	
Approved		1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©			
Drawing Number	GDT0100-ST06		Issue
			P1

Date.....  
Signature.....  
Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985.  
Registered on the NPER in the areas of practice of Civil & Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 259980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural, NT): 11637385  
Registered Engineer - (Civil, VIC): PE0002216  
Registered Engineer - (Civil, TAS): CC3648M



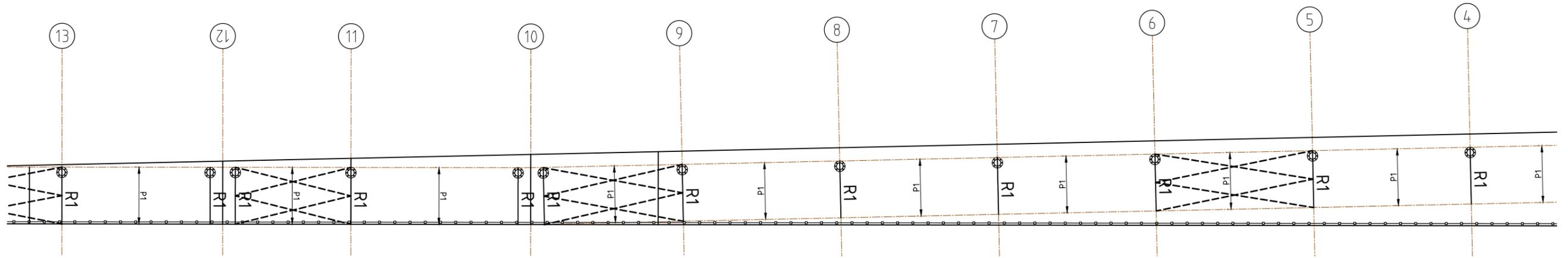
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

**NORTHERN CONSULTING**  
engineers

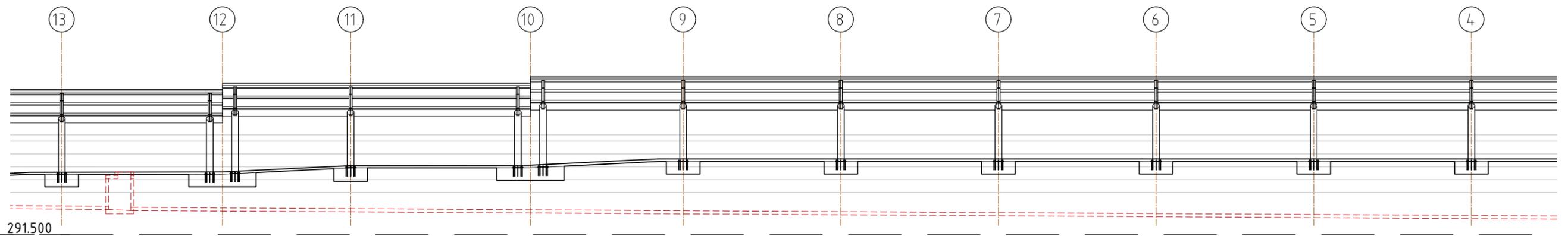
Civil | Structural | Forensic  
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND

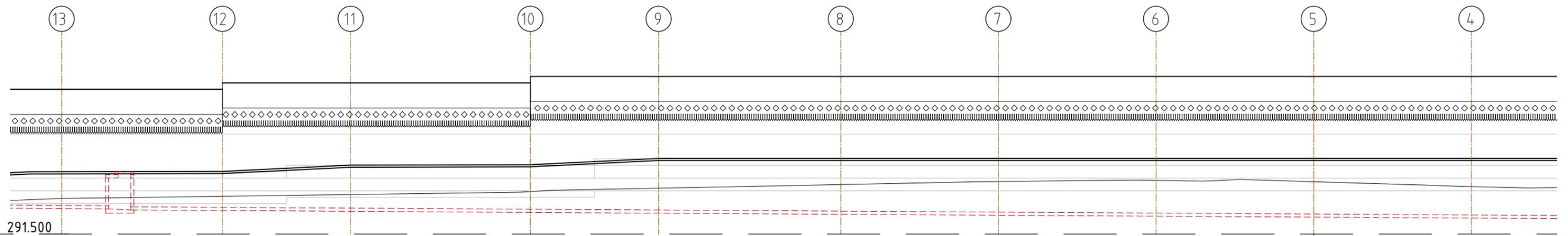
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au



PLAN ON WALKWAY



ELEVATION A  
UPPER RETAINING WALL



ELEVATION B  
LOWER RETAINING WALL

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

REFER TO SEPARATE SPECIFICATION

Issue	P1 PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	Date	04/02/2025
Drawn	CH	In Association With	GOLDTOWER
Date		Checked	WALK OF HONOUR SHADE STRUCTURE
Approved		Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820
COPYRIGHT ©		Drawing Number	GDT0100-ST07
			Issue
			P1

Date.....  
Signature.....  
Mr Timothy Roy Messer - BE MBEAust, RPEQ 9985.  
Registered on the NPER in the areas of practice of Civil & Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 2558980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural NT): 116373ES  
Registered Engineer - (Civil MC): PE0002216  
Registered Engineer - (Civil TAS): CC3648M

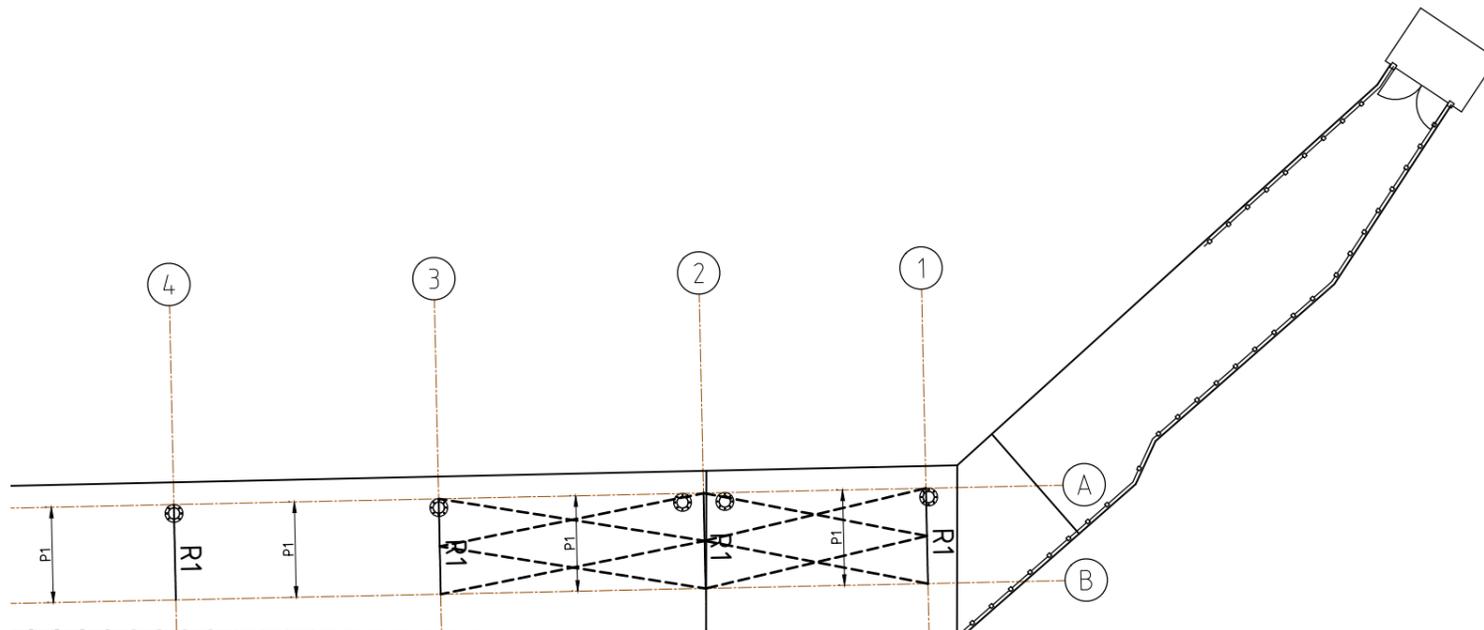
Scale 'A' 1:100 @ A1  
0 1 2 3 4m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

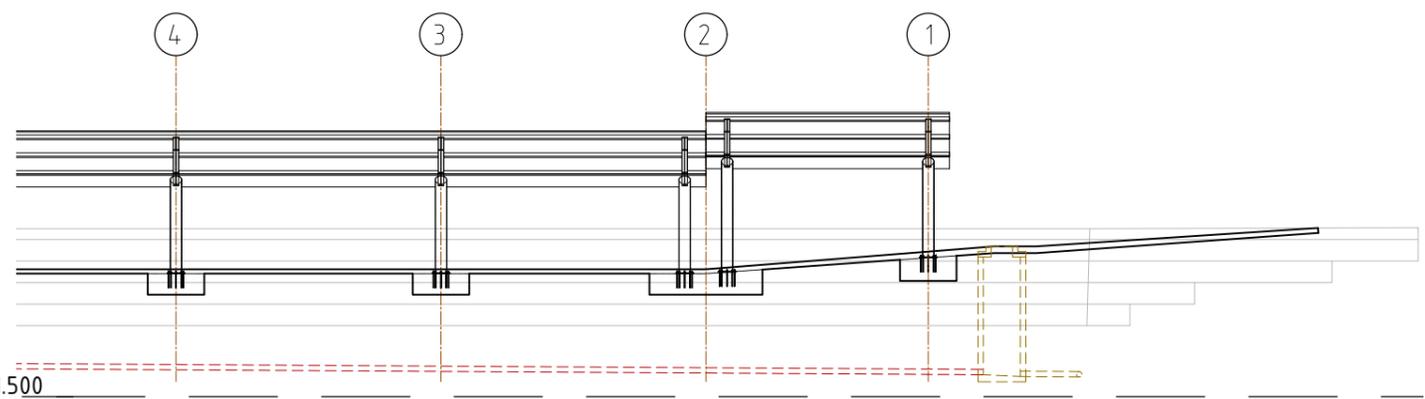


Civil | Structural | Forensic  
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND  
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

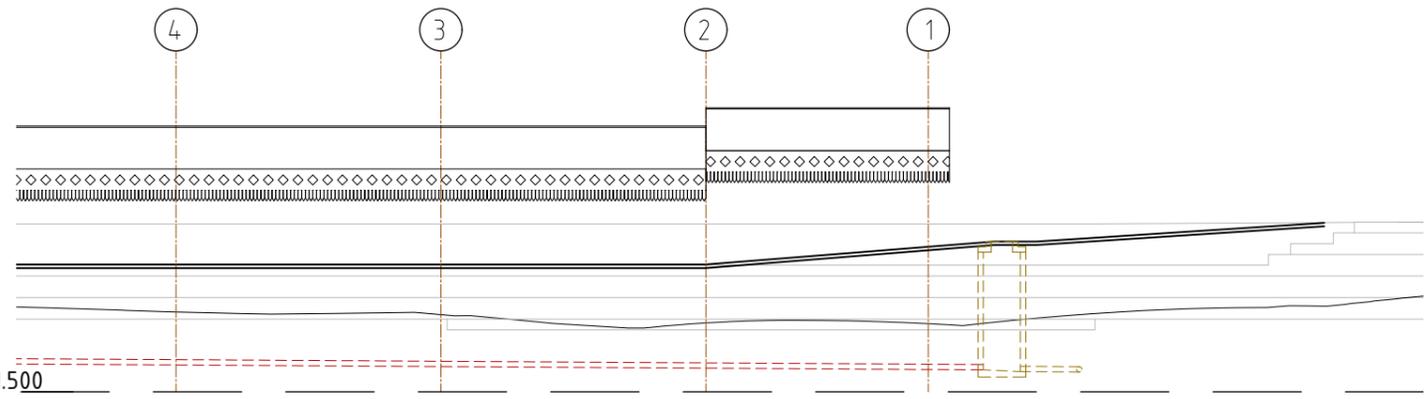


PLAN ON WALKWAY



ELEVATION A  
UPPER RETAINING WALL

Datum 291.500



ELEVATION B  
LOWER RETAINING WALL

Datum 291.500

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
Signature.....  
Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
Registered on the NPER in the areas of practice of Civil &  
Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 255980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural, NT): 119373ES  
Registered Engineer - (Civil, VIC): PE0002216  
Registered Engineer - (Civil, TAS): CC3648M



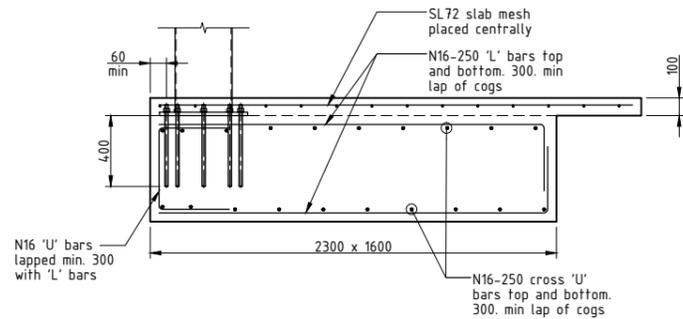
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
DIMENSIONS ON SITE BEFORE CONSTRUCTION.

REFER TO SEPARATE SPECIFICATION

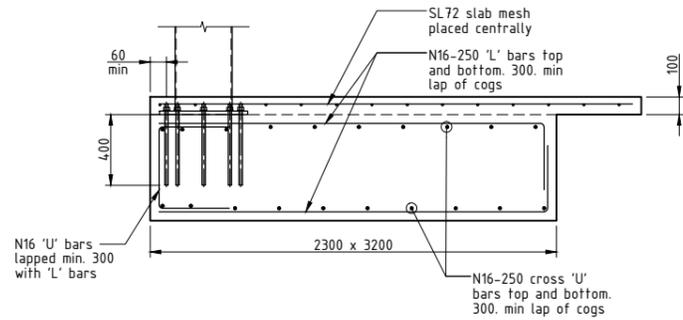


Civil | Structural | Forensic  
Traffic | Flood Modelling  
TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND  
T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

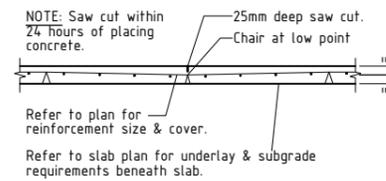
Issue	P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	Date	04/02/2025
Drawn	CH	In Association With	GOLDTOWER	
Date		Checked	WALK OF HONOUR SHADE STRUCTURE	
Approved		Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		Drawing Number	GDT0100-ST08	
				Issue
				P1



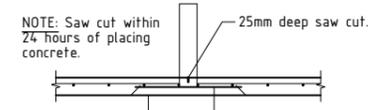
**PAD FOOTING DETAILS (PF1)**



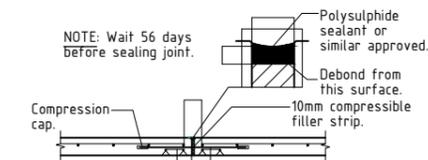
**PAD FOOTING DETAILS (PF2)**



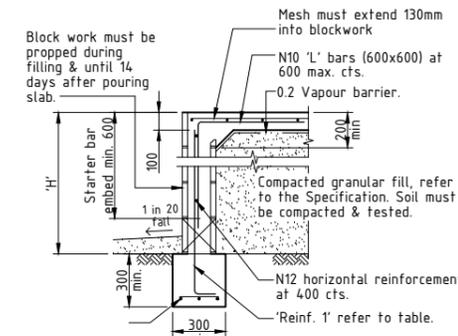
**SAWN JOINT (SWJ) - 100 SLAB**  
Not to scale



**DOWELLED SAWN JOINT (DSWJ) - 100 SLAB**  
Not to scale



**EXPANSION JOINT (EJ) - 100 SLAB**  
Not to scale



**EDGE FOOTING (DEF) WITH DEEP FILL**  
Scale 'A'

'H'	'Reinf. 1'
700-1100	N12 at 600 cts.
1150-1400	N12 at 400 cts.
> 1450	Refer to engineer

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
Signature.....  
Mr Timothy Roy Messier - BE MIEAust, RPEQ 9985,  
Registered on the NPER in the areas of practice of Civil &  
Structural Engineering Professional Engineers Register  
Registered Chartered Professional Engineer: 2559980  
RPEQ (Civil & Structural): 9985  
Registered Certifying Engineer (Structural, NT): 116373ES  
Registered Engineer - (Civil, VIC): PE0002216  
Registered Engineer - (Civil, TAS): CC3648M



THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

REFER TO SEPARATE SPECIFICATION

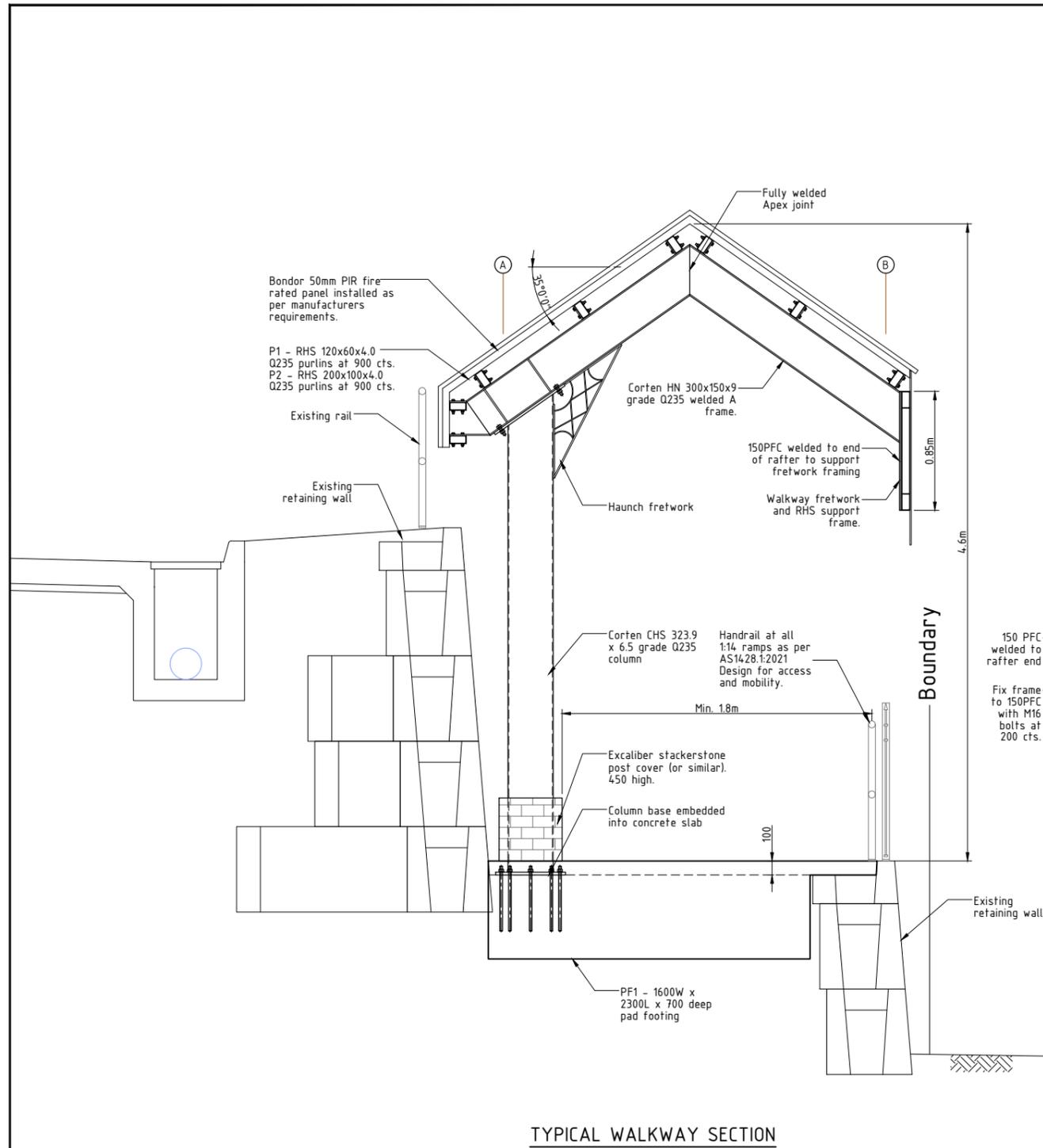
**NORTHERN CONSULTING** engineers

Civil | Structural | Forensic  
Traffic | Flood Modelling

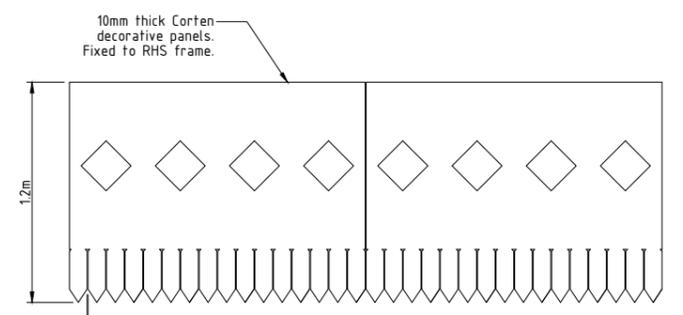
TOWNSVILLE | SUNSHINE COAST  
BRISBANE | NEW ZEALAND

T: +617 4725 5550 E: mail@nceng.com.au  
W: www.nceng.com.au

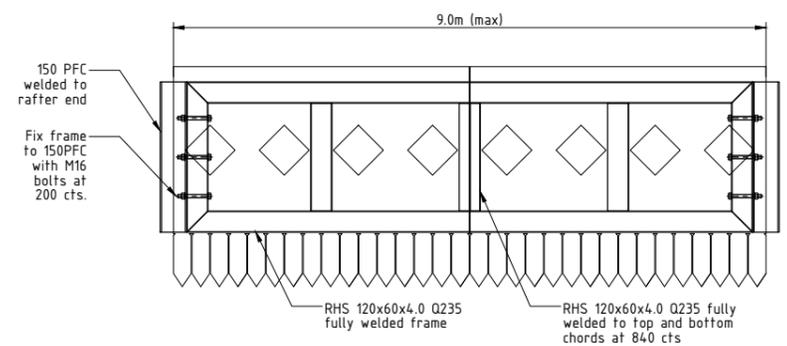
P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	<b>SLAB &amp; FOOTING DETAILS</b>  Drawing Number <b>GDTC0100-ST09</b>  Issue <b>P1</b>
Date	<b>GOLDTOWER</b>	
Checked	<b>WALK OF HONOUR</b>	
Approved	<b>SHADE STRUCTURE</b>	
COPYRIGHT ©	<b>1 GOLDTOWER STREET QUEENTON, QLD 4820</b>	



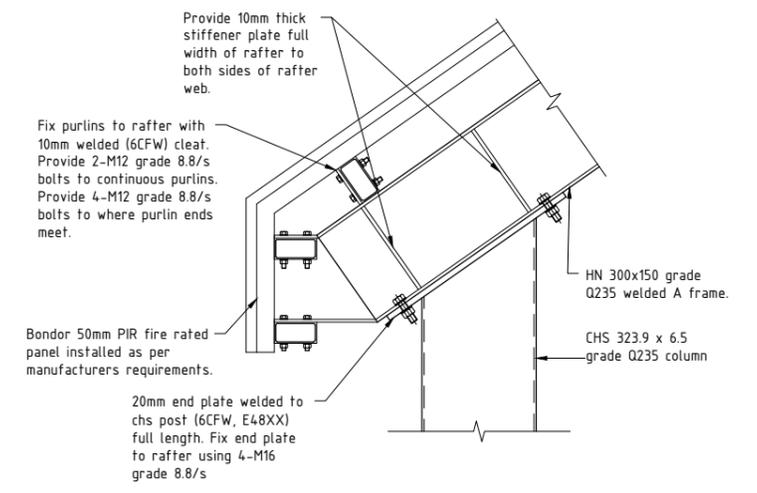
TYPICAL WALKWAY SECTION



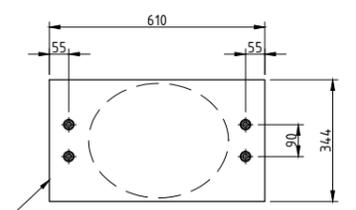
TYPICAL WALKWAY FRETWORK



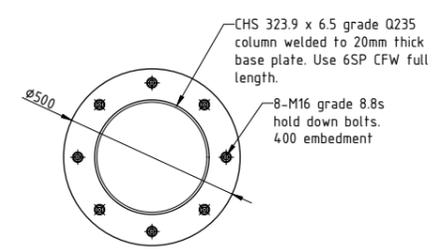
TYPICAL WALKWAY FRETWORK FRAMING



COLUMN TO RAFTER CONNECTION



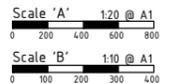
COLUMN END PLATE



COLUMN BASE PLATE

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
 Signature.....  
 Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 2559980  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural, NT): 11637365  
 Registered Engineer - (Civil & VC): PE0002216  
 Registered Engineer - (Civil & TAS): CC3648M



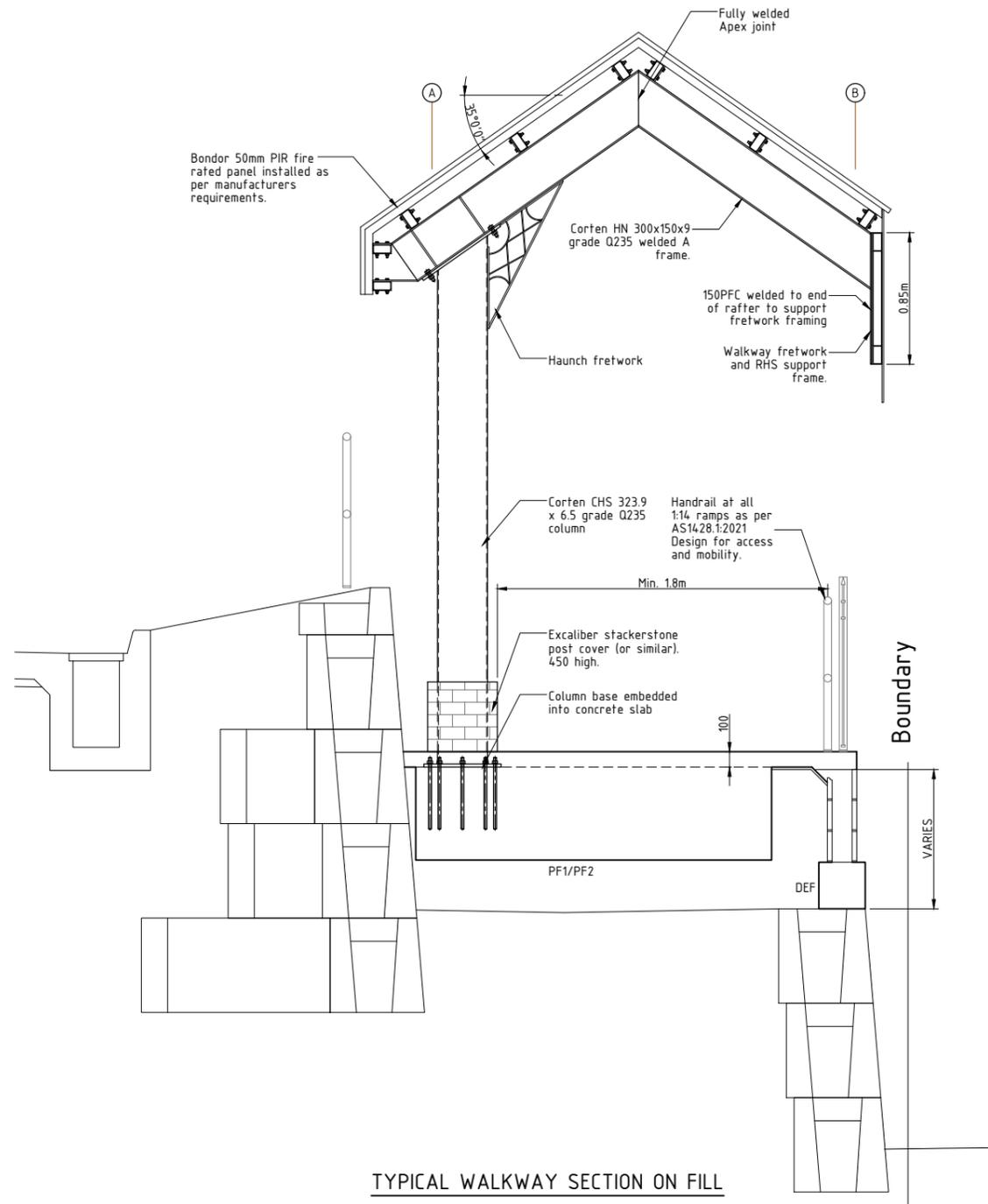
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
 AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
 PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
 DIMENSIONS ON SITE BEFORE CONSTRUCTION.

REFER TO SEPARATE SPECIFICATION

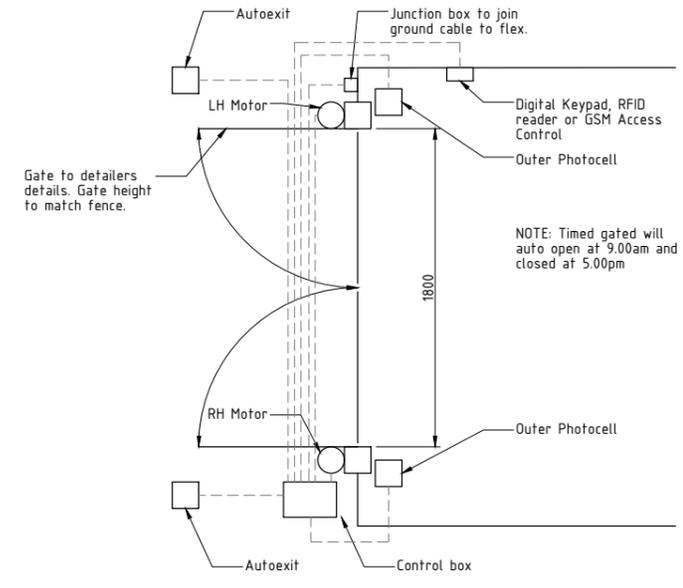


Civil | Structural | Forensic  
 Traffic | Flood Modelling  
 TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND  
 T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	TYPICAL SECTION AND DETAILS
Date	GOLDTOWER	
Checked	WALK OF HONOUR SHADE STRUCTURE	Drawing Number
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		Issue
		GDTC0100-ST10
		P1



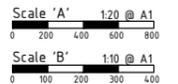
TYPICAL WALKWAY SECTION ON FILL



TYPICAL GATE ARRANGEMENT

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
 Signature.....  
 Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 2559980  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural): NT: 116373ES  
 Registered Engineer - (Civil): VIC: PE0002216  
 Registered Engineer - (Civil): TAS: CC3648M



THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

REFER TO SEPARATE SPECIFICATION

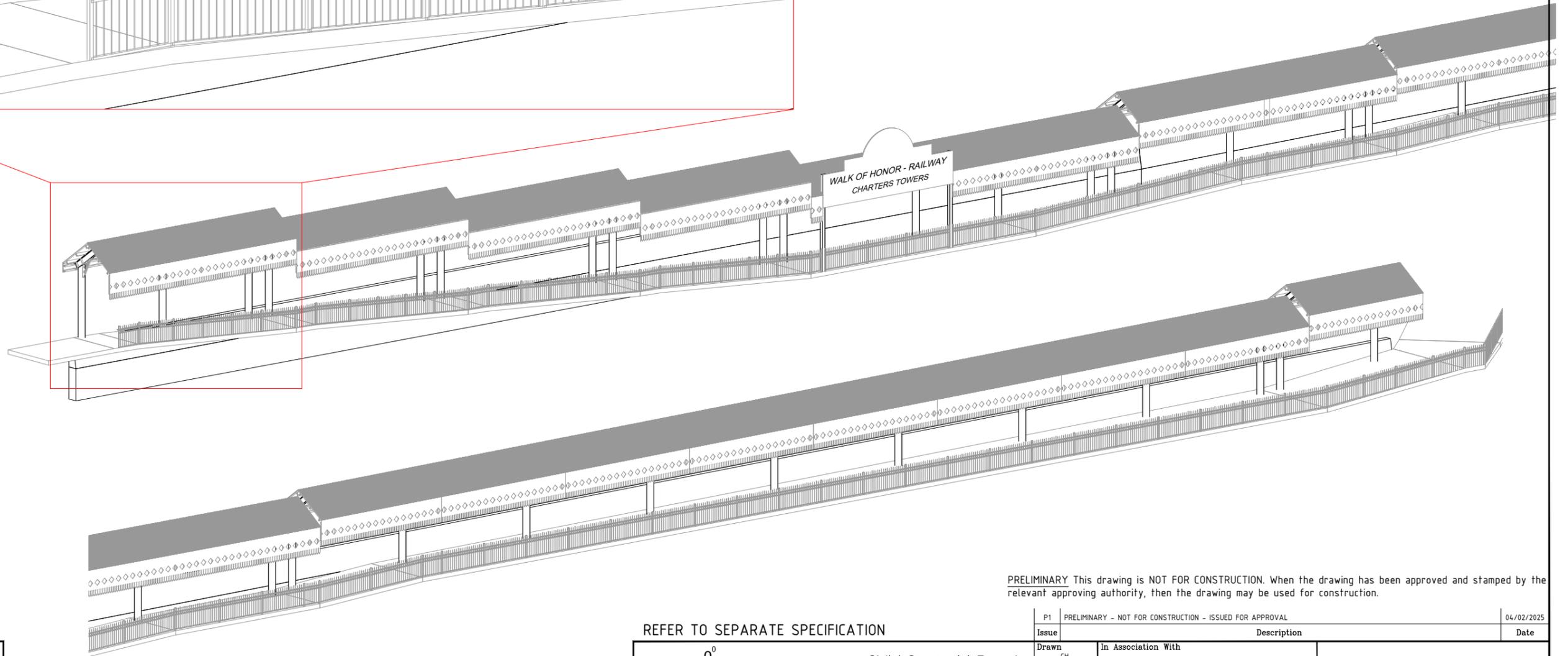
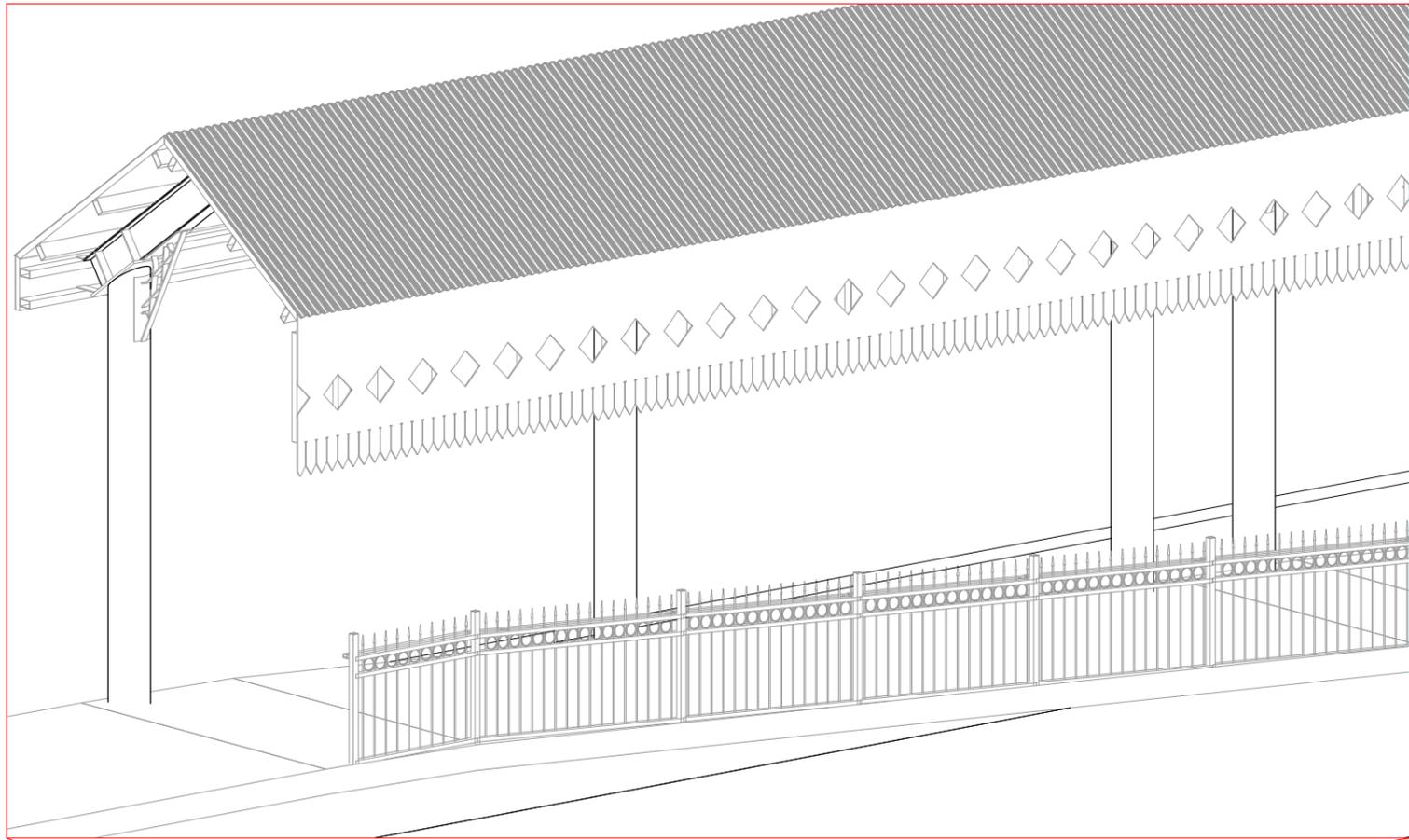
**NORTHERN CONSULTING** engineers

Civil | Structural | Forensic  
 Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND

T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn	In Association With	TYPICAL SECTION AND DETAILS
Date	<b>GOLDTOWER</b>	
Checked	WALK OF HONOUR SHADE STRUCTURE	Drawing Number
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		Issue
		<b>GDT0100-ST11</b>
		<b>P1</b>



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

Date.....  
 Signature.....  
 Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 2586980  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural NT): 11637369  
 Registered Engineer - (Civil VIC): PE0002216  
 Registered Engineer - (Civil TAS): CC2648M

Scale 'A' 1:100 @ A1  
 0 1 2 3 4m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
 AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
 PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
 DIMENSIONS ON SITE BEFORE CONSTRUCTION.

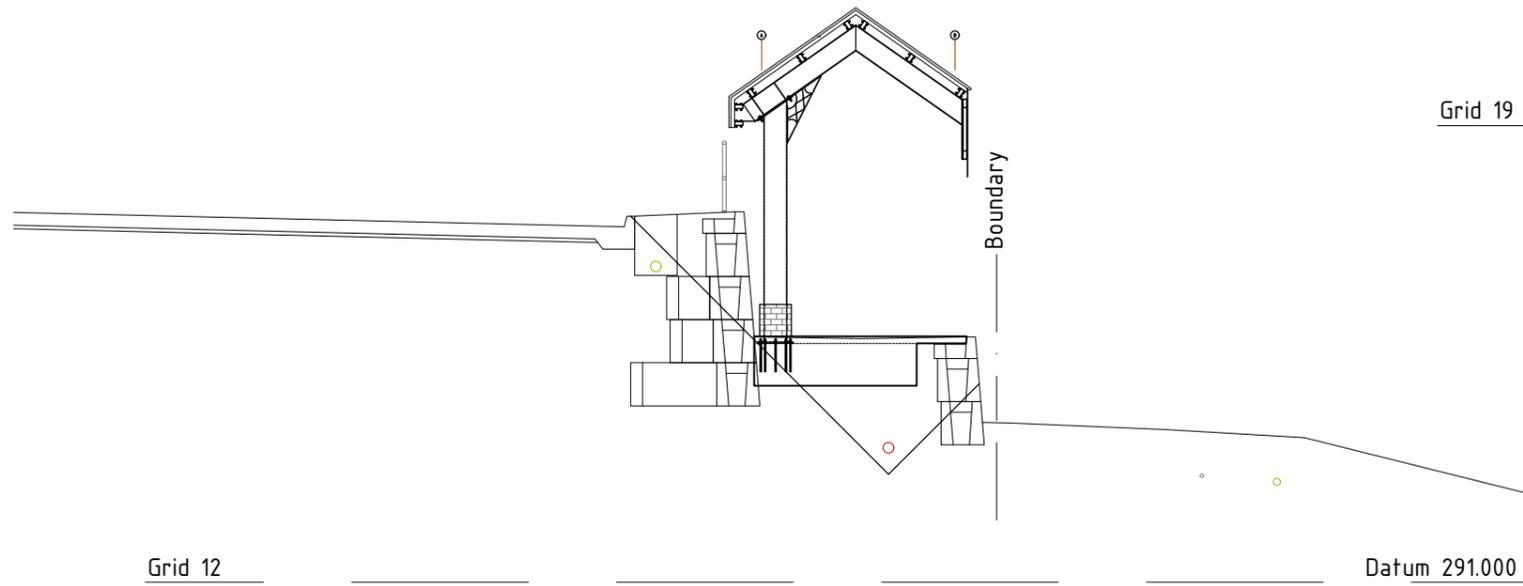
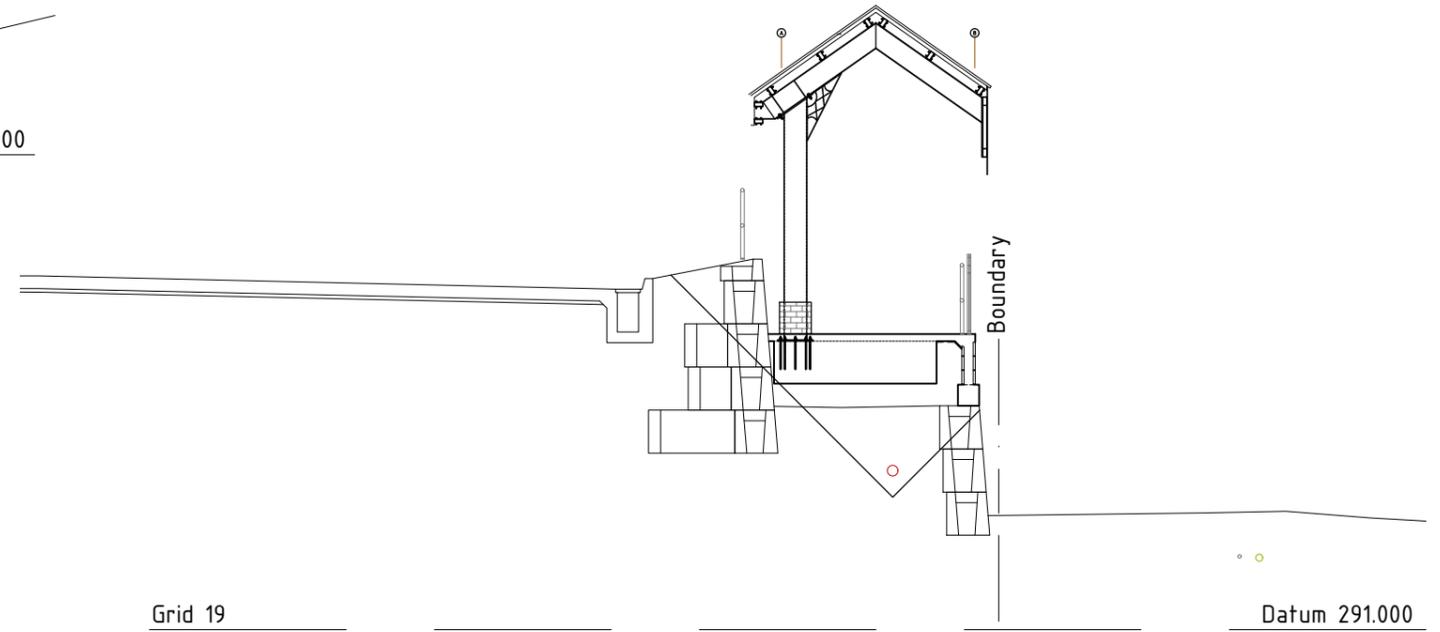
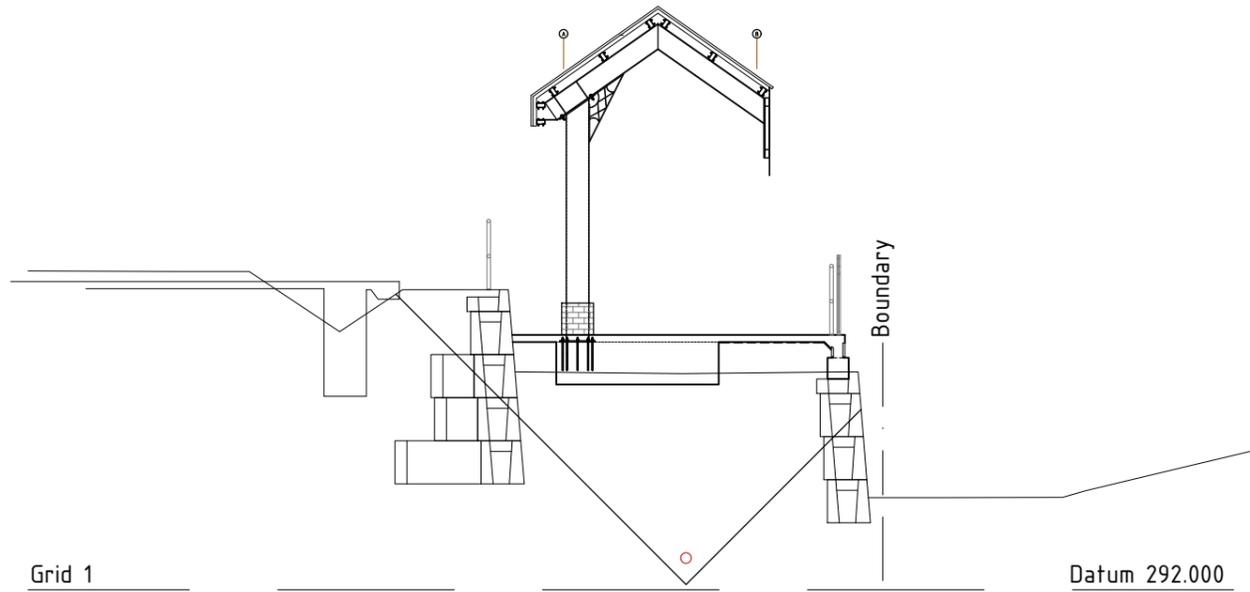
REFER TO SEPARATE SPECIFICATION



Civil | Structural | Forensic  
 Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND  
 T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date
Drawn CH	In Association With <b>GOLDTOWER</b>	3D ISOMETRIC
Date		
Checked	WALK OF HONOUR SHADE STRUCTURE	Drawing Number
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	GDTTC0100-ST12
COPYRIGHT ©		Issue P1



PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	04/02/2025
Issue	Description	Date

REFER TO SEPARATE SPECIFICATION

Date.....  
 Signature.....  
 Mr Timothy Roy Messer - BE MIEAust, RPEQ 9985,  
 Registered on the NPER in the areas of practice of Civil &  
 Structural Engineering Professional Engineers Register  
 Registered Chartered Professional Engineer: 2559980  
 RPEQ (Civil & Structural): 9985  
 Registered Certifying Engineer (Structural, NT): 11637365  
 Registered Engineer - (Civil, VIC): PE0002216  
 Registered Engineer - (Civil, TAS): CC3648M

Scale 'A' 1:100 @ A1  
 0 1 2 3 4m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
 AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS  
 PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY  
 DIMENSIONS ON SITE BEFORE CONSTRUCTION.



Civil | Structural | Forensic  
 Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST  
 BRISBANE | NEW ZEALAND  
 T: +617 4725 5550 E: mail@nceng.com.au  
 W: www.nceng.com.au

Drawn CH	In Association With <b>GOLDTOWER</b>	SEWER ZONE OF INFLUENCE DETAILS
Date		
Checked	WALK OF HONOUR SHADE STRUCTURE	Drawing Number <b>GDTC0100-ST13</b>
Approved	1 GOLDTOWER STREET QUEENTON, QLD 4820	
COPYRIGHT ©		Issue <b>P1</b>



# Appendix 5

