

23 August 2025

Development Assessment Team
Charters Towers Regional Council
PO Box 189
CHARTERS TOWERS QLD 4820
development@charters Towers.qld.gov.au



Dear Sir/Madam

**DEVELOPMENT APPLICATION FOR A DEVELOPMENT PERMIT FOR MATERIAL
CHANGE OF USE FOR MULTIPLE DWELLING (10 UNITS)
1A-3 CHURCH STREET, CHARTERS TOWERS (LOT 1 ON MPH1467 AND LOT 1
ON MPH1186)**

On behalf of RJG Builders, please accept this development application for a Development Permit for Material Change of Use for Multiple Dwelling (10 units) at 1A-3 Church Street, Charters Towers formally known as Lot 1 on MPH1467 and Lot 1 on MPH1186.

If you have any questions regarding the application, please do not hesitate to contact the undersigned.

Yours sincerely,

A handwritten signature in black ink that reads 'William Kruze'.

Director

URBAN SPACE CONSULTING

Encl: Development Application Package



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TOWN PLANNING REPORT

**1A-3 CHURCH STREET
CHARTERS TOWERS**

**LOT 1 ON PH1186MPH1467 &
LOT 1 ON MPH1186**

AUGUST 2025

PREPARED FOR RJG BUILDERS

US
URBAN SPACE
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CONSULTING

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Executive Summary

Proposed Development

Type of Approval	Category of Assessment	Planning Scheme Use
Development Permit	Code Assessment	Multiple Dwelling (10 units)

Subject Site Details

Subject Site Address	1A-3 Church Street, Charters Towers
Property Description	Lot 1 on MPH1467 and Lot 1 on MPH1186
Site Area	2,669m ²
Landowner	CT Desarrollos Pty Ltd A.C.N 679 040 110
Local Government	Charters Towers Regional Council
Planning Scheme	Charters Towers Town Plan
Zoning	General Residential
Relevant Overlays	Flood Hazard Overlay Building Character Overlay Natural Environment Overlay Heritage Overlay
State Referrals	N/A (Refer to Appendix H which includes an Exemption Certificate)
SPP Mapping	Biodiversity Cultural Heritage Natural Hazards Risk and Resilience

Applicant Details

Applicant	Contact Details	Reference
RJG Builders C/- Urban Space Consulting	urbanspaceconsulting@outlook.com 0404 539 291 PO Box 5161 West End QLD 4101	USC126

1.0 Introduction

Urban Space Consulting has prepared this development application for a proposed development at 1A-3 Church Street, Charters Towers formally known as Lot 1 on MPH1467 and Lot 1 on MPH1186 (subject site). This development application seeks approval for a:

- Development Permit for a Material Change of Use for a Multiple Dwelling (10 units)
-



Figure 1: Proposed Development (source: Troy Martin Architect)

This report addresses the merits of the proposed development with regard to the assessment benchmarks under the Charters Towers Regional Town Plan and the relevant sections of the *Planning Act 2016* (*Planning Act*).

This development application should be read in conjunction with the following supporting materials:

- Appendix A – DA Form
- Appendix B – Title Searches and Smartmap
- Appendix C – Land Owner Consent
- Appendix D – Architectural Design and Plans, prepared by Troy Martin Architect
- Appendix E – Landscape Concept Plans, prepared by K+Co Landscape Design
- Appendix F – SPP Mapping Report
- Appendix G – SARA Mapping
- Appendix H – Exemption Certificate
- Appendix I – Planning Scheme Assessment Benchmarks, prepared by Urban Space Consulting

2.0 Subject Site and Surrounds

2.1 Subject Site

The proposed development is located at 1A-3 Church Street, Charters Towers shown in **Figure 2**. The subject site is located within the Charters Towers township and is surrounded by low density residential zoning to the north and south, the Charters Towers swimming pool to the west and Bill Lewis Oval and Defiance Mill Park to the east. The subject site is between Church Street and the unformed road reserve of Sancho Lane, as shown in **Figure 3**.



Figure 2: Subject Site and Surrounding locality (source: Nearmap)

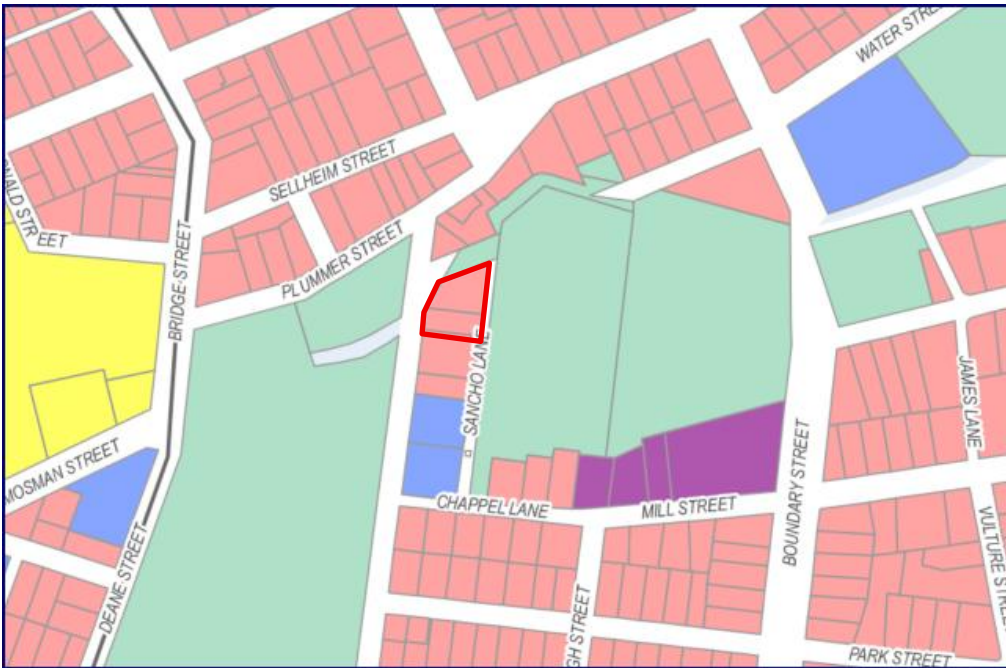


Figure 3: Planning Scheme Land Use Zoning (source: Charters Towers Regional Town Plan)

2.2 Surrounding Context

The subject site is situated in a predominantly residential area that combines suburban charm. Charters Towers is known for its family-friendly atmosphere and accessibility to local amenities. The surrounding context features a mix of established homes, community uses and open spaces. The location benefits from its proximity to key roads, offering a balance between suburban living and convenient access to the broader city infrastructure, as shown in **Figure 4**.

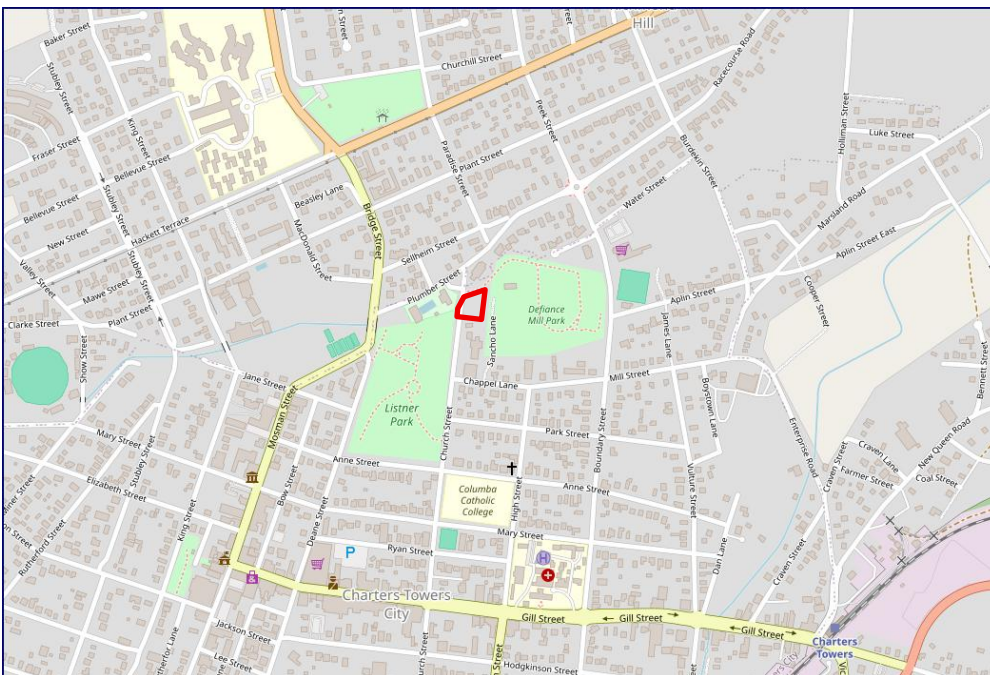


Figure 4: Subject Site and Surrounding locality (source: Open Street Map)

2.4 Easements and Encumbrances

There are currently no easements or encumbrances over the subject site, as shown in **Figure 5**.



Figure 5: Lot Boundaries and Easements (source: Queensland Globe)

3.0 Proposed Development

The proposal seeks a Development Permit for a Material Change of Use for a Multiple Dwelling (10 units).

The proposed development is for a multiple dwelling development to accommodate family dwellings, designed to blend seamlessly with the surrounding neighbourhood. This visionary project will feature state-of-the-art amenities, including elegant dwellings. Residents will enjoy a lifestyle rich in beautiful green spaces, all while having access to nearby amenities. This development promises not only a comfortable and active lifestyle but a thriving, supportive community where every need is met with excellence and warmth.

Architectural plans of the proposed development have been provided in **Appendix D**.

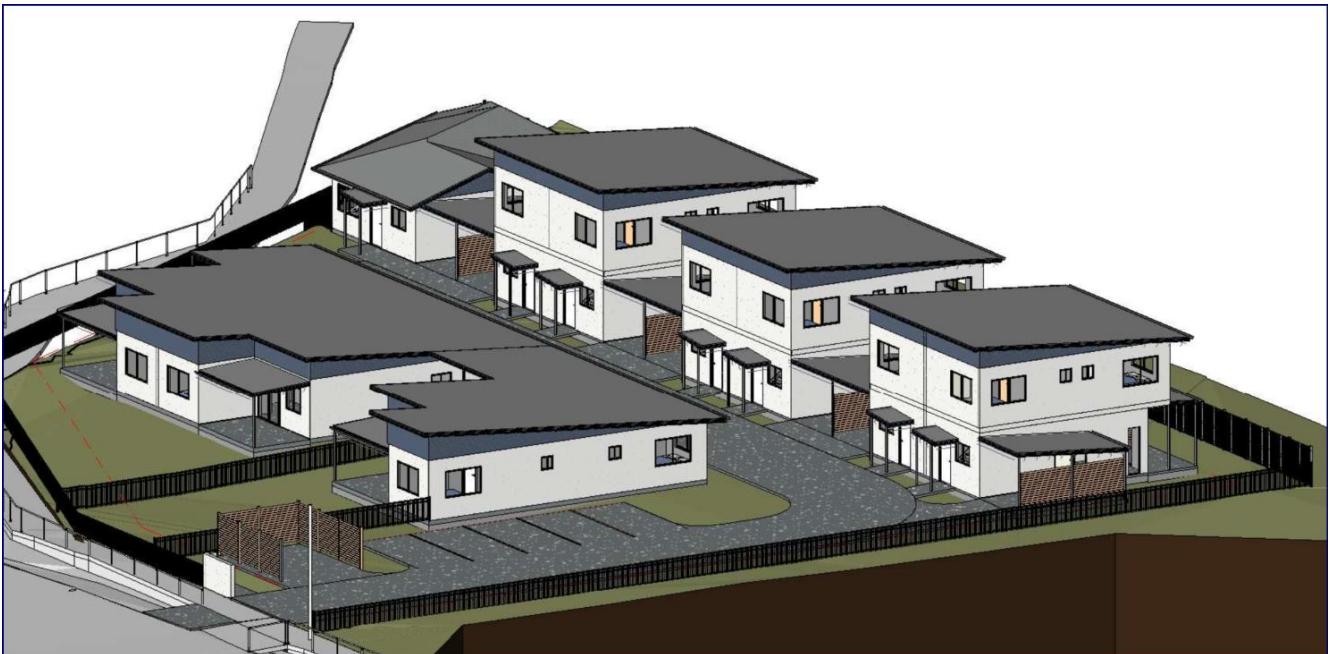


Figure 6: Proposed Development 3D Render (source: Troy Martin Architect)

3.1 Development Details

A summary of the key components of the development proposal are summarised below in Table 2.

Table 2: Summary of Development

Key Development Parameter	Proposed Development
Defined Land Uses	Multiple Dwelling
Staging	The development will be constructed as one stage
Number of dwellings	10 dwellings
Dwelling mix	Dwellings 1-6: <ul style="list-style-type: none">▪ 2 bedroom, 2 bathroom Dwelling 7: <ul style="list-style-type: none">▪ 2 bedroom, 2 bathroom Dwellings 8-10: <ul style="list-style-type: none">▪ 3 bedroom, 2 bathroom
Building Height	Dwellings 1-6: <ul style="list-style-type: none">▪ 2 storey Dwellings 7-10: <ul style="list-style-type: none">▪ 1 storey
Access	Access to all dwellings will be from Church Street
Car Parking	<ul style="list-style-type: none">▪ 10 resident carparking spaces▪ 5 visitor carparking spaces
Servicing	HRV loading onsite and access provided from Church Street

3.2 Description of Proposed Development

This development application seeks approval for a Development Permit for Material Change of Use for a Multiple Dwelling. The development provides an exciting opportunity to deliver much needed housing, with a primary focus being conveniently located with suburban amenity. The proposal provides an efficient use of residential zoned land and is consistent with the establishing pattern of development in the immediate context and the wider area or Charters Towers.

The Queensland Government's Securing our Housing Foundations plan outlines a strategic approach to addressing housing challenges across the state. With a commitment to delivering 1 million new homes by 2044, the plan aims to ensure sustainable growth and accessibility for all Queenslanders. By focusing on infrastructure, affordability, and long-term planning, the initiative seeks to create a more resilient housing market that meets the needs of both urban and regional communities. The proposed application directly contributes to these goals, offering a practical solution to Queensland's housing crisis.

4.0 State Planning

6.1 Legislative Framework

The Planning Act provides a legislative framework for planning and development matters across most areas of Queensland. It is identified that this framework established by the *Planning Act 2016* is relevant to the proposed development. To this end, the proposed development is not located within a Priority Development Area, State Development Area, Infrastructure Designation area, other or specific land use planning jurisdiction.

The Planning Act nominates several types of works within the definition of development.

Specifically, relevant to the proposed development, Schedule 2 of the Planning Act identifies the following types of works as being classified as *development* making a *material change of use of premises*. A *material change of use, of premises, means any of the following that a regulation made under section 284(2)(a) does not prescribe to be minor change of use—*

- (a) the start of a new use of the premises;*
- (b) the re-establishment on the premises of a use that has been abandoned;*
- (c) a material increase in the intensity or scale of the use of the premises.*

In view of the above definitions, the proposed development reflects a Material Change of Use.

6.2 State Planning Policy

The State Planning Policy (SPP) was introduced on 3 July 2017 as part of the new State planning system. The SPP defines the Queensland Government's policies about matters of state interest in land use planning and development and provides direction for the preparation of local planning instruments and assessment of development applications. The SPP also includes assessment benchmarks for some development applications, if a planning scheme does not appropriately integrate the relevant state interest.

The SPP provides supporting mapping to assist in spatially representing policies and requirements contained within the SPP (refer **Appendix I**).

The mapping indicates that the following SPP matters apply to the site:

- Biodiversity
 - Regulated vegetation (intersecting a watercourse and category R)
- Cultural Heritage
 - State heritage place
- Natural Hazards Risk Resilience:
 - Flood Hazard Area – Local government flood mapping area

It is noted that the Planning Scheme has not been prepared to fully reflect the latest SPP, and assessment of any proposed development against the Town Plan will therefore require assessment against SPP.

The SPP contains assessment benchmarks that are expressed as performance outcomes for the purpose of development assessment. Importantly, these assessment benchmarks apply to the extent the SPP has not been

identified in the Town Plan as appropriately integrated. The proposed development has been assessed against and demonstrated to comply with the SPP assessment benchmarks.

6.4 State Assessment Referral Agency

The State Assessment and Referral Agency (SARA) seeks to deliver a coordinated, whole-of-government approach to the state's assessment of development applications. The State Development Assessment Provisions (SDAP) is an outcome of the SARA and a statutory instrument made under the Planning Act which sets out matters of interest of the state for development assessment, where the chief executive of administering the Planning Act is the assessment manager or a referral agency.

Importantly, the SDAP provide assessment benchmarks for the assessment by the chief executive officer or a referral agency and provides applicants with the opportunity to address performance criteria to demonstrate that a development appropriately manages any impacts on a matter of state interest, and/or protects a development from impacts of matters of state interests. An extract from the SDAP Mapping is shown in **Figure 6** below.

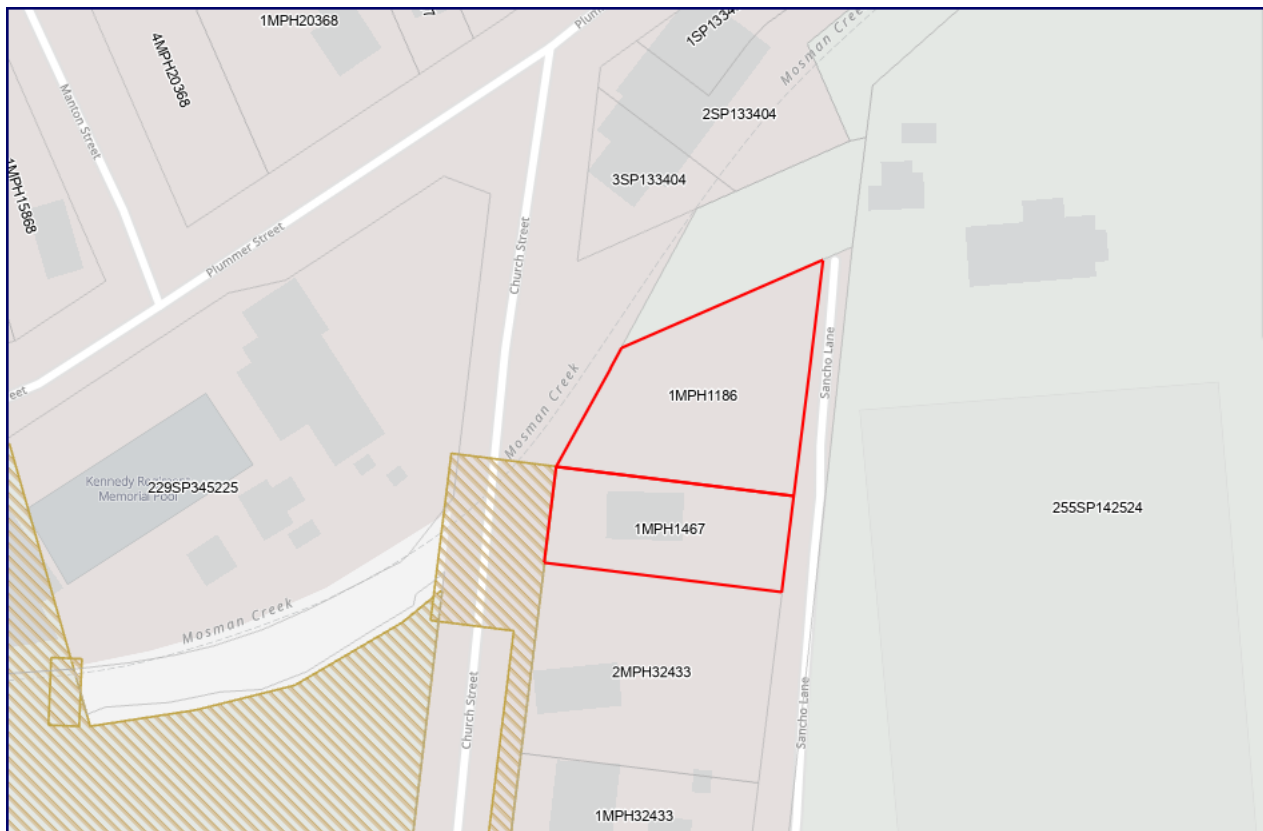


Figure 6: SARA DA Mapping (source: Development Assessment Mapping System)

The SDAP Mapping shows the extent of the Queensland Heritage Place, which includes the stone kerbing, channels and footbridges along parts of Church Street. Part 8, Division 2, Subdivision 1 of the Planning Regulation 2019, includes *Development on a Queensland heritage place is assessable development, unless- (a) an exemption*

***certificate under the Heritage Act** has been given for the development by the chief executive of the department in which that Act is administered.....*

Please refer to **Appendix H** which includes a Section 74 Queensland Heritage Act 1992, Exemption Certificate. Therefore, the proposed development is not required to be referred to SARA.

7.0 Local Government Planning

7.1 Local Planning Instrument

The Charters Towers Regional Town Plan is the local planning instrument that is used to assess the proposed development. The following sections of this report provide an assessment of the proposed development against the assessment benchmarks under the Charters Towers Regional Town Plan.

7.2 Purpose

The proposed development is identified within the Charters Towers Regional Town Plan as Multiple Dwelling. The Planning Scheme identifies:

Multiple Dwelling

A residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.

7.3 Zoning

The subject site is included in the General Residential zone of the Town Plan, as shown in **Figure 7** below.

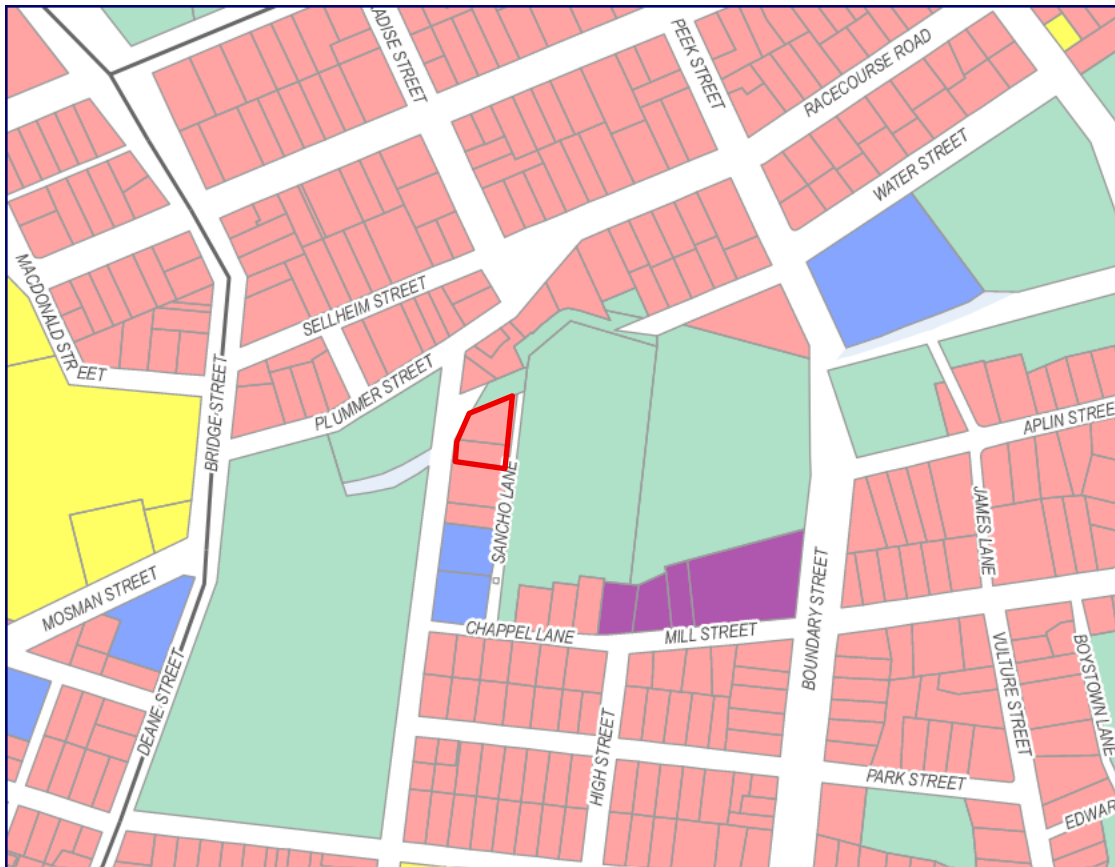


Figure 7: Subject Site Zone Mapping (source: Charters Towers Regional Town Plan)

The purpose of the Residential General Residential zone is to be achieved through the following overall outcomes:

- (a) *development is low rise and consistent with the low-density character of the existing neighbourhoods within the Charters Towers urban area;*
- (b) *development provides a range of residential dwelling choices including Dwelling houses, Dual occupancy and attached housing forms such as Multiple dwellings, retirement facilities, residential care facilities and Rooming accommodation;*
- (c) *detached housing forms such as Dwelling houses and Dual occupancy forms are located on standard residential lot sizes;*
- (d) ***attached housing forms such as Multiple dwellings, residential care facilities and retirement facilities are accommodated on larger sites to ensure:***
 - i. ***building bulk, density and the development footprint complements the surrounding area;***
 - ii. ***setbacks ensure privacy and limit overshadowing on adjoining sites; and***
 - iii. ***sufficient open space and car parking areas are provided.***
- (e) *buildings are of a scale, height and size that complement the low rise residential neighbourhood character through design elements that reduce building bulk and create an attractive streetscape;*

The proposed development is able to fulfil the intent of the General Residential zone as it is for a residential use that provides full urban services, compliments the surrounding area and is suitably located.

7.4 Category of Assessment

The development application requests a Development Permit for Material Change of Use.

Table 5.4.1.1: General Residential zone, identifies a multiple dwelling within the table, as **Assessable Development - Code Assessment** if *building height does not exceed 8.5m and 2 storeys*. The proposed development is below 8.5m and does not exceed 2 storeys.

7.5 Codes of Assessment

The following Assessment Benchmarks are considered relevant to the proposed development:

- General residential zone code
- Flood Hazard overlay code
- Natural Environment overlay code
- Development works code
- Landscaping code

Please refer to **Appendix I** for a full and detailed response to each code of assessment.

8.0 Conclusion

Urban Space Consulting, has prepared this town planning report in support of a development application on behalf of RJG Builders. This development application seeks approval for a:

- Development Permit for a Material Change of Use for a Multiple Dwelling (10 units)

The proposed development represents a strategically sound, technically supported and policy-aligned response to Charters Towers evolving housing needs. Drawing upon best-practice design principles, the application achieves strong compliance with local and state planning frameworks.

This report provides an assessment against all the relevant categorising instruments identified under section 45(3) of the Planning Act. From this assessment, it has been determined that the proposed development complies with, or can be conditioned to comply with, all relevant assessment benchmarks and should therefore be approved.

Appendix:

Appendix A – DA Form

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	RJG Builders C/- Urban Space Consulting
Contact name (only applicable for companies)	William Kruze
Postal address (P.O. Box or street address)	PO Box 5161
Suburb	West End
State	Queensland
Postcode	4101
Country	Australia
Contact number	0404 539 291
Email address (non-mandatory)	urbanspaceconsulting@outlook.com
Mobile number (non-mandatory)	-
Fax number (non-mandatory)	-
Applicant's reference number(s) (if applicable)	USC126
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		1A	Church Street	Charters Towers
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	1	MPH1467	Charters Towers
b)	Unit No.	Street No.	Street Name and Type	Suburb
		3	Church Street	Charters Towers
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	1	MPH1186	Charters Towers

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Multiple Dwelling

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Multiple Dwelling	Multiple Dwelling	10	

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Townsville City Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☒ Yes – details of the heritage place are provided in the table below

☐ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	Stone kerbing, channels and footbridges of Charters Towers	Place ID:	602512
-----------------------------	--	-----------	--------

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes



**Queensland
Government**

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) ☐ Yes ☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Appendix B – Title Searches and Smartmap

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	18815109	Search Date:	03/08/2025 13:58
Date Title Created:	09/12/1994	Request No:	52832900
Creating Dealing:			

ESTATE AND LAND

Estate in Fee Simple

LOT 1 CROWN PLAN MPH1467

Local Government: CHARTERS TOWERS

REGISTERED OWNER

Dealing No: 723612397 18/10/2024

CT DESARROLLOS PTY LTD A.C.N. 679 040 110

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 18815109 (Lot 1 on CP MPH1467)

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	21565060	Search Date:	03/08/2025 13:58
Date Title Created:	31/01/1994	Request No:	52832900
Creating Dealing:			

ESTATE AND LAND

Estate in Fee Simple

LOT 1 CROWN PLAN MPH1186

Local Government: CHARTERS TOWERS

REGISTERED OWNER

Dealing No: 723612397 18/10/2024

CT DESARROLLOS PTY LTD A.C.N. 679 040 110

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 21565060 (Lot 1 on CP MPH1186)

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

** End of Current Title Search **

Appendix C – Land Owner’s Consent

Company owner's consent to the making of a development application
under the *Planning Act 2016*

CT DESARROLLOS PTY LTD A.C.N 679 040 110

being the owner/s of the premises identified as follows:

1A AND 3 CHURCH STREET, CHARTERS TOWERS (LOT 1 ON MPH1467 AND LOT 1 ON
MPH1186)

consent to the making of a development application under the *Planning Act 2016* by:


URBAN SPACE CONSULTING

on the premises described above for:

DEVELOPMENT APPLICATIONS AND DEALING WITH ANY ASSOCIATED MATTERS THAT MAY ARISE

Company Name and ACN:

CT DESARROLLOS PTY LTD A.C.N 679 040 110


Signature

Matt Bennett
Name of signatory

SOLE DIRECTOR / DIRECTOR / SECRETARY
Position of signatory (please circle)

19-8-25
Date

.....
Signature

.....
Name of signatory

SOLE DIRECTOR* / DIRECTOR / SECRETARY
Position of signatory (please circle)

.....
Date

*Where a Sole Director, only one signature is required

The *Planning Act 2016* is administered by the Department of Local Government, Infrastructure and Planning, Queensland

Document Set ID: 5104034

Version: 1, Version Date: 27/08/2025

Appendix D – Architectural Design and Plans

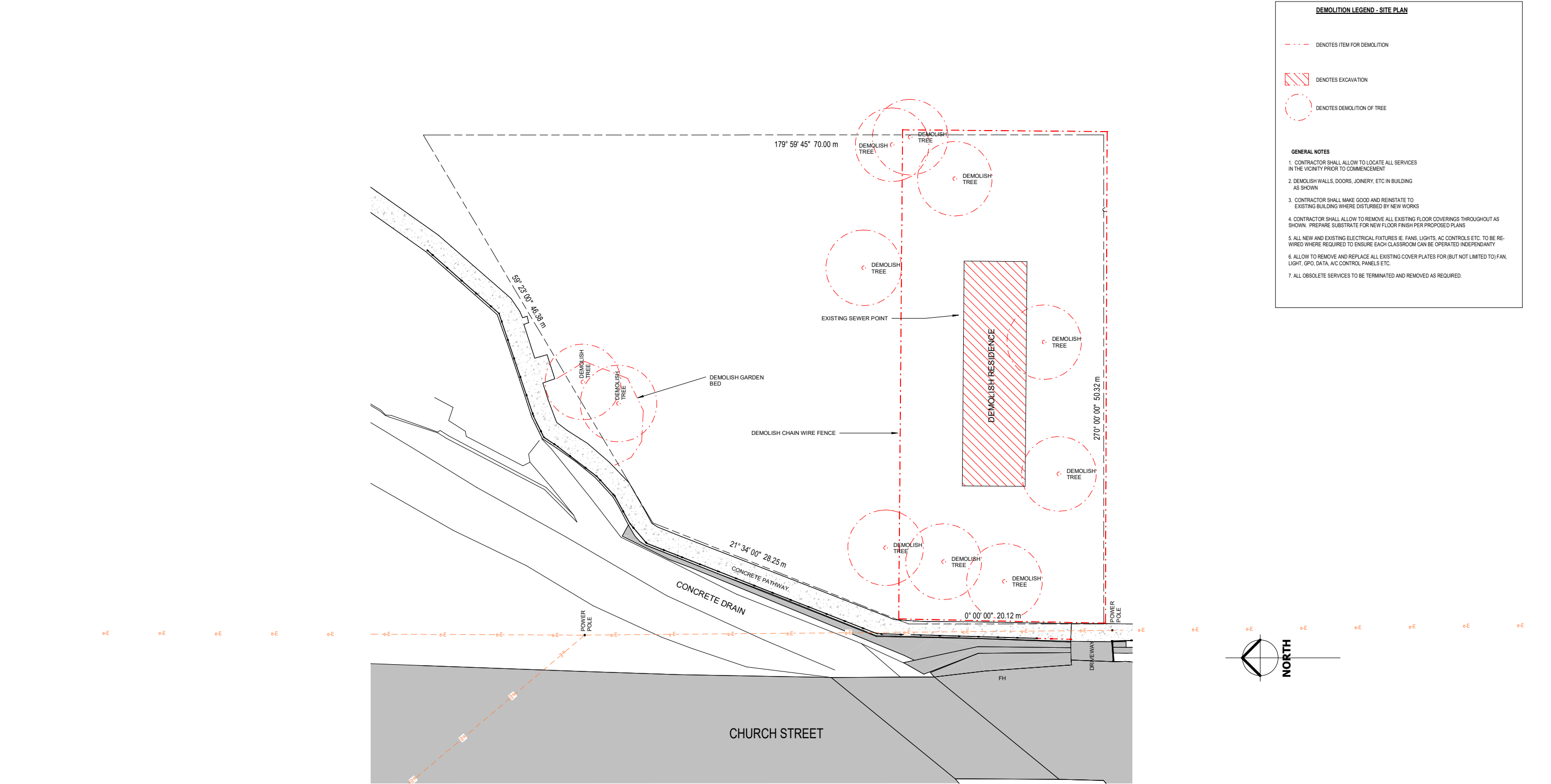
6x2 BEDROOM SILVER UNITS, 1x2 BEDROOM GOLD UNIT
& 3x3 BEDROOM GOLD UNITS
FOR
RJG BUILDERS
AT
1A AND 3 CHURCH STREET CHARTERS TOWERS
MCU ASSESSMENT



SHEETS		
No.	NAME	Current Revision
000	COVER PAGE	B
010	PROPOSED SITE PLAN	B
100	EXISTING/DEMOLITION - SITE PLAN	B
200	PROPOSED GROUND FLOOR PLAN	B
201	PROPOSED FIRST FLOOR PLAN	B
210	DETAIL FLOOR PLANS SHEET 1	B
211	DETAIL FLOOR PLANS SHEET 2	B
600	PROPOSED GROUND FLOOR ROOF PLAN	B
601	PROPOSED FIRST FLOOR ROOF PLAN	B
700	PROPOSED ELEVATIONS SHEET 1	B
701	PROPOSED ELEVATIONS SHEET 2	B
750	PROPOSED SECTIONS SHEET 1	B
751	PROPOSED SECTIONS SHEET 2	B
1000	ISOMETRIC VIEWS	B

NOT FOR CONSTRUCTION

CLIENT: RJG BUILDERS		<div>TROY MARTIN ARCHITECT</div> <div>P: 0490 707 211</div> <div>E: TROY@TFMARCHITECTURE.COM</div> <div>ABN: 721 738 734 68</div>		<div>AMENDMENT</div> <table><thead><tr><th>No.</th><th>Description</th><th>Date</th></tr></thead><tbody><tr><td>A</td><td>DEVELOPED DESIGN FOR APPROVAL</td><td>05/12/2024</td></tr><tr><td>B</td><td>ISSUE FOR MCU</td><td>20/05/2025</td></tr></tbody></table>		No.	Description	Date	A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024	B	ISSUE FOR MCU	20/05/2025	COVER PAGE	
No.	Description			Date												
A	DEVELOPED DESIGN FOR APPROVAL			05/12/2024												
B	ISSUE FOR MCU			20/05/2025												
PROJECT: PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS		SCALE: 1 : 1		DRAWING No.		REVISION										
ADDRESS: 1A AND 3 CHURCH STREET CARTERS TOWERS		<div>GENERAL NOTES</div> <div>1. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS</div> <div>2. VERIFY ALL DIMENSIONS BEFORE COMMENCING ANY WORK</div>		<div>COPYRIGHT</div> <div>THIS DRAWING REMAINS THE PROPERTY OF TROY MARTIN ARCHITECT AND MUST NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT PRIOR APPROVAL</div>		<div>01020304050mm</div> <div>PRINT REDUCTION BAR A1 SHEET</div>		24011 DD 000		B						
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CLIENT:
RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS
Document Set ID: 5104034
Version: 1, Version Date: 27/08/2025

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E: TROY@TFMARCHITECTURE.COM
ABN: 721 738 734 68

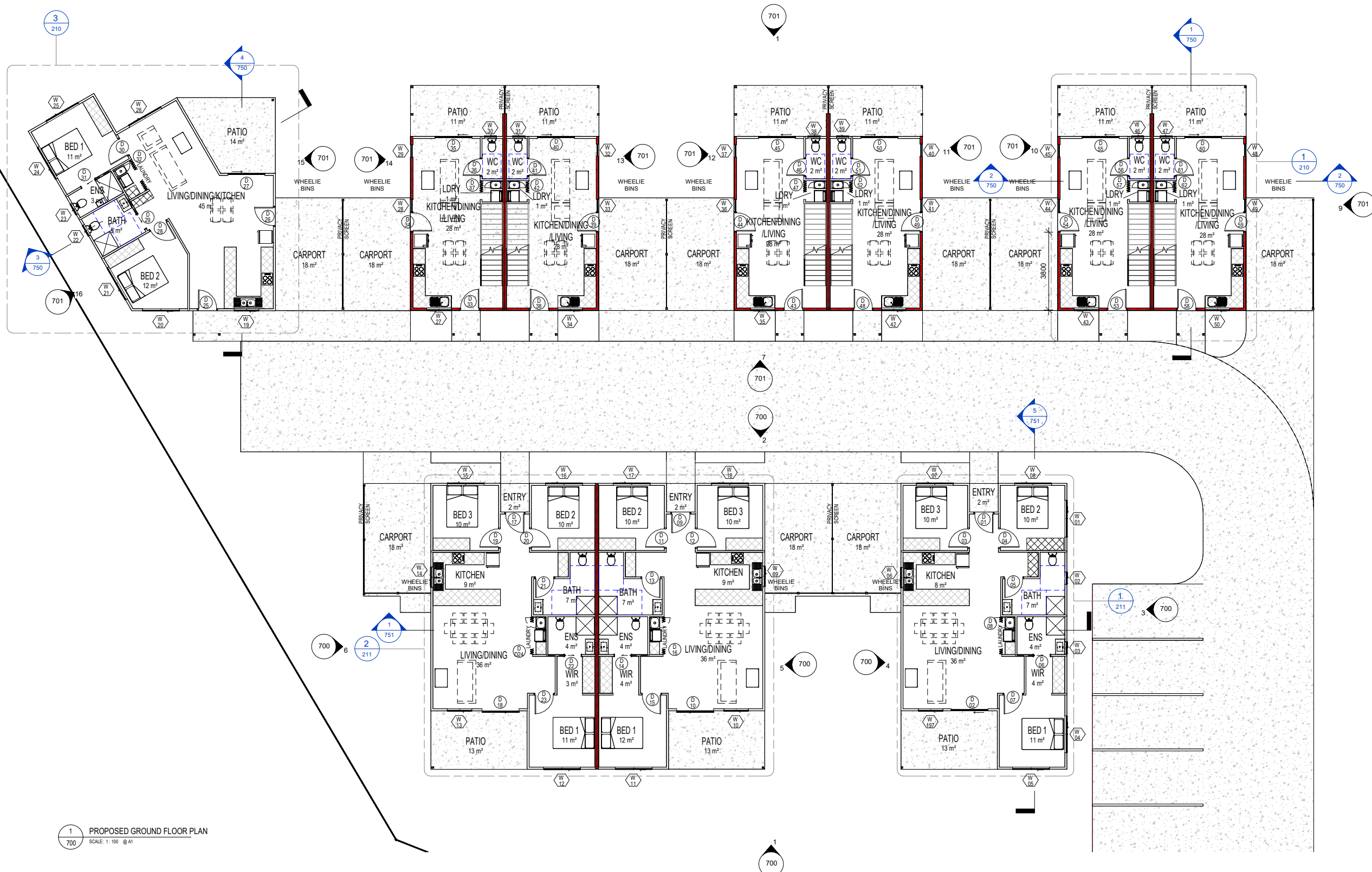
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No.	Description	Date
A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024
B	ISSUE FOR MDU	28/05/2025

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EXISTING/DEMOLITION - SITE PLAN

SCALE: As indicated	DRAWING No.	REVISION
DRAWN: TM	24011 DD 100	B
ISSUE DATE: 20/05/2025		



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RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1x2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS

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ABN: 721 738 734 68

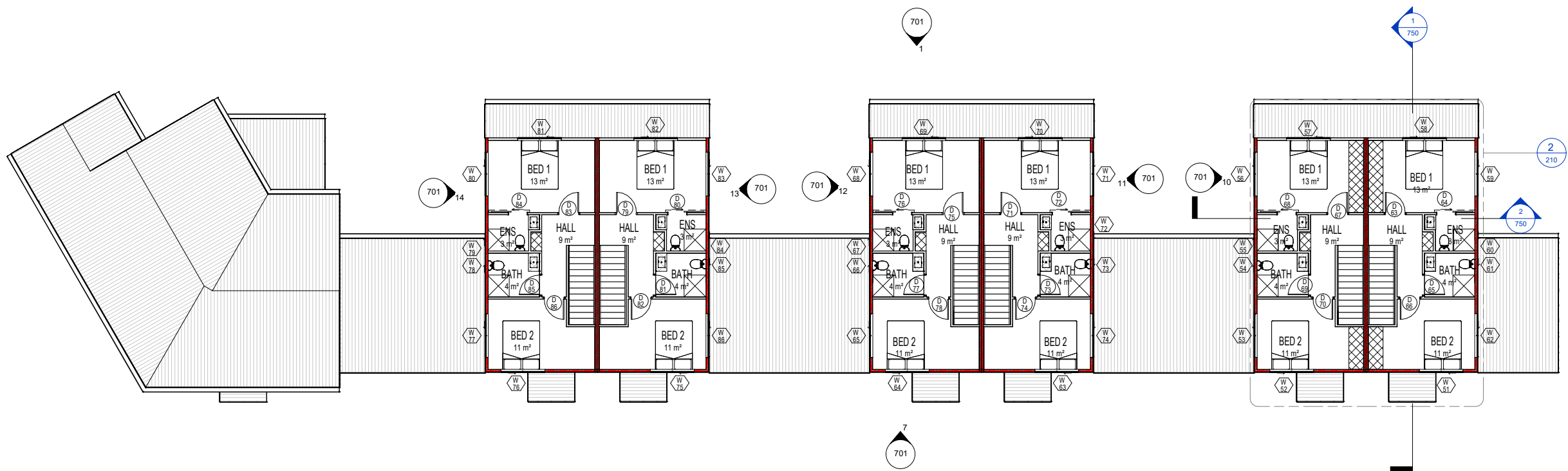
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No.	Description	Date
A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024
B	ISSUE FOR MDU	20/05/2025

PROPOSED GROUND FLOOR PLAN

SCALE: 1: 100
DRAWN: TM
ISSUE DATE: 20/05/2025

DRAWING No.
24011 DD 200

REVISION
B



1 PROPOSED FIRST FLOOR PLAN
700 SCALE: 1:100 @ A1

NOT FOR CONSTRUCTION

CLIENT:
RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS
Document Set ID: 5104034
Version: 1, Version Date: 27/08/2025

TROY MARTIN ARCHITECT
P: 0490 707 211
E: TROY@TMArchitecture.COM
ABN: 721 738 734 68

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No.	Description	Date
A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024
B	ISSUE FOR MDU	20/05/2025

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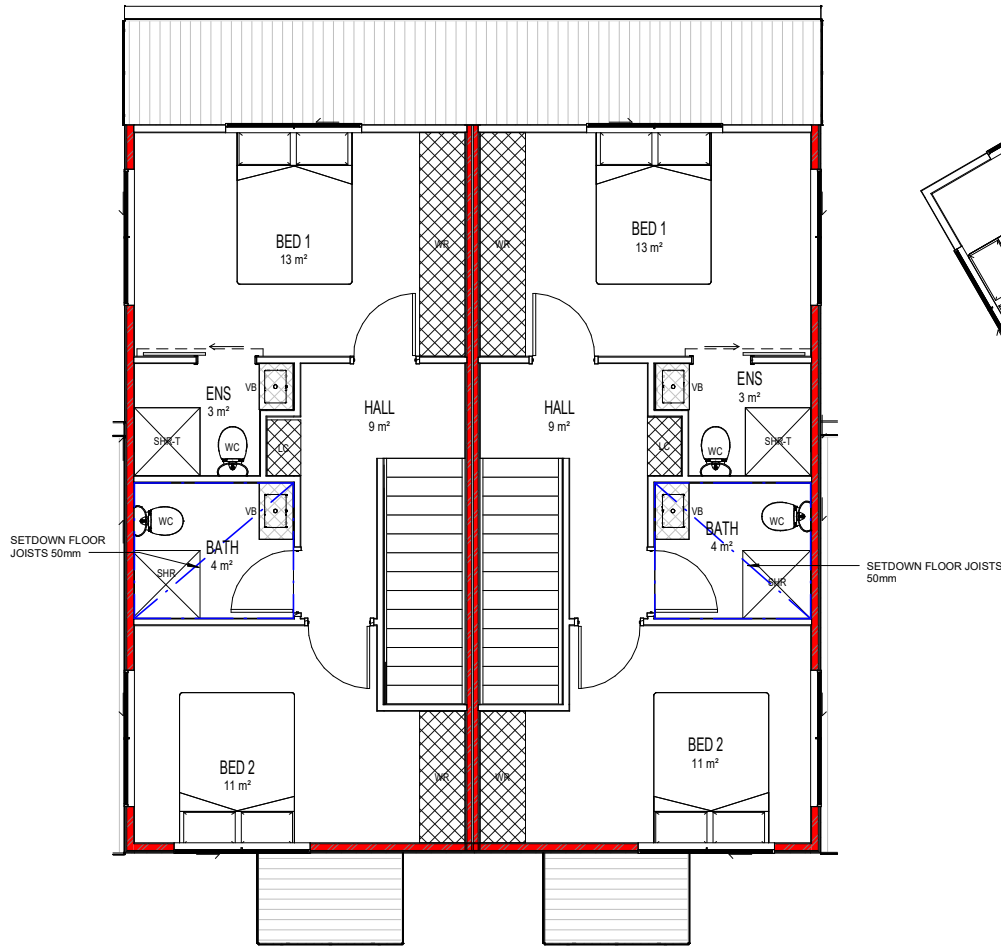
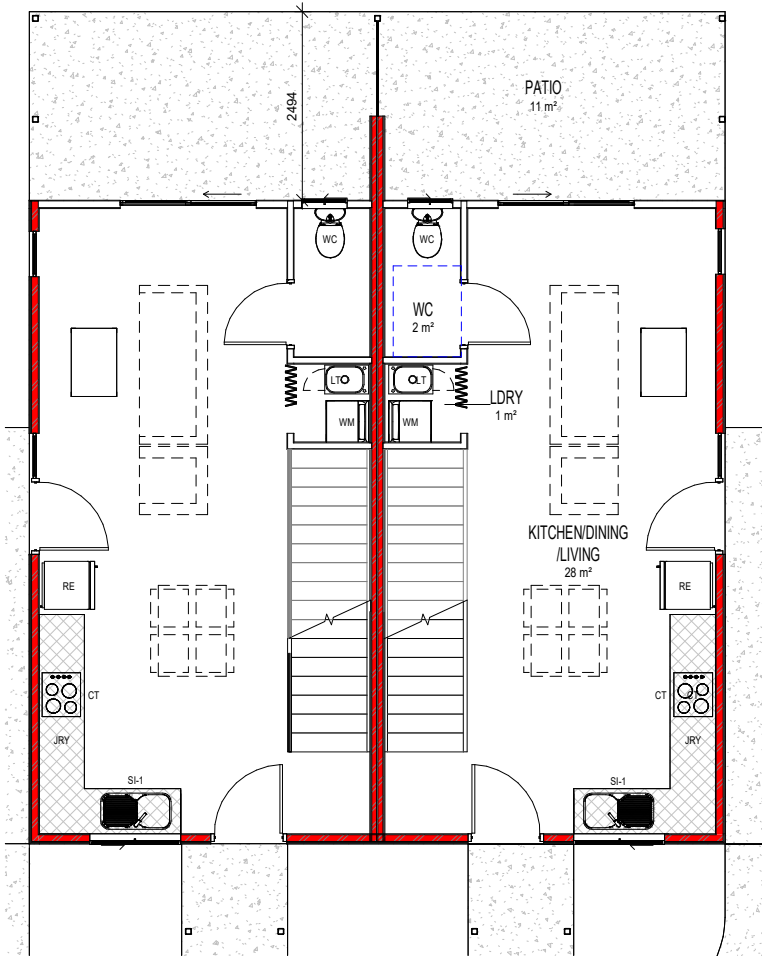
PROPOSED FIRST FLOOR PLAN

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ISSUE DATE: 20/05/2025

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REVISION
B

Keynote Legend	
Key Value	Keynote Text
BR	BROOME CUPBOARD
CT	COOKTOP
JRY	JOINERY, TO DETAIL
LC	LINEN CUPBOARD
LT	LAUNDRY TUB
RE	REFRIDGERATOR
SHR	SHOWER, HOBLESS
SHR-T	SHOWER TRAY
SI-1	SINK TYPE 1
SI-2	SINK TYPE 2
VB	VANITY BASIN
WC	WATER CLOSET
WM	WASHING MACHINE
WR	WARDROBE TO DETAIL



NOT FOR CONSTRUCTION

CLIENT:
RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS

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E: TROY@TMArchitecture.COM
ABN: 721 738 734 68

AMENDMENT		
No.	Description	Date
A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024
B	ISSUE FOR MDU	20/05/2025

DETAIL FLOOR PLANS SHEET 1

SCALE: 1:50

DRAWN: TM

ISSUE DATE: 20/05/2025

DRAWING No.

24011 DD 210

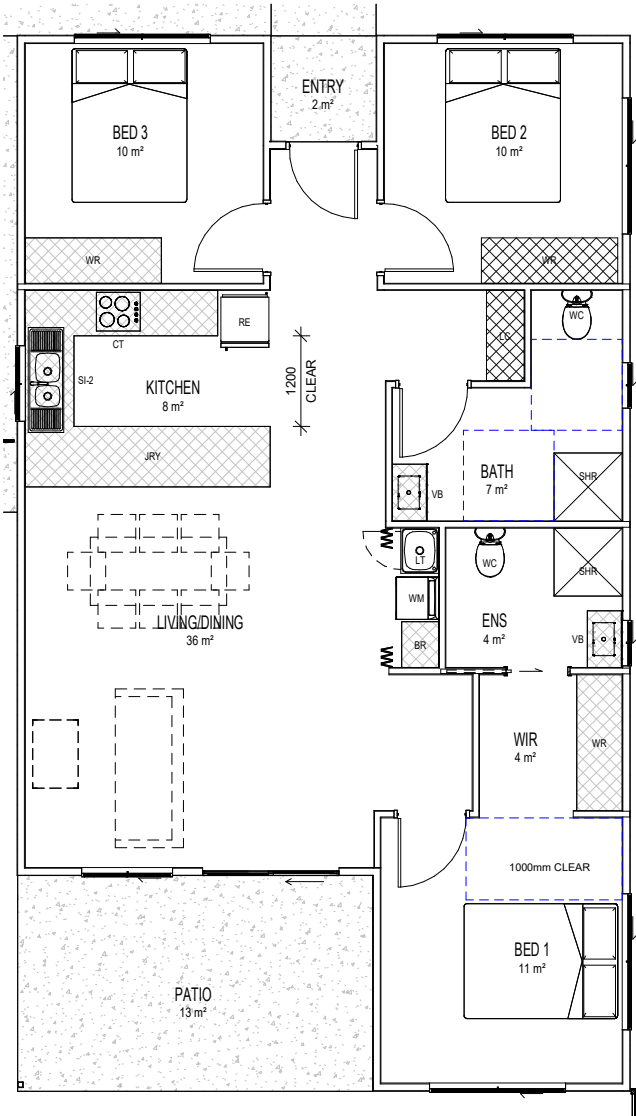
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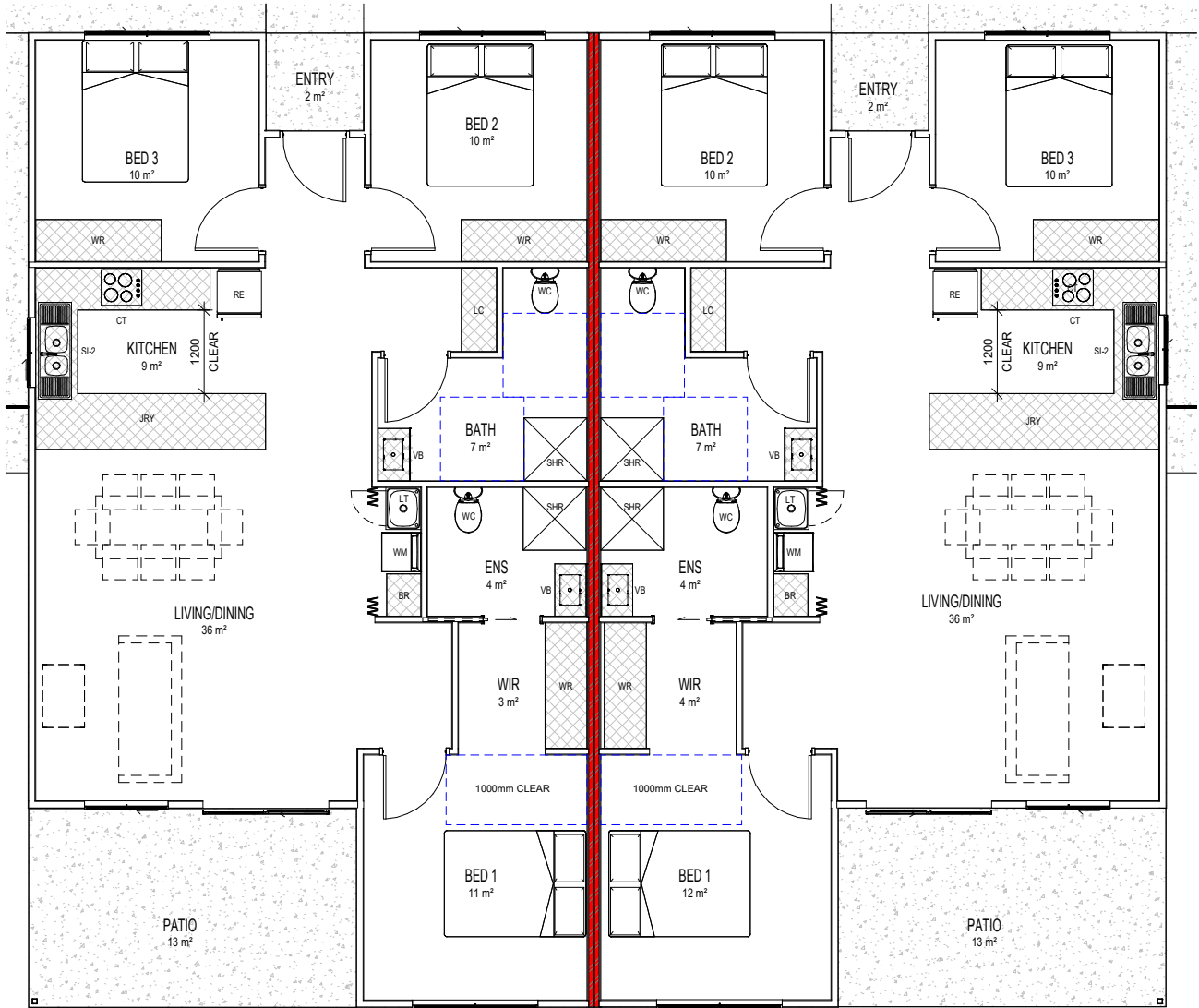
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0 10 20 30 40 50mm
PRINT REDUCTION BAR | A1 SHEET

Keynote Legend	
Key Value	Keynote Text
BR	BROOME CUPBOARD
CT	COOKTOP
JRY	JOINERY, TO DETAIL
LC	LINEN CUPBOARD
LT	LAUNDRY TUB
RE	REFRIDGERATOR
SHR	SHOWER, HOBLESS
Sl-2	SINK TYPE 2
VB	VANITY BASIN
WC	WATER CLOSET
WM	WASHING MACHINE
WR	WARDROBE TO DETAIL



1 GROUND FLOOR UNIT 8
SCALE: 1:50 @A1



2 GROUND FLOOR UNITS 9 & 10
SCALE: 1:50 @A1

NOT FOR CONSTRUCTION

CLIENT:
RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS
Document Set ID: 5104034
Version: 1, Version Date: 27/08/2025

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B	ISSUE FOR MDU	20/05/2025

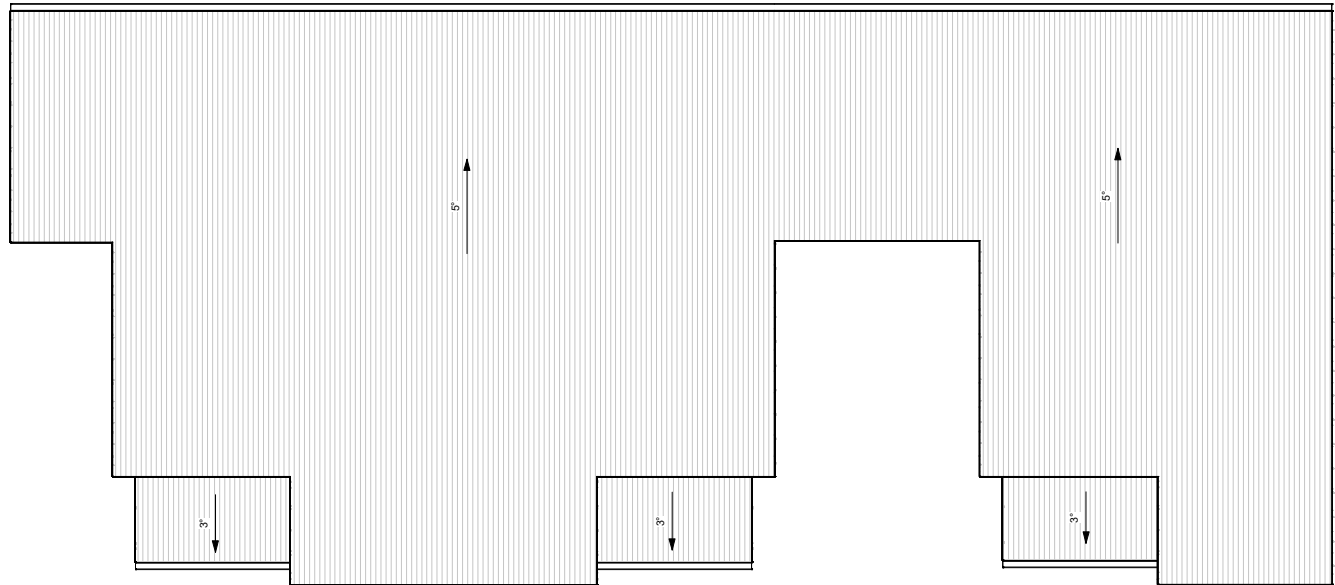
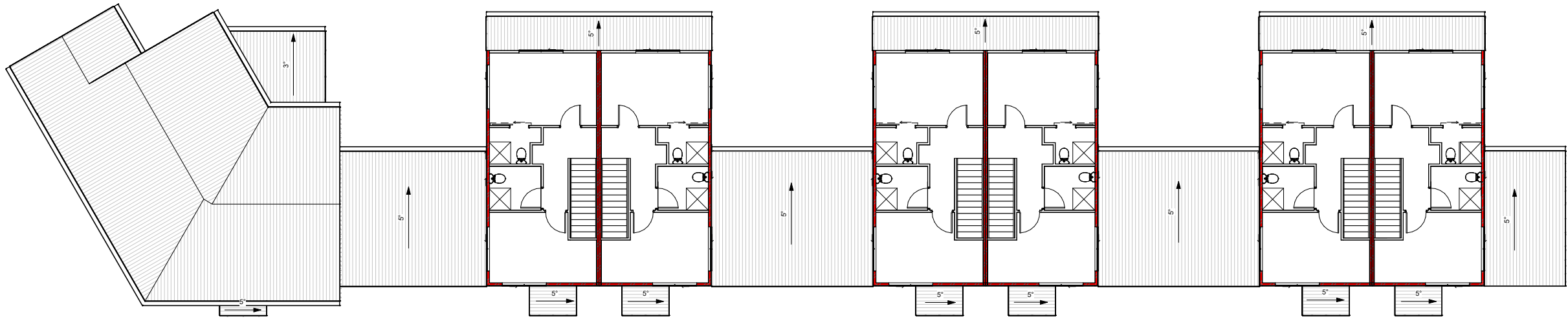
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DETAIL FLOOR PLANS SHEET 2

SCALE: 1:50
DRAWN: TM
ISSUE DATE: 20/05/2025

DRAWING No.
24011 DD 211

REVISION
B



1 PROPOSED GROUND FLOOR ROOF PLAN
700 SCALE: 1:100 @ A1

NOT FOR CONSTRUCTION

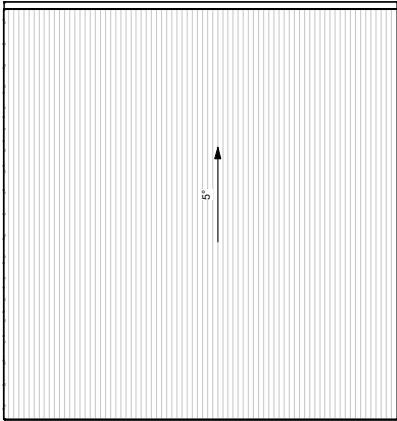
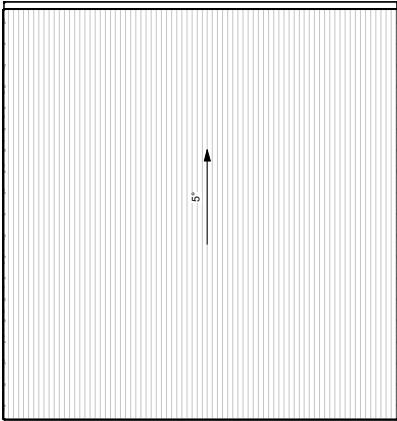
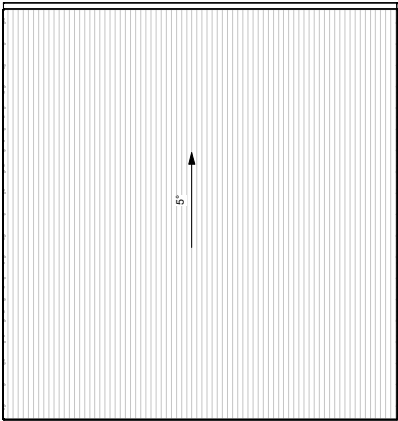
CLIENT:
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AMENDMENT		
No.	Description	Date
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B	ISSUE FOR MDU	20/05/2025

0 10 20 30 40 50mm
PRINT REDUCTION BAR | A1 SHEET

PROPOSED GROUND FLOOR ROOF PLAN		
SCALE: 1:100	DRAWING No.	REVISION
DRAWN: TM	24011 DD 600	B
ISSUE DATE: 20/05/2025		



1 PROPOSED FIRST FLOOR ROOF PLAN
700 SCALE: 1:100 @ A1

NOT FOR CONSTRUCTION

CLIENT:
RJG BUILDERS
PROJECT:
PROPOSED 6x2 BEDROOM SILVER UNITS, 1X2 BEDROOM GOLD UNIT & 3x3 BEDROOM GOLD UNITS
ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS

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AMENDMENT		
No.	Description	Date
A	DEVELOPED DESIGN FOR APPROVAL	05/12/2024
B	ISSUE FOR MCU	20/05/2025

PROPOSED FIRST FLOOR ROOF PLAN

SCALE: 1 : 100	DRAWING No.	REVISION
DRAWN: TM	24011 DD 601	B
ISSUE DATE: 20/05/2025		

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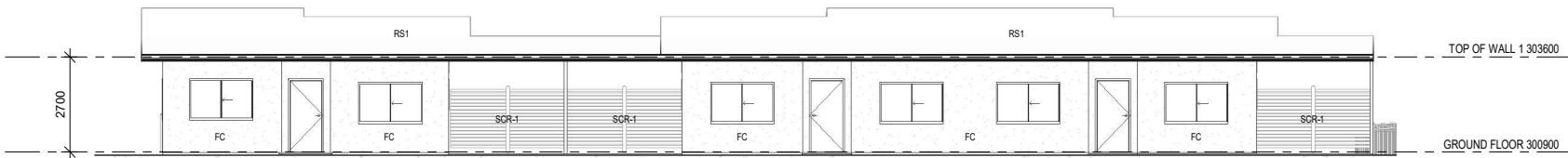
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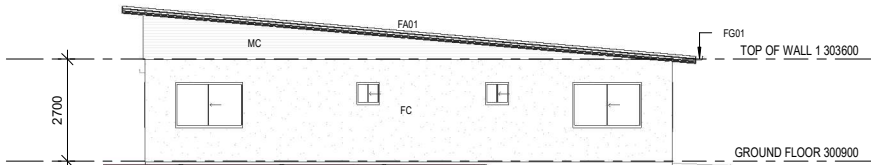
7 STREET ELEVATION
SCALE: 1:100 @ A1



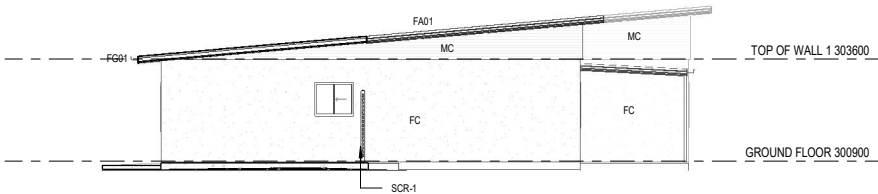
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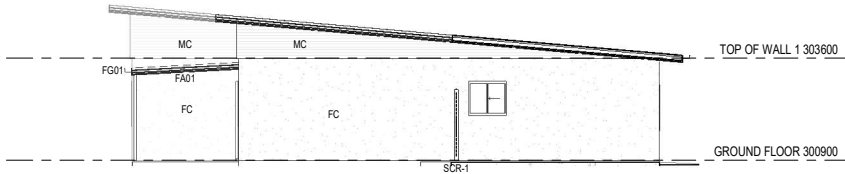
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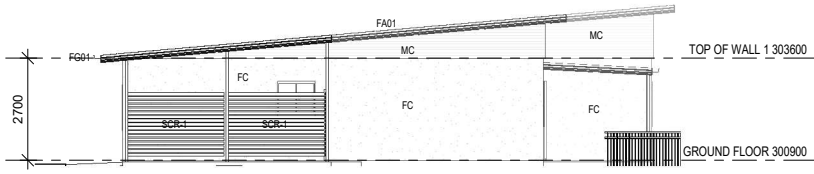
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SCALE: 1:100 @ A1



4 EXTERNAL ELEVATION 04
SCALE: 1:100 @ A1



5 EXTERNAL ELEVATION 05
SCALE: 1:100 @ A1



6 EXTERNAL ELEVATION 06
SCALE: 1:100 @ A1

Keynote Legend	
Key Value	Keynote Text
FA01	FASCIA - LYSAGHT NOVALINE
FC	FIBRE CEMENT
FG01	FASCIA GUTTER-175 QUAD GUTTER
MC	METAL CLADDING - CUSTOM ORB (HORIZ)
RS1	ROOF SHEETING
SCR-1	PRIVACY SCREENING - TIMBER SLATS

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Version: 1, Version Date: 27/08/2025

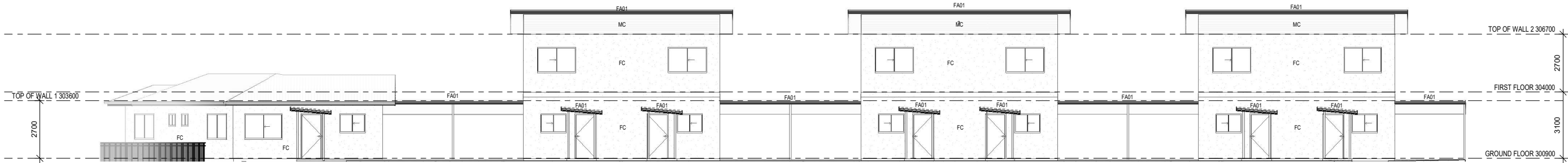
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B	ISSUE FOR MDU	20/05/2025
0 10 20 30 40 50mm PRINT REDUCTION BAR A1 SHEET		

PROPOSED ELEVATIONS SHEET 1

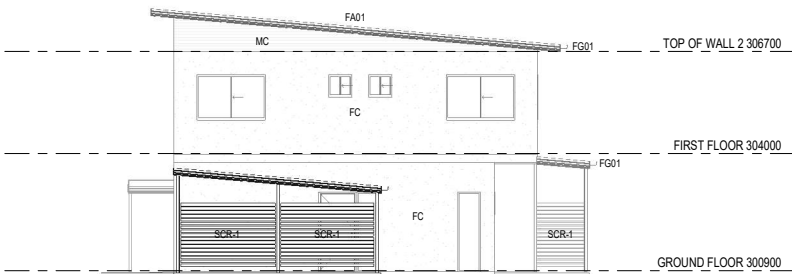
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DRAWN: TM	24011 DD 700	B
ISSUE DATE: 20/05/2025		



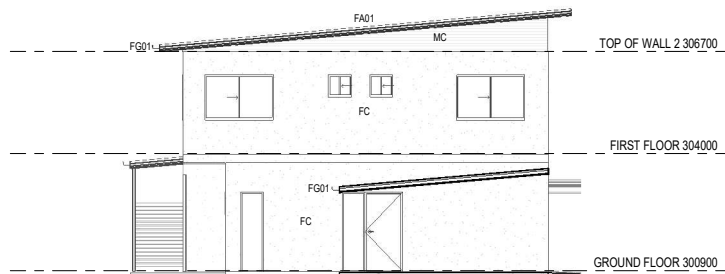
7
200
EXTERNAL ELEVATION 07
SCALE: 1:100 @ A1



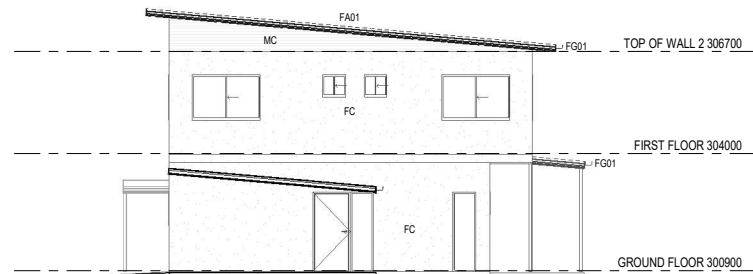
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SCALE: 1:100 @ A1



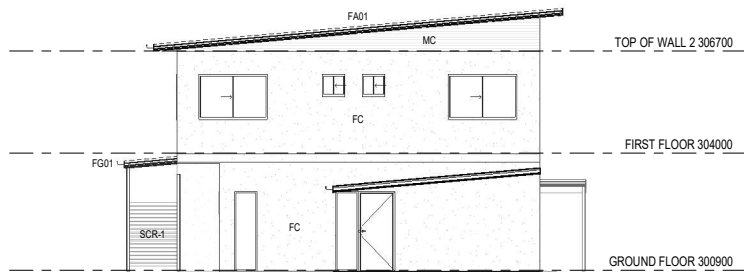
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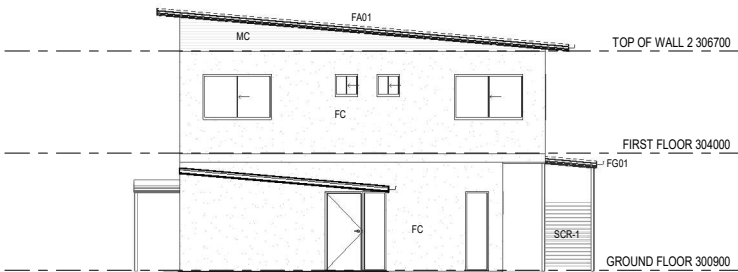
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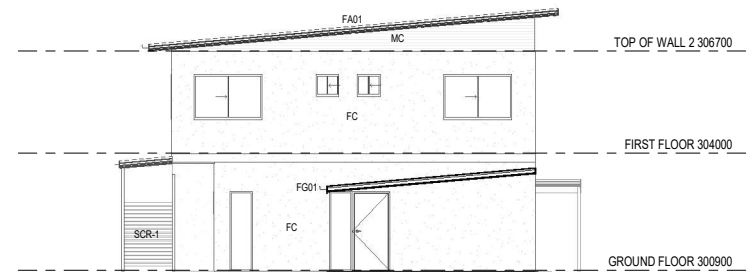
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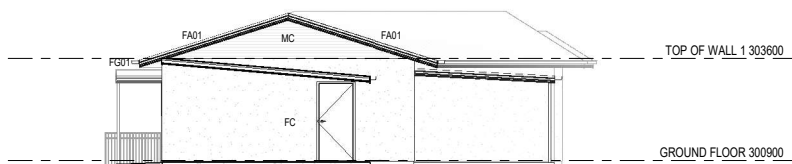
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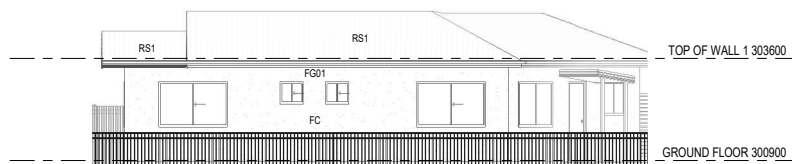
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SCALE: 1:100 @ A1



14
200
EXTERNAL ELEVATION 14
SCALE: 1:100 @ A1



15
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EXTERNAL ELEVATION 15
SCALE: 1:100 @ A1



16
200
EXTERNAL ELEVATION 16
SCALE: 1:100 @ A1

Keynote Legend	
Key Value	Keynote Text
FA01	FASCIA - LYSAGHT NOVALINE
FC	FIBRE CEMENT
FG01	FASCIA GUTTER-175 QUAD GUTTER
MC	METAL CLADDING - CUSTOM ORB (HORIZ)
RS1	ROOF SHEETING
SCR-1	PRIVACY SCREENING - TIMBER SLATS

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ADDRESS:
1A AND 3 CHURCH STREET CARTERS TOWERS
Document Set ID: 5104034

TROY MARTIN ARCHITECT
P: 0490 707 211
E: TROY@TMArchitecture.COM
ABN: 721 738 734 68

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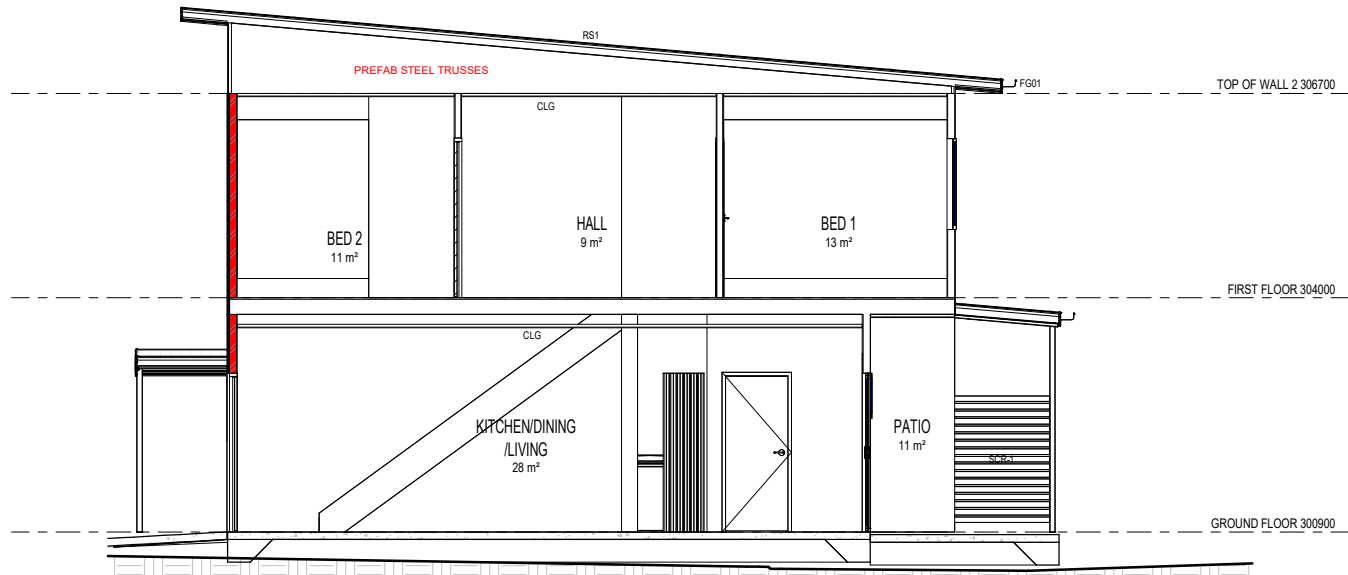
PROPOSED ELEVATIONS SHEET 2

SCALE: 1:100
DRAWN: TM
ISSUE DATE: 20/05/2025

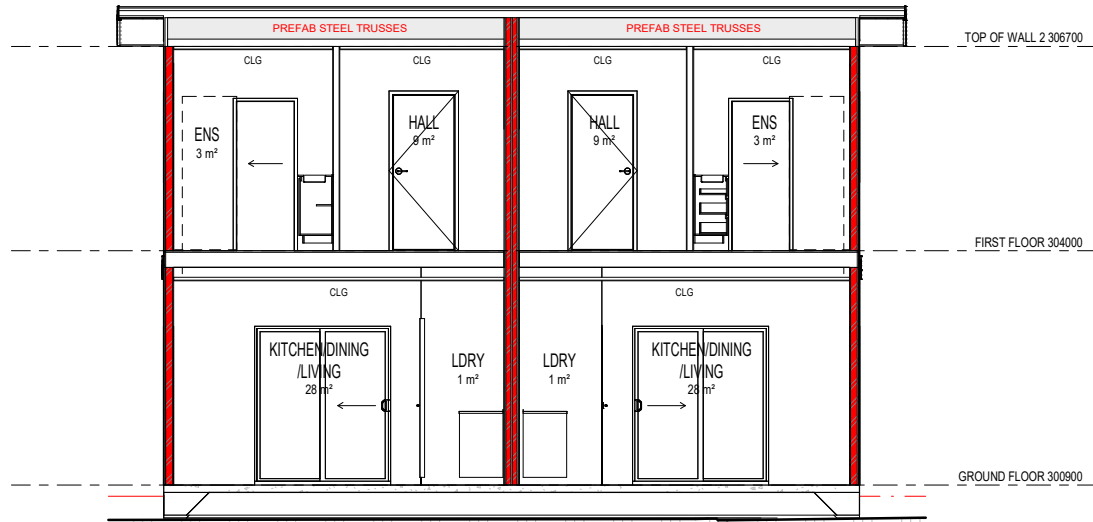
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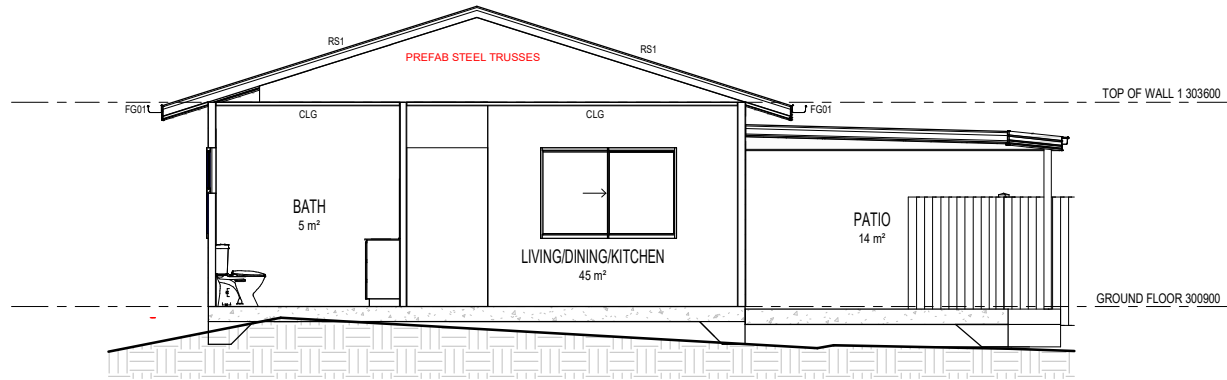
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FG01	FASCIA GUTTER-175 QUAD GUTTER
RS1	ROOF SHEETING
SCR-1	PRIVACY SCREENING - TIMBER SLATS



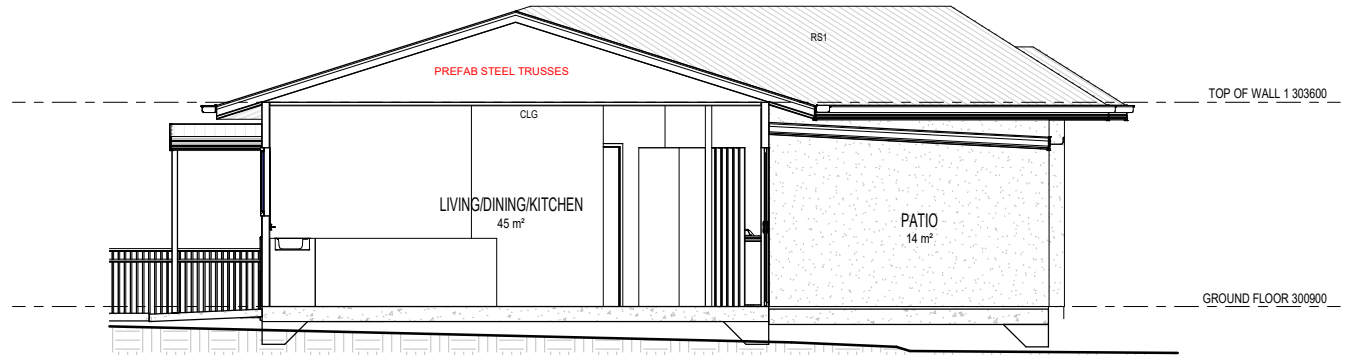
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SCALE: 1:50 @ A1



2 SECTION 02 (TYPICAL U1-6)
SCALE: 1:50 @ A1



3 SECTION 03 (UNIT 7)
SCALE: 1:50 @ A1



4 SECTION 04 (UNIT 7)
SCALE: 1:50 @ A1

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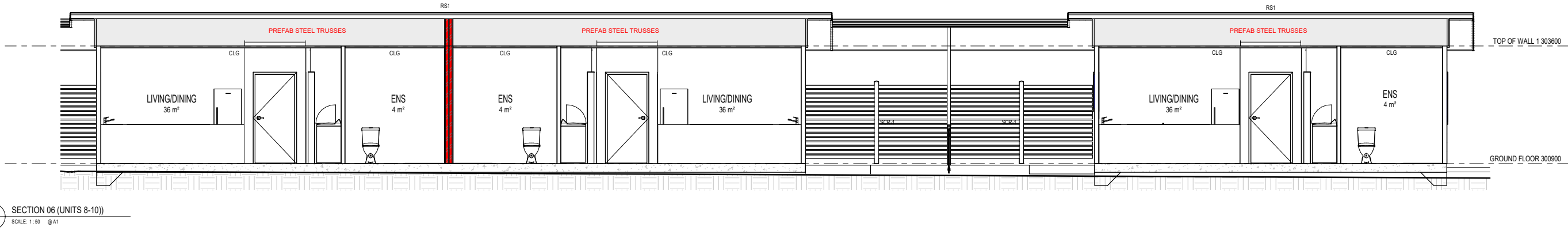
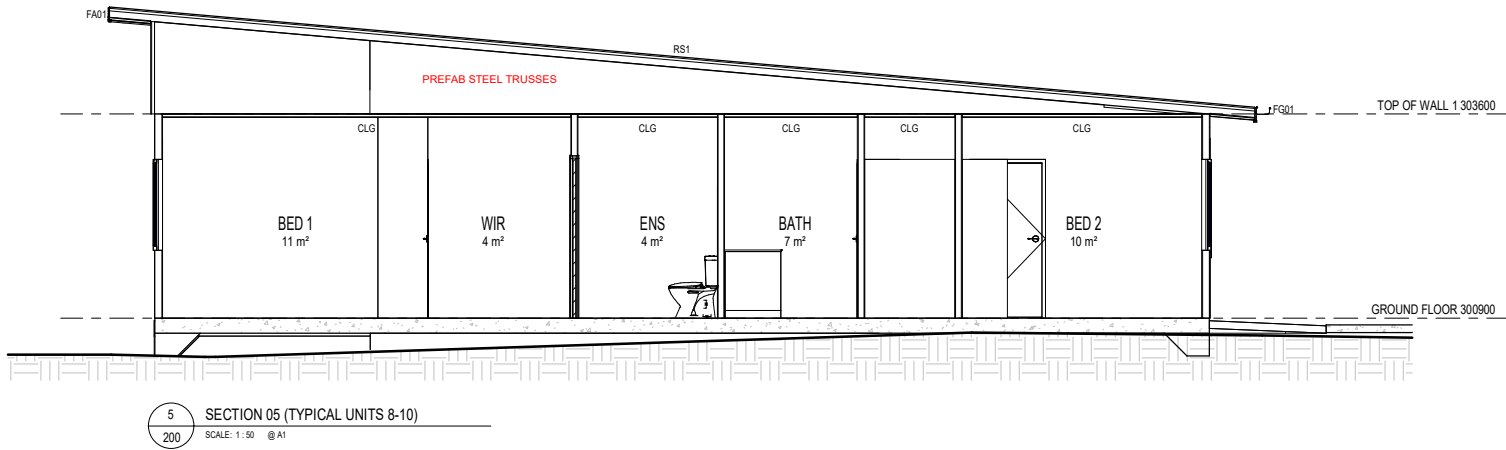
AMENDMENT		
No.	Description	Date
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B	ISSUE FOR MDU	28/05/2025

0 10 20 30 40 50mm
L
PRINT REDUCTION BAR | A1 SHEET

PROPOSED SECTIONS SHEET 1

SCALE: 1:50	DRAWING No.	REVISION
DRAWN: TM	24011 DD 750	B
ISSUE DATE: 20/05/2025		

Keynote Legend	
Key Value	Keynote Text
CLG	CEILING AS SPECIFIED - REFER RCP PLANS
FA01	FASCIA - LYSAGHT NOVALINE
FG01	FASCIA GUTTER-175 QUAD GUTTER
RS1	ROOF SHEETING
SCR-1	PRIVACY SCREENING - TIMBER SLATS



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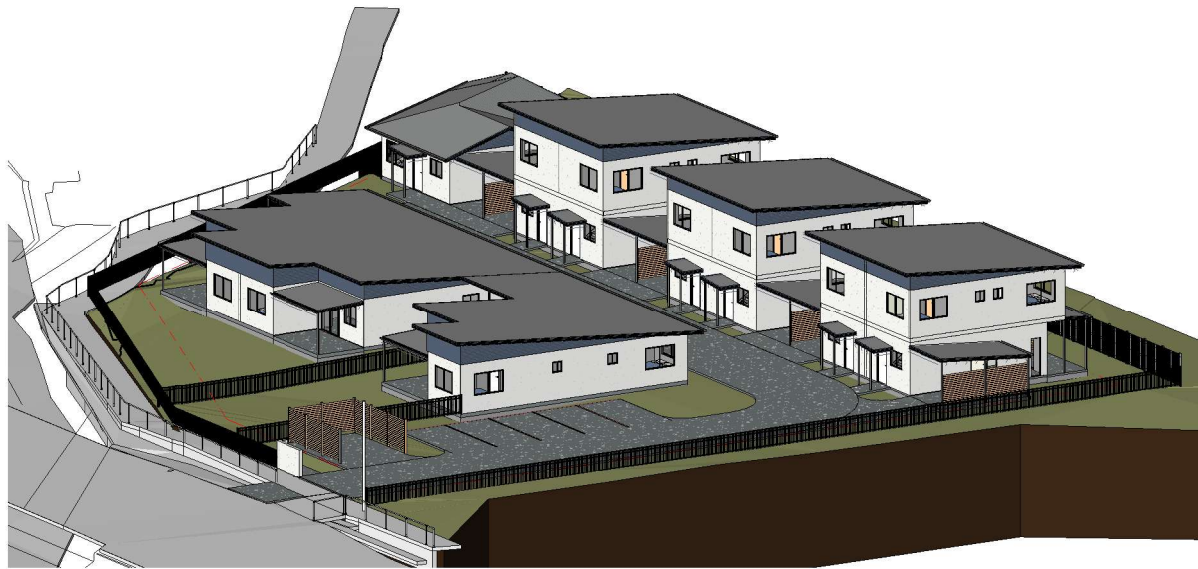
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0 10 20 30 40 50mm
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PROPOSED SECTIONS SHEET 2

SCALE: 1 : 50	DRAWING No.	REVISION
DRAWN: TM	24011 DD 751	B
ISSUE DATE: 20/05/2025		



1 ISOMETRIC VIEW 1
SCALE: @ A1



2 ISOMETRIC VIEW 2
SCALE: @ A1



3 ISOMETRIC VIEW 3
SCALE: @ A1

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ISOMETRIC VIEWS

SCALE:
DRAWN: TM
ISSUE DATE: 20/05/2025

DRAWING No.
24011 DD 1000

REVISION
B

Appendix E – Landscape Concept Plans

LANDSCAPE WORKS

1A AND 3 CHURCH STREET

CHARTERS TOWERS QLD 4820

ISSUE B FOR OPERATIONAL WORKS 02/06/2025
ISSUE A FOR OPERATIONAL WORKS 28/05/2025

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0410 577 581

DRAWING REGISTER

DRAWING NO.	DRAWING TITLE
LA-CS-2505-001	COVER SHEET
LA-SF-2505-101	SURFACE FINISHES
LA-PP-2505-201	PLANTING PLAN
LA-DT-2505-300	LANDSCAPE DETAILS
LA-DT-2505-301	LANDSCAPE DETAILS
LA-EL-2505-400	LANDSCAPE ELEVATIONS

LEGEND

	PAVEMENT REFER ENGINEER'S DRAWINGS
	PLANTING AREA REFER TO TYPICAL LANDSCAPE DETAILS AND PLANTING PLAN AND SCHEDULES FOR SPECIES
	TURF
	TIMBER GARDEN EDGE REFER TO TYPICAL LANDSCAPE DETAILS
	ROOT BARRIER
	TREE REFER TO PLANTING PLAN FOR LAYOUT AND SCHEDULES FOR SPECIES

GENERAL

- ALL SERVICE LOCATIONS SHOWN ARE INDICATIVE ONLY. REFER TO ENGINEERS DRAWINGS FOR MORE DETAIL. CONFIRM SERVICE LOCATIONS ON SITE PRIOR TO ANY CONSTRUCTION.
- FINAL SETOUT FOR ALL LANDSCAPE TREATMENTS TO BE CONFIRMED ON SITE BY THE SUPERINTENDENT.
- ALL ROAD RESERVES TO BE TURFED AS SPECIFIED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- REFER ENGINEER'S DRAWINGS FOR ALL PAVEMENT DETAIL INCLUDING EXPANSION AND TOOLING JOINTS.
- REFER ENGINEER'S DRAWINGS FOR DETAILED LEVELS AND STORMWATER DRAINAGE.
- FALL ALL LANDSCAPE AWAY FROM BUILDINGS REFER ENGINEERS DRAWINGS FOR DETAILED LEVELS.
- ALL TREES MARKED WITHIN / ADJACENT TO VEHICLE SIGHTLINES ARE TO BE SET OUT ON SITE PRIOR TO INSTALLATION AND APPROVED BY THE SUPERINTENDENT AND TRAFFIC ENGINEER.
- ALL TREES TO BE MIN. 2M HIGH AT INSTALLATION AND CLEAR TRUCKED TO ACHIEVE AT LEAST 1.8M CLEAR TRUCK AT MATURITY.
- TREES TO BE MINIMUM:
 - 5M FROM AN ELECTRICITY POLE OR PILLAR BOX
 - 7M FROM A STREET LIGHT POLE;
 - 2M FROM SIDE ENTRY STORMWATER PITS;
 - 2.5M FROM EITHER SIDE OF A DRIVEWAY;
 - 1.05M FROM BACK OF KERB; AND
 - 0.5M FROM A FOOTPATH
 - 3m FROM SERVICE PITS & INSPECTION BOXES
- FENCE AND DRIVEWAY BY OTHERS.
- IRRIGATION TO ALL PLANTING AREAS, SPRINKLER IRRIGATION TO TURF AREAS. DEEP WATERING FOR 8 WEEK ESTABLISHMENT PERIOD. IRRIGATION BY OTHERS.

DESIGN INTENT

- THE LANDSCAPE HAS BEEN DESIGNED TO ACHIEVE THE FOLLOWING OUTCOMES:
- A HIGH QUALITY STREETSCAPE AND ON-SITE LANDSCAPE TO ENHANCE THE CHARACTER OF THE STREET;
 - INTEGRATE THE NATURAL AND BUILT FORM ELEMENTS OF THE SITE AND THE LOCALITY;
 - LEGIBLE AND ATTRACTIVE STREET FRONTAGE, THAT ENHANCES THE CONTINUITY OF THE STREETSCAPE;
 - SCREENING IS USED TO SOFTEN BUILT FORM, MITIGATE ADVERSE AESTHETIC IMPACTS AND PROVIDE PRIVACY AND CHARACTER;
 - PLANT SPECIES AND LANDSCAPING MATERIALS ARE SUITED TO THE DRY TROPICS
 - PLANT SPECIES, LANDSCAPE MATERIALS AND SURFACE TREATMENTS ARE SUITED TO THEIR INTENDED FUNCTION AND USER REQUIREMENTS;
 - PLANT SPECIES, LANDSCAPING MATERIALS AND SURFACE TREATMENTS ARE DESIGNED TO REMAIN ATTRACTIVE, FIT FOR PURPOSE AND BE COST EFFECTIVE TO MAINTAIN OVER THE LONG-TERM; AND
 - AN ACCESSIBLE, SAFE AND COMFORTABLE ENVIRONMENT FOR ALL USERS.

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	Qty m2	TOTAL
TREES					
BUC cel	Buckinghamia celsissima	Ivory Curl	25L	-	12
CUP ana	Cupaniopsis anacardioides	Tuckeroo	25L	-	5
HAR pen	Harpullia pendula	Tulipwood	25L	-	2
HIB til	Hibiscus tiliaceus	Rubra Cottonwood	25L	-	1
GROUNDCOVERS					
CAR mac	Carissa macrocarpa	Desert Star	140mm	1	22
DIA cae	Dianella caerulea	Blue flax lily	140mm	4	42
DIA SS	Dianella caerulea	Silver Streak	140mm	4	25
DIE gra	Dietes grandiflora	Wild Iris	75mm	2	71
JUN con	Juniperus conferta	Shore Juniper	140mm	2	38
LOM hys	Lomandra hystrix	Mat Rush	75mm	2	42
SYZ aus	Syzygium australe 'Resilience'	Lilly Pilly	140mm	1	8
ROS off	Rosmarinus officinalis	Rosemary	140mm	1	3
ZAM fur	Zamia furfuracea	Cardboard Palm	140mm	1	5

*ALWAYS REFER TO LANDSCAPE PLANTING PLANS FOR FINAL PLANT TOTAL QUANTITIES.

PLANT PALETTE FOR DRY TROPICS



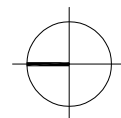
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DRAWING
LANDSCAPE COVER PAGE

FOR
RJG BUILDERS
AT
1A AND 3 CHURCH STREET
CARTERS TOWERS QLD 4820

ISSUE
FOR OPERATIONAL WORKS

SCALE
NTS
DRAWING NO.
LA-SF-2505-001
DRAWN
KK





SCREENING TREES AND
PLANTING TO INDIVIDUAL
UNITS

SCREENING TREES TO
SOFTEN BUILT FORM,
AND PROVIDE PRIVACY
FOR ADJACENT
RESIDENCE

- 01
300 TREE
- 02
301 GARDEN EDGE
- 04
301 TURF
- 01
301 PLANTING AREA

FENCE
BY OTHERS

MIXED-HEIGHT PLANTING,
COMPOSED OF SHADE
TREES, SHRUBS AND
GROUNDCOVERS

LOW PLANTING TO EITHER
SIDE OF DRIVEWAY ENTRY
TO RETAIN SIGHT LINES
EXTEND SUSPENDED
CONCRETE DRIVEWAY

ISSUE B FOR OPERATIONAL WORKS
ISSUE A FOR OPERATIONAL WORKS

02/06/2025
28/05/2025

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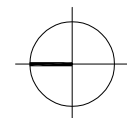
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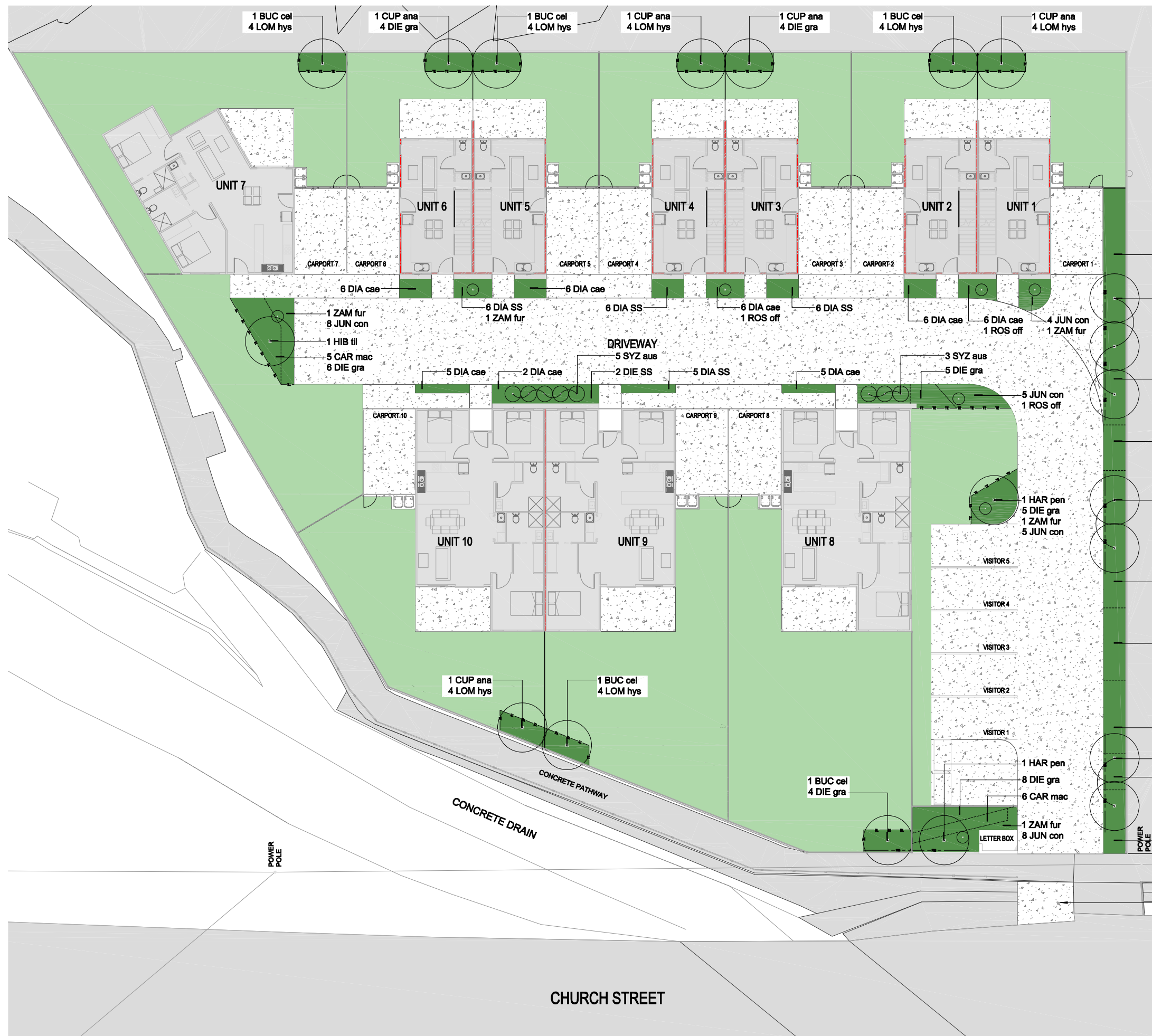
FOR
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AT
1A AND 3 CHURCH STREET
CARTERS TOWERS QLD 4820

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MULCH BETWEEN
FENCE AND SCREEN

3 BUC cel

14 LOM hys

3 CAR mac

2 BUC cel

14 DIE gra

5 CAR mac

8 DIE gra

2 BUC cel

3 CAR mac

8 JUN con

EXTEND SUSPENDED
CONCRETE DRIVEWAY

CHURCH STREET

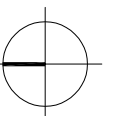
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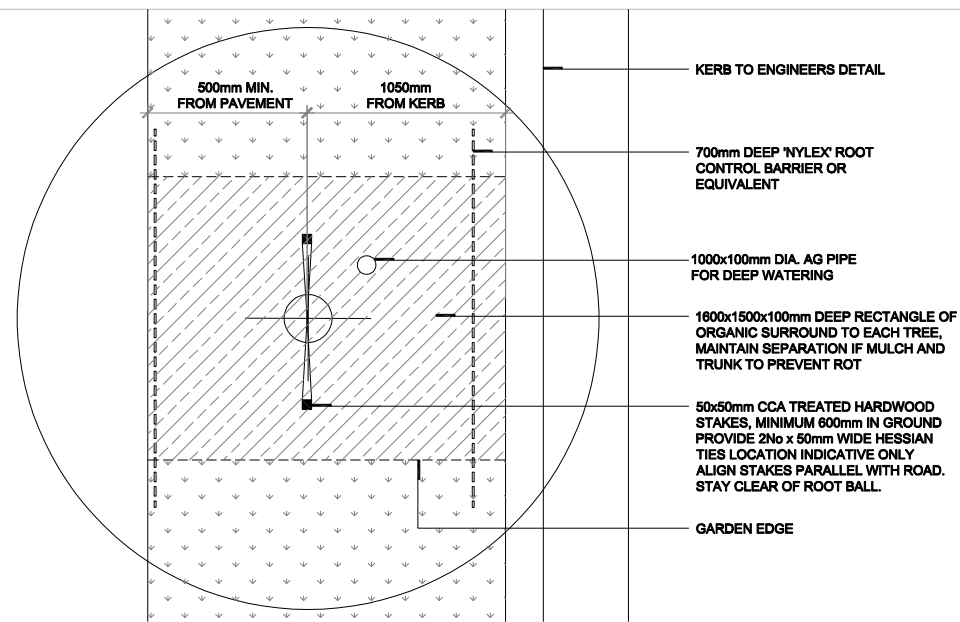
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FOR
RJG BUILDERS
AT
1A AND 3 CHURCH STREET
CARTERS TOWERS QLD 4820

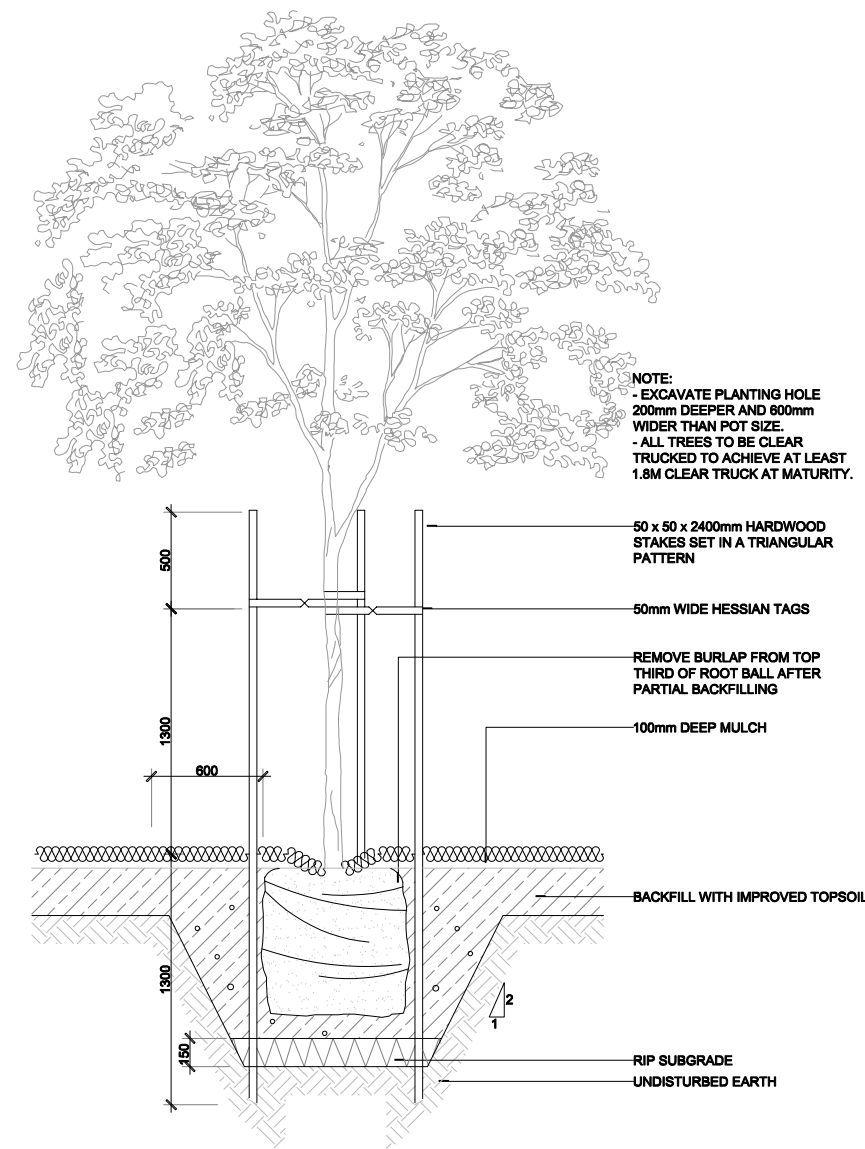
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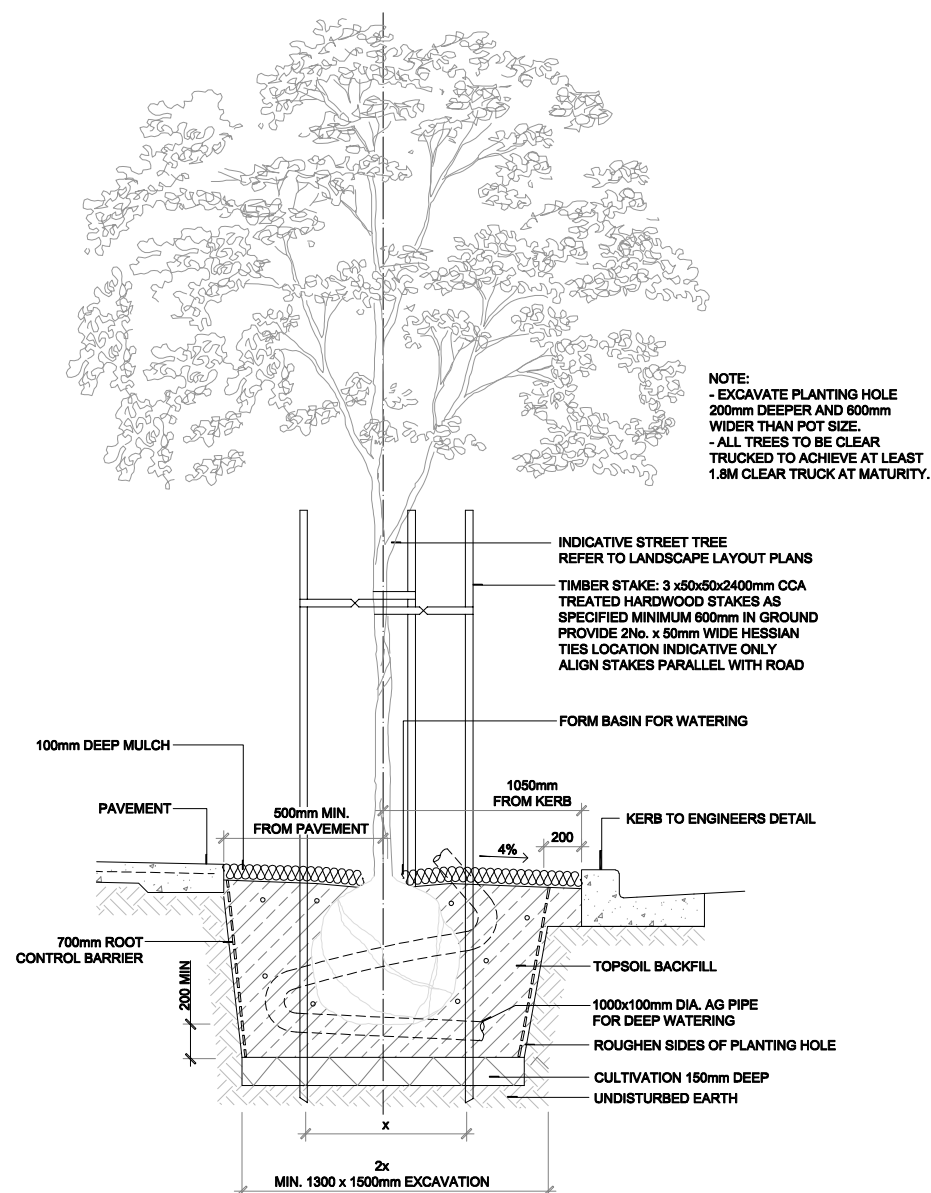


TYPICAL PLAN



ADVANCED TREE PLANTING
TYPICAL DETAIL

01 SCALE 1:40 @ A3



TREE PLANTING NEAR PAVEMENT
TYPICAL SECTION

02 SCALE 1:40 @ A3

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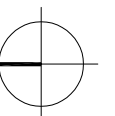
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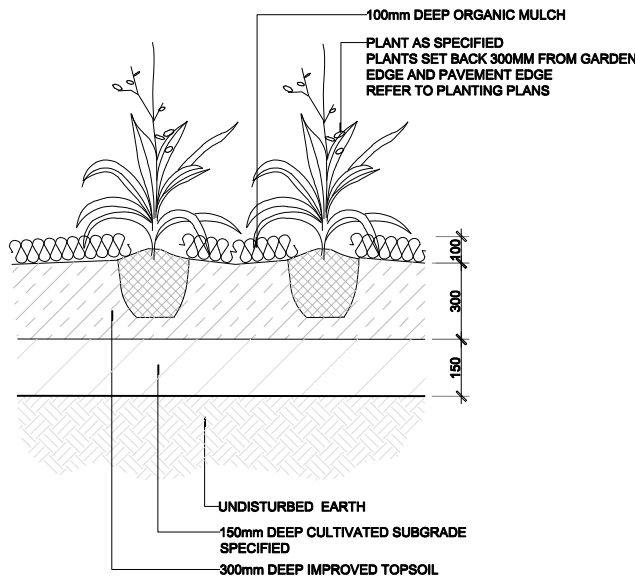
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LANDSCAPE DETAILS

FOR
RJG BUILDERS
AT
1A AND 3 CHURCH STREET
CARTERS TOWERS QLD 4820

ISSUE
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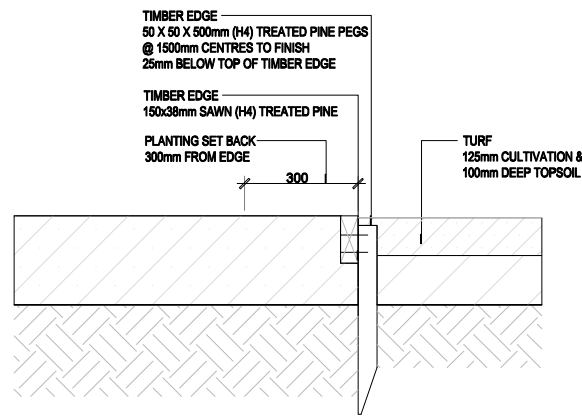
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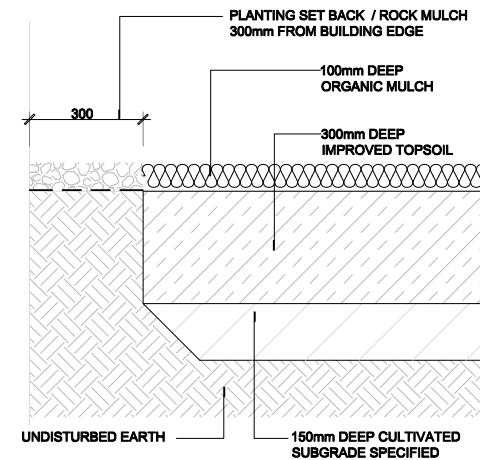
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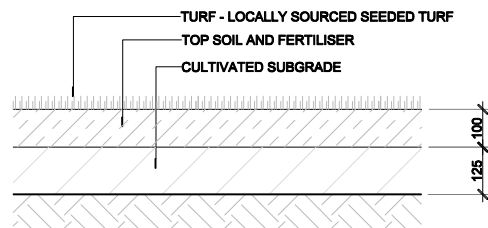
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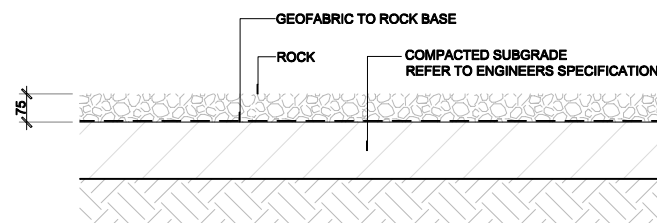
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BUILDING DETAIL

SCALE 1:20 @ A3



04 TURF DETAIL

SCALE 1:20 @ A3



05 ROCK DETAIL

SCALE 1:20 @ A3

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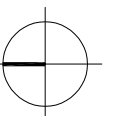
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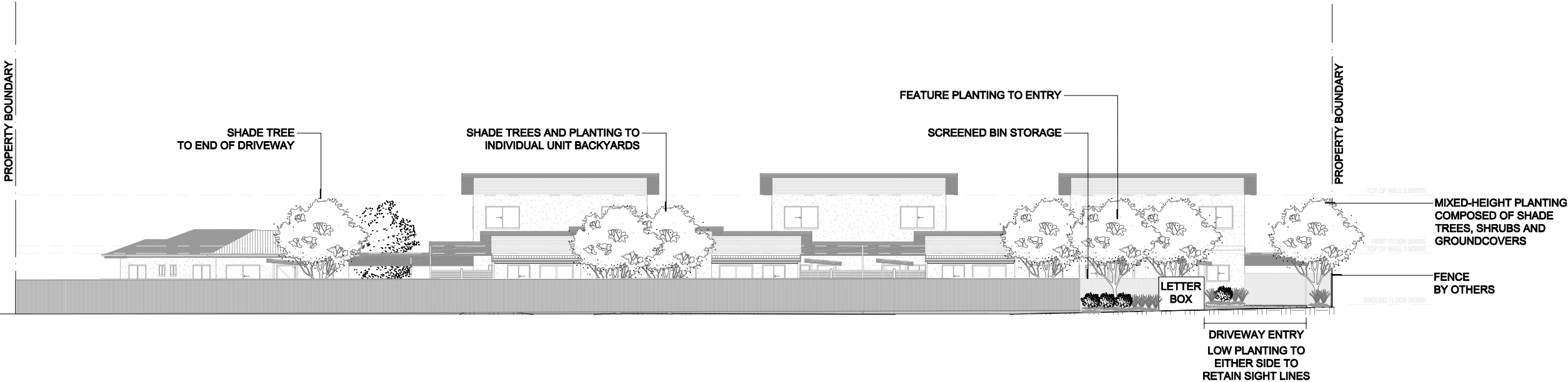
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AT
1A AND 3 CHURCH STREET
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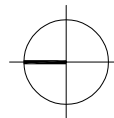
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LANDSCAPE ELEVATION

FOR
RJG BUILDERS
AT
1A AND 3 CHURCH STREET
CARTERS TOWERS QLD 4820

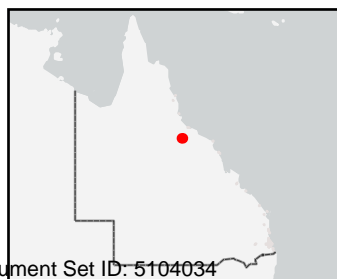
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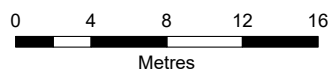
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Appendix F – SPP Mapping



Scale: 1:400



Date: 21/08/2025

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State Planning Policy mapping layers - consolidated list for all selected Lot Plans

(Note: Please refer to following pages for State Interests listed for each selected Lot Plan)

BIODIVERSITY

- MSES - Regulated vegetation (intersecting a watercourse)
- MSES - Regulated vegetation (category R)

CULTURAL HERITAGE

- State heritage place

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - local government flood mapping area

State Planning Policy mapping layers for selected

Lot Plan: 1MPH1186 (Area: 1657 m²)

BIODIVERSITY

- MSES - Regulated vegetation (intersecting a watercourse)
- MSES - Regulated vegetation (category R)

CULTURAL HERITAGE

- State heritage place

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - local government flood mapping area

Lot Plan: 1MPH1186 (Area: 1657 m²)

BIODIVERSITY

- MSES - Regulated vegetation (intersecting a watercourse)
- MSES - Regulated vegetation (category R)

CULTURAL HERITAGE

- State heritage place

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - local government flood mapping area

Lot Plan: 1MPH1467 (Area: 1012 m²)

BIODIVERSITY

- MSES - Regulated vegetation (category R)

CULTURAL HERITAGE

- State heritage place

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - local government flood mapping area

Appendix G – SARA Mapping

Matters of Interest for all selected Lot Plans

Queensland heritage place

Water resource planning area boundaries

Queensland waterways for waterway barrier works

Matters of Interest by Lot Plan

Lot Plan: 1MPH1467 (Area: 1012 m²)

Queensland heritage place

Water resource planning area boundaries

Lot Plan: 1MPH1186 (Area: 1657 m²)

Queensland heritage place

Queensland waterways for waterway barrier works

Water resource planning area boundaries

Lot Plan: 1MPH1467 (Area: 1012 m²)

Queensland heritage place

Water resource planning area boundaries

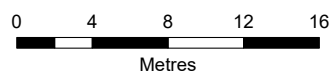


 Queensland heritage place

Date: 26/06/2025



Scale: 1:400



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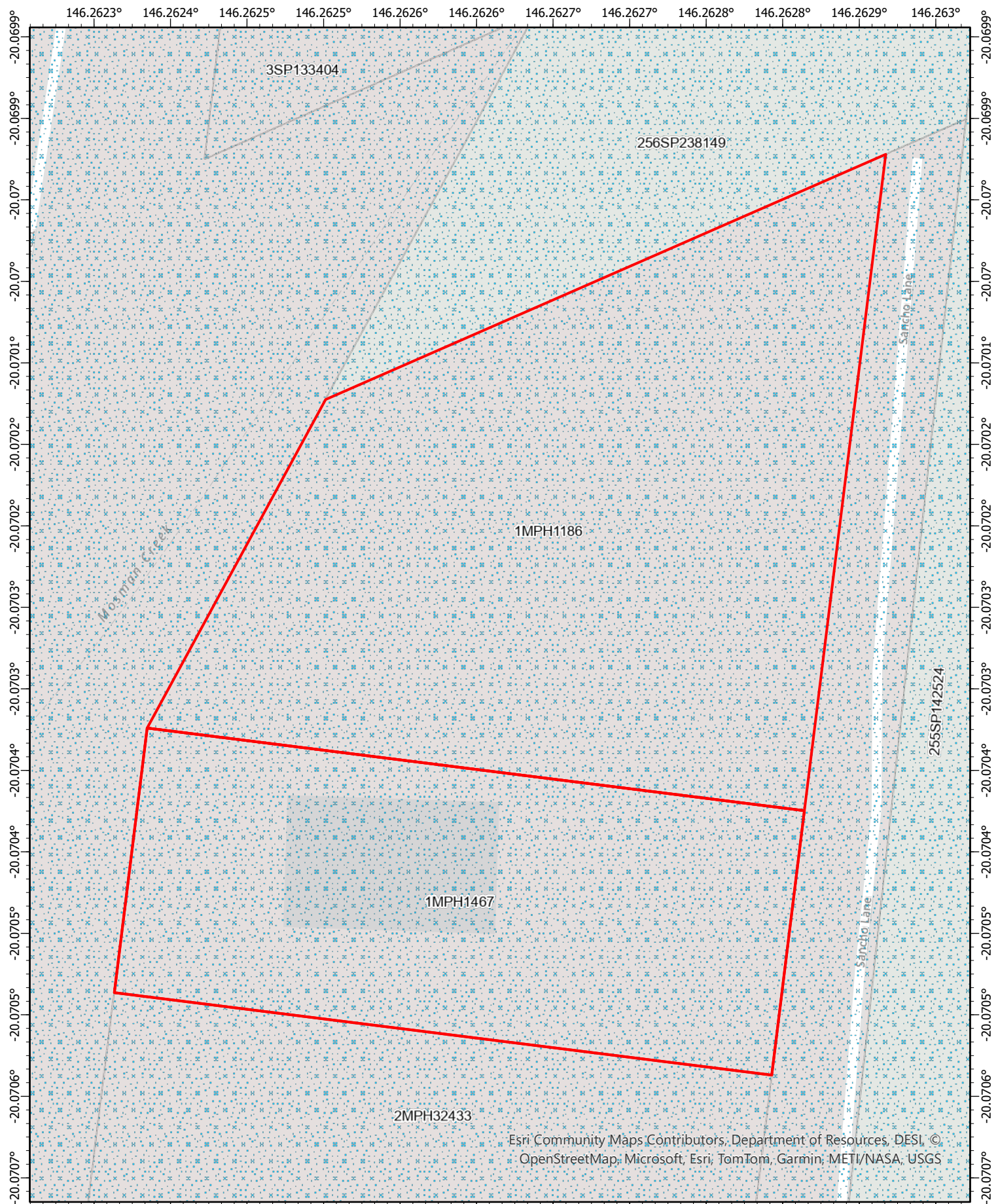



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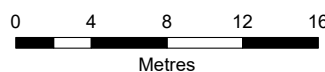


 Water resource planning area boundaries

Date: 26/06/2025



Scale: 1:400



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Queensland waterways for waterway barrier works

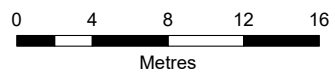
Risk of impact

— Moderate

Date: 26/06/2025



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Appendix H – Exemption Certificate

Queensland Heritage Act 1992

Section 74 Exemption Certificate

Application no:	202507-22659 EC
Date application received:	11 July 2025
Date of decision:	28 July 2025
Applicant:	Julia Pritchard, Australian Heritage Specialists approvals@ahspecialists.com.au
QHR place ID:	602512
QHR place name:	Stone kerbing, channels and footbridges of Charters Towers
Location:	CHARTERS TOWERS, 4820
Approval summary:	Development type: Building work - Construction of a new vehicular crossover from Church Street into the new unit complex at 3 Church Street. Demolition of the existing concrete crossover between 3 Church Street and the road, and replacement with a new, wider crossover.

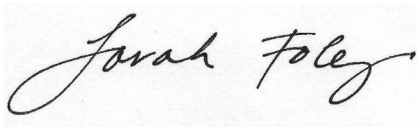
The application for an exemption certificate to carry out the development described above, is approved with conditions under section 74 of the *Queensland Heritage Act 1992*.

This exemption certificate attaches to the premises. Any person, including the owners, owners' successors in title and occupiers of the premises, may carry out development permitted by this exemption certificate and is bound by the conditions.

This exemption certificate only applies to development substantially started within 4 years of this decision.

Terms and phrases used in this document are defined principally in the *Queensland Heritage Act 1992*, and in the *Planning Act 2016* and its Regulation.

If more information is required, contact the project manager, If more information is required, contact the project manager, Amelia Lacey, Senior Heritage Officer, on (07) 3087 8132 or via email amelia.lacey@detsi.qld.gov.au.



Sarah Foley
A/Cultural Heritage Coordinator, Heritage
Department of the Environment, Tourism, Science and Innovation
Delegate for the Chief Executive
administering the *Queensland Heritage Act 1992*



Queensland Heritage Act 1992
Section 74 Exemption Certificate

Version 1.5 – 13 June 2025

Conditions of approval:

No.	Condition	Condition timing
1.	Scope of development approved Carry out the development as described in the application received on 11 July 2025 from the applicant Julia Pritchard, Australian Heritage Specialists, and the document listed in 'Approved documents'. In the case of a discrepancy between application documents and conditions, conditions take precedence. <i>(Reason - To ensure development is carried out as approved)</i>	At all times.
2.	Keep a copy of the approval on site A copy of this exemption certificate and a copy of any documents that describe the approved development must be retained at the State heritage place. <i>(Reason – To facilitate the monitoring of development for compliance purposes)</i>	For the duration of the development.
3.	Notify start of development Provide written notice of the start of development to Environmental Services and Regulation, Department of Environment, Science and Innovation at palm@detsi.qld.gov.au . The notice must state: name of State heritage place, application number and condition number 3. <i>(Reason – To facilitate the monitoring of development for compliance purposes)</i>	No later than 2 business days prior to the commencement of the development.
4.	Photograph effect of development Submit photographs of the area where the development is undertaken, both before and after the development is completed to Environmental Services and Regulation, Department of the Environment, Tourism, Science and Innovation at palm@detsi.qld.gov.au . The submission must state: name of State heritage place, application number and condition number 4. <i>(Reason – To facilitate the monitoring of development for compliance purposes and to ensure change is adequately recorded)</i>	Within 10 business days of completion of the development.
5.	Permit access to the State heritage place Permit access to the State heritage place by Department of the Environment, Tourism, Science and Innovation officers if requested. <i>(Reason – To facilitate the monitoring of development for compliance purposes)</i>	For the duration of the development.
6.	Protect the State heritage place from damage Protect the existing features of the State heritage place from incidental damage and maintain protective measures to ensure the development does not result in damage to, or deterioration of, the State heritage place caused by weather, fire, vandalism, insects or other factors. <i>(Reason - To ensure the cultural heritage values of the State heritage place are appropriately recognised and managed)</i>	For the duration of the development.
7.	Report any damage to the State heritage place that occurs During development, should damage occur to any features of the State heritage place report such incidents immediately to Environmental Services and Regulation, Department of the Environment, Tourism, Science and Innovation at palm@detsi.qld.gov.au . <i>(Reason - To ensure the cultural heritage values of the State heritage place are appropriately recognised and managed)</i>	Immediately, should damage occur.

Queensland Heritage Act 1992
Section 74 Exemption Certificate

Version 1.5 – 13 June 2025

Approved documents:

Document no.	Document title	Date
01	Charters Towers Church St Units Crossover Heritage Impact Statement <i>Prepared by Australian Heritage Specialists Pty Ltd for RJB Builders</i>	11/07/2025

Take Notice: This certificate does not exempt the applicant from the need to obtain such other approvals as may be required under other legislation.

Appendix I – Planning Scheme Assessment Benchmarks

ASSESSMENT BENCHMARKS

- General residential zone code
- Flood hazard overlay code
- Natural environment overlay code
- Development works code
- Landscaping code

6.2.1 Residential zone category

6.2.1.1 General residential zone code

6.2.1.1.1 Application

This code applies to development where the code is identified as applicable in categories of assessment and development.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

6.2.1.1.2 Purpose

- (1) The purpose of the General residential zone is to provide for:
 - (a) residential uses; and
 - (b) community uses, small-scale services, facilities and infrastructure to support local residents.
- (2) The purpose of the zone will be achieved through the following overall outcomes:
 - (a) development is low rise and consistent with the low-density character of the existing neighbourhoods within the Charters Towers urban area;
 - (b) development provides a range of residential dwelling choices including Dwelling houses, Dual occupancy and attached housing forms such as Multiple dwellings, retirement facilities, residential care facilities and Rooming accommodation;
 - (c) detached housing forms such as Dwelling houses and Dual occupancy forms are located on standard residential lot sizes;
 - (d) attached housing forms such as Multiple dwellings, residential care facilities and retirement facilities are accommodated on larger sites to ensure:
 - (i) building bulk, density and the development footprint complements the surrounding area;
 - (ii) setbacks ensure privacy and limit overshadowing on adjoining sites; and
 - (iii) sufficient open space and car parking areas are provided.
 - (e) buildings are of a scale, height and size that complement the low rise residential neighbourhood character through design elements that reduce building bulk and create an attractive streetscape;
 - (f) development creates pleasant living environments that ensure privacy, access to sunlight, open space, ventilation and natural climate control;
 - (g) development supports safe and walkable neighbourhoods that are well connected to community facilities, employment nodes, centres, open space and recreational areas, community services and educational opportunities in other zones;
 - (h) small scale non-residential uses may be supported (particularly in existing non-residential buildings) where such uses directly support the day to day needs of the immediate residential community, ensure reasonable neighbourhood amenity and do not undermine the viability of nearby centres;
 - (i) development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and active transport use;

- (j) development is supported by transport infrastructure that is designed to provide and promote safe and efficient movement including walking and cycling;
- (k) development is supported by necessary open space, recreational areas and appropriate infrastructure to support the needs of the local community;
- (l) development maintains a high level of residential amenity having regard to traffic, noise, dust, odour, lighting, overshadowing, privacy and other locally specific impacts;
- (m) development responds to land constraints, including but not limited to, former mining activities and land contamination;
 Editor's note—sites of former mining activity may be identified through the Historic Mining Permits, Resources (Mineral Occurrence and Geological Observation Data) and Abandoned Mines layers of MyMinesOnline Maps. However, proponents should be aware that the online mapping does not spatially represent all abandoned mines and their extent. Geotechnical investigation of past mining areas may reveal additional unmapped historic mine sites.
- (n) development mitigates any adverse impacts on adjoining areas of environmental significance through location, design, operation and management requirements; and
- (o) residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and other major facilities.

Table 6.2.1.1.3(a) — Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant's response
Built form		
PO1 Buildings: (a) are low rise; (b) do not create unreasonable overshadowing on adjoining residential properties; and (c) do not adversely impact on the residential character and amenity of the area.	AO1 Building height does not exceed 8.5m and 2 storeys above ground level.	Complies The development is 1 – 2 storeys in height and does not exceed 8.5m.
PO2 Residential buildings: (a) are proportionate to the size and street frontage of the site; (b) protect residential neighbourhood character; (c) provide setbacks that maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for adjoining properties;	AO2.1 Where a Multiple dwelling, Residential care facility, Retirement facility or Rooming accommodation, development is in accordance with Table 6.2.1.1.3(b)—Siting requirements.	Complies The development is compliant with front and side setbacks but seeks a performance outcome for the rear setback. Table 6.2.1.1.3(b) requires a 6m rear setback and the development proposes a 3m rear setback. The development complies with PO2 as the dwellings are proportionate in size and provide adequate rear setback that allows for light and ventilation. It is noted the subject site adjoins parkland to the rear and therefore there will be no amenity or privacy impacts to adjoining neighbours. As demonstrated on the proposed architectural plans and landscape concept plan, appropriate landscaping and open space has been provided for each unit.

		The development has a site cover of approximately 34% which further demonstrates the multiple dwelling is proportionate to the site.
	AO2.2 Where a Dual occupancy: (a) site cover is a maximum of 50% of the total site area; and (b) minimum street frontage is 30m.	N/A The development does not involve a dual occupancy.

Performance outcomes	Acceptable outcomes	Applicant's response
(d) provide for adequate open space and landscape areas; (e) reduce building bulk; and (f) allow casual surveillance of the street.	Editor's note—Setbacks for a Dwelling house and Dual occupancy are regulated in the QDC.	
Residential density		
PO3 Residential density reflects the residential character of the area.	AO3.1 Residential density is a maximum of: (a) 1 dwelling per lot where a Dwelling house (including 1 Secondary dwelling); or (b) 1 dwelling per 450m ² where Dual occupancy; or (c) 1 dwelling per 240m ² where a Multiple dwelling.	Complies The residential density of the proposal is 1 dwelling per 260m ² which complies with AO3.1.
	AO3.2 Where a Dwelling house, any Secondary dwelling is: (a) a maximum of 80m ² GFA; and (b) within 10m of the main building.	N/A The development is for a Multiple dwelling.
Open space		
PO4 Development must provide sufficient and accessible open space for resident's needs.	AO4.1 Where a Multiple dwelling, Retirement facility or Rooming accommodation, minimum open space requirements are provided in accordance with the following: (a) 30m ² private open space per ground storey dwelling with a minimum dimension of 5m in any direction; (b) for dwellings above ground storey, a balcony with a minimum area of 12m ² and a minimum dimension of 3m; and (c) development greater than 18 dwellings provides a minimum communal open space area of 50m ² with a minimum dimension of 10m.	Complies The development is for ground storey dwellings only and provides between 50m ² -200m ² in private open space with a minimum dimension of 5m in any direction.

	AO4.2 Private open space is directly adjacent to the main living area.	Complies As demonstrated on the proposed plans private open space is directly accessible from the main living area.
Design and streetscape		
PO5 Driveways and parking areas including garages must not visually dominate the street.	AO5.1 Carparking areas where a Multiple dwelling, Retirement facility or Rooming accommodation, are located behind the main building.	Complies The location of the carparking areas are in line with the units and are not dominant along the frontage as demonstrated on the proposal plans.
	AO5.2 Vehicle access is provided through a: (a) 1 paired driveway for a Dual occupancy (where not on a corner lot); (b) single driveway where a Multiple dwelling, Residential care facility, Retirement facility or Rooming accommodation.	Complies One vehicle access into the development has been provided from Church Street.
Use - Sales office		
PO6 The use does not adversely impact on the residential amenity of the surrounding land uses and local character.	AO6.1 Development of the sales office is in place for no more than two years.	N/A The development is for a multiple dwelling.
	AO6.2 The site coverage of the building is a maximum of 50% of the site area.	N/A The development is for a multiple dwelling.
	AO6.3 There are a maximum of 2 employees on- site at any one time.	N/A The development is for a multiple dwelling.

	AO6.4 The use operates between 8:00 and 18:00 Monday to Saturday and 9:00 to 13:00 on Sunday.	N/A The development is for a multiple dwelling.
Use - Food and drink outlet, Office or Shop if using an existing non-residential building		
P07 Non-residential uses within an existing non-residential building do not adversely impact on the amenity of area.	AO7 Hours of operation are limited to 7:00 – 19:00 daily.	N/A The development is for a multiple dwelling.
For all assessable development		
Design and streetscape		
P08 Development has a high-quality appearance and makes a positive contribution to the streetscape.	AO8.1 Landscaping is to be provided at a minimum dimension of 1.5m in width along the full frontage of any road.	Complies The portion of the boundary fronting Church Street has been provided with a landscaping strip containing mixed height planting with shade trees, shrubs and ground covers.
	AO8.2 For any Multiple dwelling or Retirement facility, balconies or verandah's occupy a minimum of 50% of the building facade fronting the street.	Complies As demonstrated on the proposal plans, the patios do not occupy more than 50% of the building façade fronting Church Street.
P09 Pedestrian entries: (a) are visible from the street and visitor car parking areas; (b) are separate to vehicle access points; (c) incorporate sun and rain shelter, such as overhangs or awnings; and (d) are defined by human scale design elements (such as, doors, windows, awnings, a portico, landscaping, etc).	No acceptable outcome is nominated.	Complies The development is townhouse style and the pedestrian entries to the units are separate to the carports and vehicle access points as shown on the proposal plans.

<p>PO10</p> <p>Buildings must be orientated to facilitate casual surveillance of the street and any adjoining public space.</p> <p>Editor's note—This applies to all street frontages where development fronts more than 1 street.</p>	<p>AO10</p> <p>Buildings fronting a street or public space include the following features:</p> <p>(a) large windows associated with living areas; or</p> <p>(b) balconies or verandah's.</p>	<p>Complies</p> <p>The units located along the rear boundary fronting parkland. The units have been designed to overlook the parkland with the location of the private open space and patios.</p>
<p>PO11</p> <p>Development facilitates the security of people and property having regard to:</p> <p>(a) opportunities for casual surveillance and sight lines;</p> <p>(b) exterior building design that promotes safety;</p> <p>(c) adequate lighting;</p> <p>(d) appropriate signage and wayfinding;</p> <p>(e) minimisation of entrapment locations;</p> <p>(f) clearly visible placement and location of letterboxes for identification by emergency services; and</p> <p>(g) building entrances, loading and storage areas that are well lit and lockable after hours.</p> <p>Editor's note—Applicants should have regard to <i>Crime Prevention through Environmental Design Guidelines for Queensland</i>.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>The development has been designed using crime prevention through environmental design outcomes by allowing opportunities for casual surveillance with the location of private open space, adequate lighting through the development and ensuring letterboxes are clearly visible along the frontage.</p>

<p>PO12</p> <p>Design elements contribute to an interesting and attractive building through:</p> <ul style="list-style-type: none"> (a) the provision of projections and recesses in the façade which reflect changes in internal functions of buildings; (b) variations in materials and building form; (c) modulation in the façade, horizontally or vertically; (d) articulation of building entrances and openings; (e) corner treatments to address both street frontages; (f) elements which assist in wayfinding and legibility; and (g) elements which relate to the context including surrounding buildings, parks, streets and open spaces. 	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>As shown on the proposal plans, the buildings have used design elements such as projections and recesses, variations in materials, wayfinding throughout the development and attractive open space areas.</p>
<p>PO13</p> <p>Roof form assists in reducing the appearance of building bulk by:</p> <ul style="list-style-type: none"> (a) articulating individual dwellings; and (b) incorporating variety in design through use of roof pitch, height, gables and skillions. 	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>As demonstrated on the proposal plans, there is variation in the roof form which articulates the individual units through roof pitch and the use of skillion.</p>
<p>Open space</p>		
<p>PO14</p> <p>Open space is oriented to provide adequate sunlight and prevailing breeze.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>The open space areas for the units are orientated for sunlight and natural breeze.</p>

<p>PO15</p> <p>Communal open space is:</p> <p>(a) designed to provide useable areas for communal activities such as clothes drying and social interaction; and</p> <p>(b) is not dominated by landscaping.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p> <p>The development is for 10 units and therefore communal open space is not required.</p>
<p>Amenity</p>		
<p>PO16</p> <p>Habitable spaces must not directly overlook dwellings on adjacent land.</p>	<p>AO16</p> <p>Habitable room windows of a dwelling are separated a minimum of 9m from a habitable room window or private open space of another dwelling unless:</p> <p>(a) windows have translucent glazing or sill heights of at least 1.5m; or</p> <p>(b) there is a 1.8m high dividing fence at ground level;</p> <p>(c) outlook from windows, balconies, and terraces of a dwelling is screened where screening is;</p> <p>(i) a solid translucent screen or perforated panels or trellises which have a maximum of 50% openings; and</p> <p>(ii) permanent and fixed, and designed to complement the development.</p>	<p>Complies</p> <p>A minimum of 9m building separation has been provided for habitable rooms of dwellings within the site and adjoining the site.</p>
<p>PO17</p> <p>Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on site environment and provide shading.</p> <p>Editor's note—Applicants are also referred to the Landscaping code.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>As shown on the landscape plan, landscaping has been used throughout the development to create an attractive landscape environment and provide shading opportunities throughout the site.</p>

<p>PO18</p> <p>Outdoor activity, plant equipment, waste, storage and servicing areas are screened from adjoining properties and from the street.</p>	<p>AO18</p> <p>Outdoor activity, plant equipment, waste, storage and servicing areas are:</p> <p>(a) not located adjacent to any road frontage; and</p> <p>(b) screened from public view by either:</p> <p>(i) a 1.8m high solid wall or fence, constructed in materials and colours compatible with the main building on site; or</p> <p>(ii) mature landscaping that has the same effect as a 1.8m high wall.</p>	<p>Complies</p> <p>The refuse area is setback from the street frontage and screened with landscaping and a bin enclosure.</p>
<p>Effects of development</p>		
<p>PO19</p> <p>Development responds sensitively to on site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land uses, such that:</p> <p>(a) any hazards to people or property are avoided;</p> <p>(b) any earthworks are minimised;</p> <p>(c) the retention of natural drainage line is maximised;</p> <p>(d) the retention of existing vegetation is maximised;</p> <p>(e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and</p> <p>(f) there is adequate buffering, screening or separation to adjoining development.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>The development has been designed in accordance with the site topography, minimizing earthworks where possible, facilitating appropriate connection to infrastructure and ensuring screening and landscaping where possible.</p>

<p>PO20</p> <p>Development maintains a high level of amenity within the site and minimises impacts on surrounding areas, having regard to:</p> <ul style="list-style-type: none"> (a) noise; (b) traffic and parking; (c) visual impact; (d) odour and emissions; and (e) lighting. <p>Editor's note--Applicants may be required to engage specialists to provide detailed investigations into the above matters in order to demonstrate compliance with this performance outcome.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>The design of the development provides for a high level of amenity for future residents by design elements, landscaping, location of refuse areas and ensuring appropriate lighting is provided throughout the site.</p>
<p>PO21</p> <p>All uses are located, designed, orientated and constructed to:</p> <ul style="list-style-type: none"> (a) minimise noise dust, odour or other nuisance from existing lawful uses; (b) minimise nuisance caused by noise, vibration and dust emissions generated from any state-controlled road, major road, infrastructure corridor and rail network in the vicinity; and (c) avoid areas that may place unreasonable risk to people and property from former mining activities and contaminated land. <p>Editor's note--Sites of former mining activity may be identified through the Historic Mining Permits, Resources (Mineral Occurrence and Geological Observation Data) and Abandoned Mines layers of MyMinesOnline Maps. However, proponents should be aware that the online mapping does not spatially</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p> <p>The development is for a residential use and is not occurring on contaminated land. Due to the nature of the use, there will be no nuisance from dust, odour or noise.</p>

represent all abandoned mines and their extent. Geotechnical investigation of past mining areas may reveal additional unmapped historic mine sites.		
Use - Child care centre		
PO22 Development is low impact, limited in scale and: (a) compatible with neighbouring residential uses and complementary to local character; (b) incorporates design elements that are consistent with the surrounding residential development; (c) supports the day to day needs of residents; (d) located on a site which must adequately accommodate activity needs and space requirements; and (e) does not undermine the viability of nearby centres.	No acceptable outcome is nominated.	N/A The development is for a multiple dwelling.
PO23 Development is highly accessible and is co-located with, or located close to, the commercial centre of Charters Towers or other community or recreation uses.	No acceptable outcome is nominated.	N/A The development is for a multiple dwelling.
PO24 Development does not adversely impact on the amenity of area.	AO24 Hours of operation are limited to 6.00 to 19.00 daily.	N/A The development is for a multiple dwelling.
PO25 Buildings are located on the site to maximise the residential amenity of residents and neighbours.	AO25 Buildings are setback a minimum of: (a) 6m from the front and rear boundary; and (b) 3m from the side boundary	N/A The development is for a multiple dwelling.

PO26 Development must ensure residential amenity is maintained on adjoining properties.	AO26 Development provides a 1.8m acoustic screen fence where adjoining a residential use.	N/A The development is for a multiple dwelling.
PO27 The development minimises: (a) the hazards of heavy traffic; (b) adverse impacts on the prevailing road hierarchy; and (c) on site conflict between children's activities, pedestrian movement, vehicle movement and car parking.	No acceptable outcome is nominated.	N/A The development is for a multiple dwelling.

**6.2.1.1.3 Specific benchmarks for
assessment Table 6.2.1.1.3(b) — Siting
requirements**

Element			Acceptable solutions
4.1	Minimum frontage		30m
4.2	Minimum area		1,200m ²
4.3	Maximum site cover		50%
4.4	Minimum Setbacks	Front	3m (Outer most projection and including all street frontages where a corner lot)
			5m to any garage on a street frontage
		Rear	6m (where not on a corner lot)
		Side	1.5m not including eaves
4.5	Built to Boundary walls		Limited to 1 side boundary with a maximum length 10m and maximum height 3.5m

7.2.2 Flood hazard overlay code

7.2.2.1 Application

This code applies to development where the code is identified as applicable in the categories of development and assessment for the Flood hazard overlay code and applies to any areas identified on Flood hazard overlay map OM3.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

7.2.2.2 Purpose

- (1) The purpose of the Flood hazard overlay code is to ensure that development on land subject to a defined flood¹ event² (DFE) avoids or mitigates the risk of flood hazard³ to protect people, property, the environment and economic activity and, to ensure development does not adversely affect other properties or the hydraulic efficiency of a waterway or floodplain.
- (2) The purpose of the code will be achieved through compliance with the following overall outcomes:
 - (a) development does not occur on land subject to flooding from a defined flood event unless:
 - (i) it is compatible with the level of risk having regard to flow depth, flow velocity, rate of flood level rise and the duration of the inundation;
 - (ii) the impacts of flooding can be managed such that there can be no foreseeable risk to personal safety or to property;
 - (b) development does not result in an increase in the extent or severity of flood risk to the site or other land;
 - (c) the flood storage or the conveyance of waterways and flood plains is not diminished;
 - (d) the potential for the release of hazardous material is not increased;
 - (e) development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
 - (f) essential community infrastructure is located and designed to function effectively during and immediately after a flood hazard event.

Editor's notes—

1. The term 'flood' is used to describe the temporary inundation of land by expanses of water that overtop the natural or artificial banks of a creek, river, lake or estuary resulting from prolonged or intensive rainfall in the catchments of these water bodies.
2. The term 'defined flood event' or DFE is used to describe level of a 1% annual exceedance probability (AEP) event (including an allowance for climate change) where determined by a flood assessment. It should be noted that higher flood events than the DFE can occur.
3. Site specific flood hazard assessments are required to demonstrate compliance with aspects of this overlay code. Refer also to the Natural hazard TPP.
4. For the purposes of section 13 of the *Building Regulation 2006*:
 - (a) The area covered by the flood overlay map is the designated flood hazard area;
 - (b) The defined flood level is the level to which flood waters would reasonably be expected to rise within the flood hazard area during the defined flood event.

7.2.2.3 Specific benchmarks for assessment

Table 7.2.2.3(a) — Assessable development

Performance outcomes	Acceptable outcomes	Comment
Siting of development		
PO1 Development: (a) does not provide unacceptable risks to people and property from flood hazard impacts or, the risks are mitigated to an acceptable or tolerable level; and (b) does not intensify or locate a use in an extreme or high hazard area, in order to avoid risks to people, property and the environment.	No acceptable outcome is nominated.	Complies There is a marginal portion of the site impacted by flooding and the development has been designed to be built above the 1% AEP where impacted on the site. It is noted that the development is not located within an extreme or high hazard area.
PO2 Development is sited to enable safe evacuation in the event of a flood.	No acceptable outcome is nominated.	Complies Future residents of the development will be able to safely evacuate the site in the event of a flood.
PO3 Signage is provided within flood hazard areas to alert residents and visitors to the flood hazard.	AO3 Signage is provided on site (regardless of whether the land is in public or private ownership) indicating: (a) the position and path of all safe evacuation routes off the site; and (b) if the site contains or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points such as floodway crossings or entrances to low-lying reserves.	Complies Signage can be provided on the side to ensure safe evacuation can occur. This can be conditioned if required.
Reconfiguring a lot		

Performance outcomes	Acceptable outcomes	Comment
PO4 The siting, layout and design of lot reconfiguration avoids or mitigates the adverse impacts associated with flooding to protect the safety of people and property.	No acceptable outcome is nominated.	N/A The development is not reconfiguring a lot.
PO5 Road and pathway layout ensures residents are not physically isolated from adjacent flood free urban areas and provides a safe and clear evacuation route.	No acceptable outcome is nominated.	N/A The development is not reconfiguring a lot.
Building floor levels		
PO6 The floor levels of sensitive land uses have an acceptable level of flood immunity to maintain the safety of people from flood hazard impacts. Editor's note–The grouping of land uses known as 'sensitive land uses', as referenced throughout this Town plan is found in section SC1.2 Administrative terms.	AO6.1 Habitable rooms have a minimum floor level at least 0.3m above the DFE.	Complies The dwellings will be constructed to be built 0.3m above the defined flood event and this can be conditioned.
	AO6.2 Floor levels of non-habitable rooms (other than Class 10 buildings) are above the DFE, or allow for the flow through of floodwaters on the ground floor.	Complies The dwellings will be constructed to be built 0.3m above the defined flood event and this can be conditioned.
	AO6.3 Where involving an extension to an existing residential use that has habitable rooms below the level referred to in AO6.2, any extension does not exceed 25m ² GFA.	N/A The development is not for an extension of an existing residential use.
PO7 Non-residential development is designed and located to minimise damage to property and contents from flooding impacts.	No acceptable outcome is nominated.	N/A The development is for a residential use.

Performance outcomes	Acceptable outcomes	Comment
Earthworks		
PO8 Development including any earthworks must: <ul style="list-style-type: none"> (a) not adversely impact on or change the flood characteristics of a floodplain or waterway; (b) not reduce existing flood storage and flow capacity; (c) avoid any physical change to a floodplain or natural waterway; (d) avoid increased scour and erosion; (e) not increase the depth, velocity or direction of the flow, the rate of flood level rise or the duration of inundation on the site or on land external to the site; and (f) not remove any riparian or riverine vegetation. 	No acceptable outcome is nominated.	Complies Where earthworks are required to facilitate the development, this will not impact on the flow of flood waters or change the floodplain. This can be conditioned.
Hazardous materials		
PO9 Public safety and the natural environment are not adversely affected by the impacts of floodwater on hazardous materials manufactured or stored in bulk.	AO9.1 Development does not involve the manufacture or storage of hazardous materials within a flood hazard area.	N/A The development is for a residential use.
	AO9.2 Where it can be demonstrated that there is a low or medium flood risk, the manufacture or storage of hazardous materials takes place above the DFE flood levels.	N/A The development is for a residential use.

Performance outcomes	Acceptable outcomes	Comment
	Editor's note—A site specific flood hazard assessment is required to demonstrate compliance with this performance criterion. Refer to the Natural hazards TPP.	
Intensive animal industry		
PO10 The use of land for intensive animal husbandry does not establish or intensify in a flood hazard area, in order to avoid risk to the environment.	AO10 Intensive animal husbandry, including the storage of bulk food and any associated water treatment facilities, does not occur on land below the DFE.	N/A The development is for a residential use and not for intensive animal industry.
Essential community infrastructure Editor's note—The term essential community infrastructure is defined in the State Planning Policy.		
PO11 Essential community infrastructure is able to function effectively during and immediately after flood events.	AO11 Community infrastructure is provided at or above the recommended flood level specified in Table 7.2.2.3(b)—Recommended flood levels of community infrastructure.	N/A The development is for a residential use and not essential community infrastructure.
PO12 Essential services infrastructure (e.g. on site electricity, gas, water supply, sewerage and telecommunications) maintains its function during and immediately after a DFE flood event.	AO12 Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood water (e.g. electrical switchgear and motors, water supply pipeline air valves) are: (a) located above the DFE; or (b) designed and constructed to prevent floodwater intrusion/infiltration.	N/A The development is for a residential use and not essential community infrastructure.
Emergency management		
PO13	No acceptable outcome is nominated.	Complies The development will not impact on or hinder disaster management capabilities.

Performance outcomes	Acceptable outcomes	Comment
Development in flood hazard areas supports and does not hinder disaster management capacity and capabilities.		

Table 7.2.2.3(b) — Recommended flood levels for community infrastructure

Development	Level of annual exceedance probability (AEP) of flood immunity
Development involving: (a) emergency services; and (b) hospitals and associated facilities.	0.2% AEP flood event
Development involving: (a) emergency/evacuation shelters; (b) the storage of valuable records or items of historic/cultural significance (e.g. libraries, galleries); (c) aeronautical facilities; (d) telecommunication facilities; (e) substations; (f) water treatment plants; (g) regional fuel storage; (h) food storage warehouse; and (i) Retirement facility and Residential care facility.	0.5% AEP flood event
Sewerage treatment plants (requiring licensing as an environmentally relevant activity).	1% AEP flood event

7.2.4 Natural environment overlay code

7.2.4.1 Application

This code applies to development where the code is identified as applicable in the categories of development and assessment for the Natural environment overlay code and applies to any areas identified on Natural environment overlay map OM5.

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

7.2.4.2 Purpose

- (1) The purpose of the Natural environment overlay code is to:
 - (a) protect important environmental areas including those Matters of State Environmental Significance (MSES) and their associated ecological processes and biodiversity values;
 - (b) maintain or enhance the health and resilience of biodiversity to support ecological integrity;
 - (c) maintain or enhance ecological connectivity to preserve fauna movement, habitat values, remnant vegetation and ecological processes;
 - (d) protect or enhance water quality, ecosystem health and the natural hydrological functioning of waterways, wetlands and their riparian areas and buffers; and
 - (e) protect, rehabilitate and manage biodiversity and ecosystem services values.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids adverse impacts on MSES and their associated ecological processes and biodiversity values, unless:
 - (i) it is demonstrated that MSES do not exist on the site; or
 - (ii) where adverse environmental impacts cannot be avoided, impacts are minimised and an environmental offset is provided for any residual adverse impacts and a net environmental benefit is achieved;
 - (b) development avoids direct and indirect impacts resulting in species or habitat loss or disturbance, soil degradation or pollution due to vegetation clearing, erosion and contamination, salinity, waste disposal or modification to natural processes;
 - (c) fragmentation of remnant vegetation, ecological corridors and existing habitat is avoided to maintain ecological function and biodiversity values and to maintain or increase the resilience of ecosystems and habitat to threatening processes, including the impacts of climate change;
 - (d) a network of connecting corridors and linkages between areas supporting MSES, wetlands, waterways, remnant vegetation, habitat areas and other natural areas are maintained, created or restored;
 - (e) development including infrastructure, is designed and located to maintain and enhance continuity of wildlife movement and ecological processes;
 - (f) the hydrological regime of wetlands and waterways is protected and rehabilitated;

- (g) development avoids encroachment or expansion into sensitive habitats along riparian areas unless it is for management of public access, recreation, public use or other public benefit;
- (h) development maintains sustainable community access to waterways, national parks and other land in protected area estates;
- (i) development incorporates and maintains appropriate buffers in accordance with minimum best practice distances so as to avoid adverse impacts on environmental values;
- (j) development maintains or enhances the scenic amenity of important natural landscapes, views and vistas.

Editor's note—Matters of national environmental significance are regulated the *Environmental Protection and Biodiversity Conservation Act 1999*.

7.2.4.3 Specific benchmarks for assessment

Table 7.2.4.3 — Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicant's response
Environmental protection and buffering		
PO1 Development maintains and protects and MSES by: <ul style="list-style-type: none"> (a) locating in areas that avoid adverse impacts on MSES; or (b) where adverse environmental impacts cannot be avoided, impacts are minimised and an environmental offset is provided for any residual adverse impacts; and (c) the underlying ecological processes and biodiversity values of MSES are maintained or enhanced. Editor's note— <ul style="list-style-type: none"> (i) to assist in demonstrating achievement of an environmental and ecological assessment may be required to demonstrate compliance with this performance criterion; (ii) where it is demonstrated that adverse impacts cannot be avoided or minimised, significant residual impacts on matters of state environmental significance may require an offset in accordance in accordance with the <i>Environmental Offsets Act 2014</i>. 	AO1 Development locates outside of an area supporting MSES as shown on map OM5.	Complies The development site no longer contains MSES and is located within an urban area.

Performance outcomes	Acceptable outcomes	Applicant's response
Buffers		
PO2 Development is setback from and provides an adequate vegetated buffer to areas containing MSES to: <ul style="list-style-type: none"> (a) protect these areas and their values from threatening processes; (b) avoid edge effects such as undesirable microclimate effects and threats from non-native or pest fauna or flora; and (c) maintain and enhance ecological connectivity. 	AO2 A buffer extending from the outside edge of an area of MSES is provided and has a minimum width of 200m where located outside an urban zone.	N/A The subject site is located within an urban area.
PO3 An adequate buffer to a wetland in a MSES area is provided and maintained to: <ul style="list-style-type: none"> (a) protect or enhance habitat values, connectivity and other ecological processes and values; (b) protect water quality and aquatic conditions; (c) maintain natural micro-climatic conditions; (d) maintain natural hydrological processes; (e) prevent mass movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and (f) prevent loss or modification of chemical, physical or biological properties or functions of soil. 	AO3 A vegetated and development free buffer is provided and maintained extending from the high bank of the following: <ul style="list-style-type: none"> (a) 100m wide buffer to a river; or (b) 50m wide buffer to waterway. 	N/A The development is not located next to
PO4 Isolated habitat areas are linked by a continuous corridor to provide effective ecological connectivity and to create additional linkages along waterways, wetlands, drainage lines, ridgelines, and other areas where possible.	AO4 Development provides a continuous corridor with a minimum width of 100m linking areas of protected vegetation to each other and other vegetation areas off site.	Complies The subject site is located within an urban area surrounded by development and therefore does not isolate habitat areas.

Assessable development		
General		
P05 Alterations to natural landforms, hydrology and drainage patterns do not adversely impact on areas containing MSES.	No acceptable outcome is nominated.	Complies The development does not alter the natural landform of the site.
P06 Development retains and enhances riparian vegetation along watercourses and drainage corridors, and vegetation along timbered ridgelines.	No acceptable outcome is nominated.	Complies The watercourse adjoining the site is a concrete drain allowing the water the flow through and does not contain any riparian vegetation.
P07 Development avoids direct and indirect impacts on significant ecological communities and significant species and their habitats, including disturbance from the presence of vehicles, pedestrian use, increased exposure to domestic animals, noise and lighting impacts.	No acceptable outcome is nominated.	Complies The development avoids direct and indirect impacts on significant ecological communities. The site is within a buffer area for the watercourse which is a concrete drain and no longer contains significant species and habitats.
P08 Areas of habitat that support a critical life cycle stage such as feeding, breeding or roosting or ecological function for threatened species, ecological communities or migratory species are protected and not impacted by development.	No acceptable outcome is nominated.	Complies As detailed above, the development adjoins a concrete drain which no longer contains areas of habitat or significant ecological function.
P09 Buffering, rehabilitation or restoration protects and enhances MSES and their underlying ecological processes, habitat and biodiversity values by: (a) using site appropriate and locally occurring native species; (b) replicating as far as practicable, the species composition and structural components of healthy remnant vegetation and associated habitats, including understorey vegetation; and	No acceptable outcome is nominated.	Complies As detailed above, the development adjoins a concrete drain which no longer contains area of biodiversity values and therefore rehabilitation or restoration is not proposed.

(c) excluding environmental weeds, declared plants and other non-native plants likely to displace native flora or fauna species or degrade habitat.		
PO10 Development: (a) avoids the introduction of pest species (plant or animal) that pose a risk to the ecological integrity and biodiversity values of MSES; and (b) includes appropriate pest management practices to control any existing threat of pest species in a way that provides for the long term ecological integrity of MSES.	No acceptable outcome is nominated.	Complies The development will not include the introduction of pest species that would pose a risk to any biodiversity values of the surrounding area.
Ecological corridors		
PO11 Development protects an ecological corridor through: (a) enhancing ecological connectivity and habitat extent; and (b) effectively linking habitats on and/or adjacent to the site. Editor's note—Ecological corridors and habitat linkages have dimensions and characteristics to support: (i) ecological processes and functions that enable the natural change in distributions of species and provide connectivity between populations of species over long periods of time; (ii) ecological responses to climate change; (iii) connectivity between large tracts and patches of remnant vegetation, habitat areas and areas supporting MSES; and (iv) effective and unhindered day-to-day and seasonal movement of avian, terrestrial and aquatic fauna.	No acceptable outcome is nominated.	Complies Although the site is mapped within areas of MSES, the site no longer contains an ecological corridor. The waterway is a concrete drain and the surrounding area has been developed removing any ecological corridors or connectivity. The proposed development is consistent with the locality and does not require any ecological connectivity or linking habitats.

Wetland ecological values		
PO12 Development involving the clearing of vegetation protects the biodiversity, ecological values and processes, and hydrological functioning of a wetland area, including: (a) water quality values; (b) aquatic habitat values; (c) terrestrial habitat values; and (d) usage of the site by native wetland fauna species or communities.	No acceptable outcome is nominated.	N/A The subject site is not located within a wetland.
Wetland hydrology and stormwater management		
PO13 The existing surface water hydrological regime of the wetland is enhanced or maintained through: (a) providing a net ecological benefit and improvement to the environmental values and functioning of a wetland in a wetland protection area; or (b) rehabilitating the existing hydrological regime or restore the natural hydrological regime of a wetland.	No acceptable outcome is nominated.	N/A The subject site is not located within a wetland.
Land degradation		
PO14 Development avoids land degradation in a wetland area, including: (a) mass soil movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and (b) loss or modification of chemical, physical or biological properties or functions of soils.	No acceptable outcome is nominated.	N/A The subject site is not located within a wetland.
PO15 Degraded areas supporting MSES or other environmental values important to the maintenance of underlying ecological processes required to maintain biodiversity, are rehabilitated	No acceptable outcome is nominated.	Complies As detailed above, the development adjoins a concrete drain which no longer contains area of biodiversity values and therefore rehabilitation or restoration is not proposed.

as near as is practical to the naturally occurring state of native plant species and ecological communities.		
Monitoring		
PO16 During construction and operation of development, ongoing management, monitoring and maintenance is undertaken to ensure impacts on areas supporting MSES and their underlying ecological processes and biodiversity values are avoided or minimised.	No acceptable outcome is nominated.	Complies Construction and operation can be conditioned.
Environmental Offsets		
PO17 Where development cannot reasonably avoid impacts on MNES or MSES, any unavoidable impacts should be minimised and offset, in accordance with the <i>Environmental Offsets Regulation 2014</i> .	No acceptable outcome is nominated.	N/A Environmental offsets for the development are not required.

8.3 Other development codes

8.3.1 Development works code

8.3.1.1 Application

This code applies to development identified as requiring assessment against the Development works code by the tables of assessment in Part 5 (Tables of assessment).

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.3.1.2 Purpose

- (1) The purpose of the Development works code is to:
 - (a) ensure all development is provided with appropriate infrastructure, parking spaces and services;
 - (b) ensure development manages stormwater and wastewater as part of the integrated total water cycle and in ways that help protect the environmental water values specified in the *Environmental Protection (Water) Policy 2009* and the Stormwater Management Design Objectives in the State Planning Policy;
 - (c) protect surface water and ground water; and
 - (d) ensure development is designed, constructed, operated and maintained to eliminate any adverse impacts on the environment and the amenity of the locality.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development is adequately serviced by utility and access infrastructure including roads, water, waste water, power, telecommunications, stormwater management and waste management;
 - (b) the integrity and efficiency of utility and access infrastructure systems is maintained;
 - (c) environmental values of receiving waters are protected from adverse development impacts arising from stormwater quality and flow;
 - (d) environmental values of receiving waters are protected from waste water impacts;
 - (e) public health and safety are protected and damage or nuisance caused by stormwater is avoided;
 - (f) stormwater management works is designed to maintain or recreate natural hydrological processes and minimise run-off;
 - (g) the function, safety and efficiency of the transport network is optimised;
 - (h) development within close proximity to existing or future public passenger transport facilities supports an integrated approach to land use and transport integration;
 - (i) development provides adequate on site vehicular access and adequate parking and servicing facilities for vehicles and parking facilities for bicycles;

- (j) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and meet the reasonable demands generated by the development;
- (k) provision of safe and non-discriminatory public and pedestrian access is provided;
- (l) works in public streets and spaces enhance the pedestrian amenity and improve streetscape appearance;
- (m) earthwork does not impact adversely on the amenity of the site or the surrounding area and does not result in increased flooding, drainage and soil erosions problems on upstream and downstream property; and
- (n) development provides for the storage of generated waste in an environmentally acceptable manner and waste storage facilities are functionally appropriate for users of the facilities.

8.3.1.3 Specific benchmarks for assessment

Table 8.3.1.3(a) — Accepted development subject to requirements and assessable development

Performance outcomes	Acceptable outcomes	Applicants response
Utility infrastructure and services		
PO1 Development is serviced by an adequate, safe and reliable supply of potable and general use water, connected to reticulated water supply where possible.	AO1 Development is: (a) connected to Council's reticulated water supply network, including the installation of easily accessed water meters, in accordance with the <i>Development works Town plan policy</i> ; or (b) if connection to Council's reticulated water supply network is not possible, a potable on site water supply is provided in accordance with the <i>Development works Town plan policy</i> .	Complies The development will be connected to the reticulated water supply network.
PO2 Development is serviced by appropriate waste water disposal infrastructure which ensures: (a) no adverse ecological impacts on the receiving environment; (b) cumulative impacts of onsite waste water treatment are considered in assessing the likely environmental impacts; (c) public health is maintained;	AO2 Development is: (a) connected to Council's reticulated sewerage treatment system, in accordance with the <i>Development works Town plan policy</i> ; or (b) if connection to Council's reticulated sewerage treatment system is not possible, waste water is treated in accordance with <i>Development works Town Plan Policy</i> .	Complies The development will be connected to the reticulated sewerage treatment system.

Performance outcomes	Acceptable outcomes	Applicants response
<p>(d) the location, site area, soil type and topography is suitable for on site waste water treatment; and</p> <p>(e) the reuse of waste water does not contaminate any surface water or ground water.</p>		
<p>PO3 Electricity supply network and telecommunication service connections are provided to the site and are connected.</p>	<p>AO3.1 The development is connected to electricity and telecommunications infrastructure in accordance with the standards of the relevant regulatory authority prior to the commencement of any use of the site.</p>	<p>Complies The development will be connected to electricity and telecommunications infrastructure.</p>
	<p>AO3.2 Where not included in the development, provision is made for future telecommunications services (such as fibre optic cable) in accordance with the standards of the relevant regulatory authority.</p>	<p>Complies Provision can be made for future telecommunications services where required.</p>
<p>Stormwater management</p> <p>Editor's note–Refer also to the Stormwater management design objectives in the State planning policy.</p>		
<p>PO4 Stormwater management is designed and operated to ensure that adjoining land and upstream and downstream areas are not adversely affected through any ponding or changes in flows:</p> <p>(a) ensure that adjoining land and upstream and downstream areas are not adversely affected through any ponding or changes in flows; and</p> <p>(b) direct stormwater to a lawful point of discharge through competently designed and constructed outlet works in a manner that reflects the predevelopment status.</p> <p>Editor's note– Stormwater quality must meet the design objectives within the <i>Development works Town plan policy</i>.</p>	<p>AO4.1 Development does not result in an increase in flood level or flood duration on upstream, downstream or adjacent properties.</p>	<p>Complies The development will not result in an increase in flood level and will connect into the stormwater system. A lawful point of discharge can be conditioned as part of the development approval.</p>
	<p>AO4.2 Stormwater (including roof and surface water) is conveyed to the kerb and channel or other lawful point of discharge in accordance with the requirements of the <i>Development works Town plan policy</i>.</p>	<p>Complies A lawful point of discharge can be conditioned as part of the development approval.</p>
	<p>AO4.3 Stormwater runoff from all impervious areas (roof, pavements, etc) are not permitted to flow or discharge over adjoining properties.</p>	<p>Complies Stormwater runoff will not discharge into adjoining properties and a lawful point of discharge can be conditioned as part of the development approval.</p>

Earthworks		
PO5 Earthworks are undertaken in a manner that: (a) prevents any worsening of soil erosion or water quality on the site, any adjoining land, or land upstream or downstream of the site; (b) produces stable landforms and structures; (c) maintain natural landforms where possible; (d) minimise the height of any batter faces; (e) does not unduly impact on the amenity or privacy for occupants of the site or on adjoining land or on the amenity of the streetscape; (f) does not result in the contamination of land or water; and (g) avoids risk to people and property.	AO5.1 Earthworks comply with the <i>Development works Town plan policy</i> .	Complies Any earthworks required to facilitate the development will comply with the Development work Town plan policy.
	AO5.2 The extent of filling or excavation does not exceed 40% of the site area or 500m ² , whichever is lesser.	Complies The extent of filling and excavation does not exceed 500m ² of the site area.
	AO5.3 Excavating or filling is no greater than 1m in height or depth.	Complies Any filling or excavation will not be greater than 1m in height or depth.
	AO5.4 Batters have a maximum slope of 25%, are terraced at every rise of 1.5m and each terrace has a depth of 0.75m.	Complies No batters have been proposed as part of the development.
	AO5.5 No contaminated material is used as fill.	Complies No contaminated material will be used as fill and this can be conditioned.
PO6 Retaining walls are designed to minimise visual impact through: (a) setbacks from any boundary; and (b) being stepped or terraced to accommodate landscaping.	AO6.1 The combined height of any retaining walls and fences does not exceed 2m.	Complies The development does not include a combined retaining wall and fence exceeding 2m.
	AO6.2 A retaining wall is set back at least half the height of the wall from any boundary of the site.	Complies The development does not include retaining walls along the boundaries of the site.
	AO6.3 Retaining walls over 1.5m are stepped 0.75m for every 1.5m in height, terraced and landscaped.	Complies The development does not include any retaining walls exceeding 1.5m in height.
	AO6.4 Design and construction of retaining walls over 1m in height are certified by a Registered Professional Engineer of Queensland.	Complies The development does not include retaining walls over 1m in height.
PO7 The excavation, filling or laying of pipes within the vicinity of electricity supply infrastructure must not create damage or hazard. Editor's note—Development involving filling, excavation or laying of metal pipes on land contiguous to electricity	AO7.1 Excavation or filling does not occur within: (a) 10m of any tower, pole, foundation, ground anchorage or stay supporting electric lines or associated equipment; (b) 5m of a substation site boundary; (c) 2m of a padmount substation; or	Complies Any filling or excavation will not occur near any infrastructure.

supply infrastructure should be referred to the relevant electricity entity for safety advice on the proposed development.	(d) 1m of a padmount transformer or an underground cable.	
	A07.2 The laying of metal pipes does not occur within: (a) 5m of any pole, tower, foundation, ground anchorage or stay supporting electric lines or associated equipment; (b) 15m of any substation site boundary; or (c) 5m of, and parallel to, an electric line shadow.	Complies The laying of any pipes will not occur near any electricity infrastructure.
Parking and access		
PO8 Development includes the provision of adequate and convenient car parking on site to satisfy the anticipated requirements of the land use or activity.	A08 Car parking is provided in accordance with Table 8.3.1.3(b)–Car parking requirements.	Complies Car parking has been provided in accordance with Table 8.3.1.3(b).
PO9 Development provides end of trip facilities for people engaging in active transport (bicycle and pedestrian): (a) to meet the needs of users and promote active modes of travel; (b) at convenient, easily identifiable, safe locations; and (c) in locations that do not obstruct vehicular, bicycle or pedestrian movement paths.	A09 Development provides cycling and pedestrian end of trip facilities, in accordance with the requirements of the <i>Development works Town plan policy</i> .	N/A The development is for a residential use and any cycling facilities can be provided within the units.
PO10 Access driveways are designed and constructed to: (a) provide convenient access to the site and maintain the safety and efficiency of the road; (b) minimise conflicts with traffic and pedestrians; and (c) are constructed to a standard that is appropriate to the location and to meet the anticipated volume and type of traffic.	A010.1 Access driveways are designed and constructed in accordance with the relevant <i>Development works Town plan policy</i> .	Complies Access to the site has been provided off Church Street and has been designed in accordance with Development works Town plan policy and this can be conditioned as part of any approval.
	A010.2 Access driveways allow vehicles (with the exception of Dwelling house and Dual occupancy) to enter and exit the site in a forward gear.	Complies As shown on the proposal plans, access to the site and each individual unit will be able to enter and exit in a forward gear.

PO11 Vehicle movement areas (including internal driveways, access aisles, maneuvering areas, car parks and service bays) are designed to ensure: <ul style="list-style-type: none"> (a) a gradient appropriate for the type of vehicles; (b) effective stormwater drainage; (c) clearly marked and signed spaces; (d) convenience and safety for drivers and pedestrians; and (e) adequate dimensions to meet user requirements, including access and egress for emergency vehicles. 	AO11 Maneuvering, queuing, loading and unloading areas, and parking areas are: <ul style="list-style-type: none"> (a) designed and constructed in accordance with the Development works Town plan policy; and (b) certified by a Registered Professional Engineer of Queensland. 	Complies The development has been designed in accordance with the Development works Town plan policy for maneuvering and parking areas.
PO12 Footpaths in the road reserve are provided along all road frontages and are paved in durable and stable materials matching any adjacent development footpaths.	AO12 Footpaths are: <ul style="list-style-type: none"> (a) provided for the full width and length of all road frontages; (b) designed and constructed in accordance with the requirements of the Development works Town plan policy; and (c) certified by a Registered Professional Engineer of Queensland. 	Complies A concrete pathway will be provided along the full length of the road frontage and will be designed in accordance with the Development works Town plan policy and this can be conditioned.
PO13 Pedestrian access to buildings: <ul style="list-style-type: none"> (a) do not obstruct pedestrian movement (or form physical clutter) on public footpaths; (b) are not visually overbearing (or form visual clutter) in the streetscape; and (c) provide safe, efficient and convenient access including wheelchair access. 	AO13 Steps, escalators, ramps and lifts are: <ul style="list-style-type: none"> (a) located wholly within the site; and (b) setback a minimum of 1.5m from the front boundary. 	N/A The development does not include steps, escalators, ramps and lifts.
Acoustic and air quality		
PO14 Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust or other emissions.	AO14 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2008, as amended</i> . Editor's note–To achieve compliance, development is planned, designed and managed to ensure emissions from	Complies The development is for a residential use and will not impact on air quality.

	activities achieve the appropriate acoustic objectives (measured at the receptor dB(A)).	
PO15 Development prevents or minimises the generation of any noise so that: (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses; and (b) desired ambient noise levels in residential areas are not exceeded.	AO15 Development achieves the noise generation levels set out in the <i>Environmental Protection (Noise) Policy 2008, as amended</i> .	Complies The development is for a residential use and will not exceed noise generation levels that will cause nuisance to adjoining premises or other nearby sensitive land uses.
PO16 Development adjacent to State controlled roads or Council controlled arterial road minimise nuisance caused by noise, vibration and dust emissions.	AO16 Development complies with the requirements of the Department Main Roads - Road Traffic Noise Management Code of Practice and the <i>Environmental Protection (Noise) Policy 2008</i> .	N/A The development is not located adjacent to a State controlled road.
Lighting		
PO17 External lighting is provided in urban areas to ensure a safe environment.	AO17 Technical parameters, design, installation, operation and maintenance of outdoor lighting complies with the requirements of <i>AS4282 – Control of the Obtrusive Effects of Outdoor Lighting</i> .	Complies External lighting will be provided and this can be conditioned as part of any development approval.
Waste management		
PO18 Development: (a) minimises waste generation (including construction, demolition and operational waste); and (b) provides adequate facilities on site for the storage of waste and recyclables.	AO18 Waste storage and management arrangements are sited, screened and designed in accordance with the <i>Development works Town plan policy</i> .	Complies The development provides waste storage and management for a residential use in accordance with the Development works Town plan policy.
PO19 Development is designed to allow for safe and efficient servicing of waste and recycling containers through: (a) a development layout that facilitates direct and unobstructed servicing of waste and recycling containers; and	AO19 Waste and recycling collection services are provided in accordance with the <i>Development works Town plan policy</i> .	Complies Waste and recycling collection services are provided in accordance with the Development works Town plan policy and this can be conditioned as part of the development approval.

(b) minimising the potential for nuisances to be caused by way of noise and odour.		
For all assessable development		
General		
PO20 Where buildings and structures are located on multiple lots, these are amalgamated to form one lot.	No acceptable outcome specified.	Complies The subject site is over 2 allotments and these will be amalgamated. This can be conditioned as part of the development approval.
Wastewater management		
PO20 Wastewater is managed to: (a) avoid wastewater discharge to any waterway; or (b) if wastewater discharge to waterways cannot be practically avoided, discharge is minimised to an acceptable level by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater. Editor's note--Wastewater is defined in accordance with <i>Environmental Protection (Water) Policy 2009</i> , schedule 2). A wastewater management plan (WWMP) is prepared by a suitably qualified person and addresses: (i) wastewater type; and (ii) climatic conditions; and (iii) water quality objectives (WQOs); and (iv) best-practice environmental management.	No acceptable outcome specified.	Complies Wastewater will not discharge into any waterway and will appropriately managed to a lawful point of discharge which can be conditioned.
PO21 Wastewater discharge maintains ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health including: (a) protecting applicable water quality objectives for the receiving waters; (b) managing soil disturbance or altering natural hydrology in coastal areas; and (c) avoiding or minimising the release of nutrients of concern.	No acceptable outcome specified.	Complies Any wastewater discharge will flow to a lawful point of discharge and not impact on ecological processes. This can be conditioned as part of the development approval.

Stormwater management		
<p>PO22</p> <p>Stormwater management systems:</p> <p>(a) implement Water Sensitive Urban Design (WSUD) principles that:</p> <ul style="list-style-type: none"> (i) protect natural systems and waterways; (ii) allow for the detention of stormwater instead of rapid conveyance; (iii) minimise impervious areas; (iv) utilise stormwater to conserve potable water; (v) integrate stormwater treatment into the landscape; (vi) ensure water quality values are protected; <p>(b) must be economically maintained for the life of the system;</p> <p>(c) provide for safe access and maintenance; and</p> <p>(d) maintain natural drainage lines and adequate filtering and settlement of sediment for the protection of watercourses, wetlands from point sources and non-point source stormwater discharges.</p>	<p>AO22</p> <p>Stormwater management systems are designed and constructed in accordance with the <i>Development works Town plan policy</i>.</p> <p>Editor's note—A site Stormwater Quality Management Plan (SQMP) is prepared in accordance with <i>Development works Town plan policy</i>.</p>	<p>Complies</p> <p>The development will connect to a lawful point of discharge and will be designed in accordance with the Development works Town plan policy. This can be conditioned as part of a development approval.</p>
<p>PO23</p> <p>Development allows for sufficient site area to accommodate an effective stormwater management system.</p>	<p>No acceptable outcome specified.</p>	<p>Complies</p> <p>The subject site has a sufficient site area to accommodate an effective stormwater management system if required. This can be conditioned as part of the development approval.</p>
<p>PO24</p> <p>Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to:</p> <ul style="list-style-type: none"> (a) existing capacity of stormwater infrastructure and ultimate catchment conditions; (b) discharge for existing and future upstream development; and 	<p>No acceptable outcome specified.</p>	<p>Complies</p> <p>The development will connect to a lawful point of discharge and will allow for orderly development of stormwater infrastructure as the site is located within an existing urban area. This can be conditioned as part of the development approval.</p>

(c) protecting the integrity of adjacent and downstream development.		
PO25 Major stormwater drainage network elements are designed and constructed with the capacity to control stormwater flows under normal and minor system blockage conditions for the applicable defined flood event ensuring there is no damage to property or hazards for motorists.	AO25 Stormwater infrastructure is designed in accordance with the requirements of the <i>Development works Town plan policy</i> .	Complies The development will provide stormwater infrastructure in accordance with the Development works Town plan policy and can be conditioned.
PO26 Reconfiguration of lots includes stormwater management measures in the design of any road reserve, streetscape or drainage networks to: (a) minimise impacts on the water cycle; (b) protect waterway health by improving stormwater quality and reducing site run-off; and (c) avoid large impervious surfaces.	No acceptable outcome specified.	N/A The development is not for a reconfiguration of a lot.
PO27 Construction activities for the development avoids or minimise adverse impacts on stormwater quality by: (a) achieving the post construction stormwater management design objectives for pollution load reductions for Western Queensland (TSS 85% TP 60% TN 45% and 90% Gross pollutants) and or In lieu of modelling, the default bio-retention treatment area of 1.5 per cent of the contributing catchment area; and (b) the waterway stability management design objective: limit the peak 1-year ARI event discharge within the receiving waterway to the pre-development peak1-year ARI discharge. An Erosion and Sediment Control Plan (ESCP) is prepared by a suitably qualified person that demonstrates:	AO27 Stormwater quality achieves the stormwater design objectives of the <i>Development works Town plan policy</i> .	Complies The development will be able to achieve stormwater quality design in accordance with the Development works Town plan policy and can be conditioned.

<p>(a) erosion and sediment control practices (including any proprietary erosion and sediment control products) are designed, installed, constructed, operated, monitored and maintained, and any other erosion and sediment control practices are carried out in accordance with local conditions; or</p> <p>(b) how stormwater quality will be managed in accordance with an acceptable regional or local guideline so that target contaminants are treated to a design objective at least equivalent of this Performance outcome.</p>		
Earthworks		
<p>PO28 Earthworks associated with roads:</p> <p>(a) maintain the efficiency of the road network;</p> <p>(b) do not adversely impact upon residents or road infrastructure; and</p> <p>(c) do not obstruct access to the site.</p>	No acceptable outcome specified.	<p>N/A The development does not include any earthworks associated with roads.</p>
<p>PO29 Development in the Rural zone and Rural residential zone manages soil erosion and sedimentation by:</p> <p>(a) avoiding land clearing or earthworks in the riparian corridor to a designated stream;</p> <p>(b) minimising the extent of disturbance on, or the stabilisation of slopes steeper than 10%; and</p> <p>(c) managing and controlling surface drainage by using natural flow paths.</p>	No acceptable outcome specified.	<p>N/A The subject site is located within the General residential zone.</p>
<p>PO30 Any disturbed areas within the site are to be progressively rehabilitated through appropriate earthworks and involve the:</p> <p>(a) grading and reshaping of the disturbed areas to provide controlled and stable drainage flow paths;</p>	No acceptable outcome specified.	<p>Complies This can be conditioned as part of any development approval.</p>

<p>(b) construction of drainage paths which divert high velocity flows away from disturbed areas;</p> <p>(c) re-spreading of stored topsoil stripped from the site prior to commencement of construction works; and</p> <p>(d) planting of the disturbed area with native species of grasses, ground covers and trees and placing mulch in between on the surface.</p> <p>Editor's note—Applicants may be required to engage specialists to prepare a rehabilitation plan.</p>		
Land use and transport integration		
<p>PO31</p> <p>Development:</p> <p>(a) supports a road hierarchy which facilitates efficient movement of all transport modes; and</p> <p>(b) appropriately integrates and connects with surrounding movement networks.</p> <p>Editor's note—Refer to the road hierarchy identified on map AM1.</p>	No acceptable outcome specified.	<p>Complies</p> <p>The development does not impact on the road hierarchy of the area and appropriately integrates with the movement network.</p>
<p>PO32</p> <p>Development provides direct and safe access to public passenger transport facilities.</p>	<p>AO32</p> <p>Any through-site pathway connections to public passenger transport facilities are provided in accordance with Austroads guide to road design—Part 6A: Pedestrian and cyclist paths.</p>	<p>N/A</p> <p>The development is for a residential use and does not provide a through-site pathway connection to public transport.</p>
Road design		
<p>PO33</p> <p>Roads providing access to the site are provided, constructed and maintained to a standard which is adequate for the traffic type and volume likely to be generated by the activities on site.</p>	<p>AO33</p> <p>Roadworks are provided in accordance with the requirements of the <i>Development works Town plan policy</i>.</p>	<p>Complies</p> <p>Any roadworks as part of the construction of the development will be in accordance with the Development works Town plan policy and can be conditioned.</p>
<p>PO34</p> <p>Street lighting and signs are provided to ensure the safety of both vehicles and pedestrians, and to facilitate access and movement.</p>	<p>PO34</p> <p>Street lighting and signage comply with the requirements of the <i>Development works Town plan policy</i>.</p>	<p>Complies</p> <p>Any street lighting or signage can comply with the Development works Town plan policy and can be conditioned.</p>

Acoustic and air quality		
PO35 Utility services and service structures attached to buildings, do not adversely impact on the acoustic or visual amenity of the surrounding area and are: (a) located as far from sensitive land uses, road frontage boundaries and public open spaces as practical; (b) acoustically shielded and visually screened so as not to be audible or visible from adjoining and nearby sites, public open spaces and roads.	No acceptable outcome specified.	N/A The development does not include utility services and service structures.

Table 8.3.1.3(b)—Car parking requirements

Use	Car parking rate requirements
Multiple dwelling	1.5 spaces per dwelling
Short-term accommodation	1 space per rooming units plus 1 space per 2 employees
Rooming accommodation	1 space per rooming units plus 1 space per 3 rooming units for visitor
Retirement facility	1 space dwelling plus 1 space per 2 employees
Tourist park	1 space per van site or tent site, plus 1 space per 2 employees
Relocatable home park	1 space per relocatable home
Child care centre	1 space per employee plus passenger set down area for 4 vehicles
Adult store Bar Food and drink outlet Nightclub entertainment facility	1 space per 15m ² of total use area

Use	Car parking rate requirements
Service industry Shop Shopping centre Theatre	
Office	1 space per 30m ² GFA
Agricultural supplies store Bulk landscape supplies Garden centre Hardware and trade supplies Outdoor sales Showroom Wholesale nursery	1 space per employee and 1 space per 100m ² GFA
Car wash	2 spaces per bay, AND queuing space within the site for 4 vehicles using or awaiting use of each washing bay
Hotel	1 space per 15m ² GFA area plus 1 space per 2 employees
Veterinary service	1 space per 25m ² GFA
Health care services	1 space per 20m ² of GFA and 1 space for ambulance vehicle pick-up and set down
Cemetery Crematorium	1 space per 2 employees, plus 1 space per 2 seats in an auditorium or chapel situated on the premises
Funeral parlour	1 space per 2 employees, plus 1 space per 2 seats in an auditorium or chapel
Community care centre	1 space per 20m ² of GFA
Community use	1 space per 2 employees, including volunteers, plus 1 space per 50m ² GFA

Use	Car parking rate requirements
Place of worship	1 space per 10 seats
High impact industry	1 space per 100m ² of total use area
Low impact industry	
Medium impact industry	
Research and technology industry	
Rural industry	
Special industry	
Warehouse	
Transport Depot	1 space per employee
Animal keeping	1 space per employee
Intensive animal industry	
Winery	1 space per 25m ² of GFA
Detention facility	1 space per 2 employees plus 1 space per 20 inmates or residents
Any other use not listed in this table	Sufficient spaces to accommodate the amount of vehicle traffic likely to be generated by the particular use

8.3.2 Landscaping code

8.3.2.1 Application

This code applies to development identified as requiring assessment against the Landscaping code by the tables of assessment in Part 5 (Tables of assessment).

When using this code, reference should be made to section 5.3.2 and where applicable, section 5.3.3 located in Part 5.

8.3.2.2 Purpose

- (1) The purpose of the Landscaping code is to ensure landscaping in both the private and public domain:
 - (a) complements built form, topography and existing landscape elements;
 - (b) enhances the visual appeal and local character of different places throughout the region;
 - (c) is designed and constructed to a high standard to suit climatic conditions; and
 - (d) is functional for users and remains fit for purpose over the long-term.
- (2) The purpose of the code will be achieved by the following overall outcomes:
 - (a) landscaping creates shade and shelter on streets and public spaces;
 - (b) landscaping conserves energy, water usage and creates comfortable microclimates;
 - (c) landscaping creates high quality streetscapes and enhances local identity;
 - (d) landscape design is used to integrate the natural and built form elements of the site and the locality;
 - (e) landscape elements contribute to the useability, legibility, identity and understanding of the region and its places;
 - (f) landscaping is used for screening to soften built form, mitigate adverse aesthetic impacts, improve amenity and provide privacy;
 - (g) plant species and landscaping materials are suitable for local climatic conditions;
 - (h) plant species, landscaping materials and surface treatments are suited to their intended function and user requirements and are designed to remain attractive, fit for purpose and be cost effective to maintain over the long-term;
 - (i) landscape design facilitates an accessible, safe and comfortable environment for all users; and
 - (j) mature on site vegetation is retained, protected and integrated into the site design wherever practicable.

8.3.2.3 Specific benchmarks for assessment

Table 8.3.2.3 — Assessable development

Performance outcomes	Acceptable outcomes	Comment
General		
PO1 Landscape design of both public and private spaces: (a) compliments the intended character of the streetscape and zone; (b) is functional and designed to be visually appealing in the long-term; and (c) incorporates plant types appropriate for the region and local climate.	No acceptable outcome is nominated.	Complies The landscape design for the development compliments the residential nature of the use and is visually appealing for the development.
PO2 Landscape works and plant selection ensure: (a) climatically appropriate species are planted; (b) the provision of shade in appropriate locations; (c) an appropriate mix of soft and hard elements; and (d) planting densities and stock sizes are suitable for their location, purpose and hardiness.	No acceptable outcome is nominated.	Complies The landscape works and plant selection are climatically appropriate and include a mix of soft and hard elements as shown on the landscape plan.
PO3 Street trees are provided in appropriate locations to: (a) provide shade for pedestrians along footpaths; (b) reinforce the legibility of the movement network; (c) avoid damage to public or private property or infrastructure; (d) enhance the character of the streetscape; and (e) ensure visibility is maintained from entrances and exits to properties and at intersections.	AO3 Street trees are provided at the rate whichever is the lesser of: (a) one street tree per lot frontage or one tree per 10 linear metres of road frontage; or (b) a minimum of 1 tree per 400m ² of site area.	Complies Street trees can be conditioned where required.

Performance outcomes	Acceptable outcomes	Comment
P04 Street treatments including pavement, seating, lighting, rubbish bins are provided to: (a) enhance the usability and amenity of streets and public spaces; (b) facilitate social interaction; and (c) maintain clean streetscapes. Editor's note—Refer also to the <i>Development works Town plan policy</i> .	No acceptable outcome is nominated.	Complies Street treatments can be conditioned where required.
P05 Wherever possible, landscape design facilitates the retention and integration of mature existing vegetation, both within and external to the site.	A05 Existing mature trees and vegetation are retained and incorporated into the landscape design.	Complies Vegetation is retained where possible and incorporated into the landscape design as shown on the landscape plan.
Landscaping along boundaries and edges		
P06 Planting and landscape elements along boundaries and edges assist in: (a) maintaining privacy between adjoining buildings; (b) protecting local views, vistas and sightlines; (c) enhancing the visual appearance of the built form; (d) screening service, utility and parking areas; (e) minimising noise impacts between noise sources and sensitive receiving environments; and (f) reducing the visual impact of acoustic fences, retaining walls and long unbroken walls.	No acceptable outcome is nominated.	Complies The development provides landscaping and planting along the boundaries which enhance the appearance of the development and reduce building bulk. The visual impact of the development is reduced by the landscaping provided as shown on the landscape plan.
Open air car parking		
P07 Open air car parking areas are provided with suitable levels of shade.	A07.1 Shade trees are located at the rate of one tree per 6 car spaces.	N/A The development does not include an open air car park. The visitor car parking area is surrounded by landscaping.

Performance outcomes	Acceptable outcomes	Comment
	A07.2 Wheel stops are provided to protect vegetation.	Complies Wheel stops can be conditioned for the visitor car parking spaces if required.
Sustainability		
PO8 Landscape design, including irrigation methods, optimise water and energy efficiency and respond appropriately to local conditions, by: (a) maximising the exposure to the prevailing summer winds and the winter morning sun; (b) minimising exposure to the prevailing winter winds and the summer afternoon sun; (c) optimising shade to create useable and comfortable areas; and (d) maintaining infiltration to subsurface soil.	No acceptable outcome is nominated.	Complies The landscaping for the development has been designed to optimize water efficiency and energy efficiency in response to the local environment as shown on the landscape plan.
Safety		
PO9 Landscape elements enhance the safety, legibility of places and do not undermine the surveillance of paths, walkways, parking areas, streets and public spaces by ensuring: (a) landscape elements (including signage and other infrastructure) does not interfere with sightlines; (b) spaces are well lit, free from obstructions and clearly defined by landscape treatments; and (c) public and private areas are clearly distinguishable and accessible. Editor's note--Applicants should have regard to Crime Prevention through Environmental Design Guidelines for Queensland.	No acceptable outcome is nominated.	Complies The landscaping for the development has been designed to enhance the safety of the development as shown on the landscape plan.

Maintenance		
PO10 Landscape elements do not adversely affect stormwater quantity or quality by ensuring: (a) the flow of water along overland flow paths is not restricted; (b) opportunities for water infiltration are maximised; and (c) areas of pavement, turf and mulched garden beds are appropriately located and adequately drained.	No acceptable outcome is nominated.	Complies The landscaping design for the development does not impact on the stormwater solution for the site. The areas of the site used for pavement, turf and garden beds are located throughout the site and will drain appropriately.
PO11 Landscape elements: (a) provide high levels of durability and robustness; (b) are cost effective; and (c) have the ability to be maintained conveniently over the long-term.	No acceptable outcome is nominated.	Complies The development provides landscaping which is able to be maintained by the future residents over the life time of the development.
PO12 Landscape works and plant selection protects the structural integrity and function of: (a) buildings and structures; (b) overhead and underground services; and (c) other forms of infrastructure.	No acceptable outcome is nominated.	Complies The landscaping species and design will not impact on the structural integrity of the buildings on the site or any underground infrastructure.