

Our Reference: NP24.044

15 May 2024

Assessment Manager
Charters Towers Regional Council
PO Box 189
CHARTERS TOWERS QLD 4820**Attention: Jorja Feldt – Community Building**

Dear Jorja,

**Development Application for Operational Work – Bulk Earthworks
9-11 Samuel Harry Close & 78-84 New Queen Road, Queenton and formally identified as
Lots 2 & 3 on SP303374 and Lot 1 on MPH347**

On behalf of the Applicant, Goldtower Properties, please accept this correspondence and the accompanying planning report as a properly made development application in accordance with the *Planning Act 2016*.

The application seeks a Development Permit for Operational Work – Bulk Earthworks on land located at 9-11 Samuel Harry Close & 78-84 New Queen Road, Queenton and formally identified as Lots 2 & 3 on SP303374 and Lot 1 on MPH347.

In accordance with Council's current schedule of fees and charges, the applicable fee is \$1,566.96, as per the below calculation. It would be appreciated if payment details for the relevant fee could be provided for payment directly.

Civil works base fee	\$1,200.00
Add 1.5% of total cost (1.5% of \$137,168.35)	\$2,057.53
	\$3,257.53

Please do not hesitate to contact the undersigned should you have any queries in relation to this application.

Yours faithfully,

**Meredith Hutton**DIRECTOR
Northpoint Planning

Encl. Development Application

Development Application

Operational Work – Bulk Earthworks



Northpoint
Planning

9-11 Samuel Harry Close & 78-84
New Queen Road, Queenton
Lots 2 & 3 on SP326358
Lot 1 on MPH347

15 May 2024
Reference: NP24.044

Client: Goldtower Properties

Project: Samuel Harry Close Operational Work

Date: 15 May 2024

Project Reference: NP24.044

Contact: Meredith Hutton

Prepared by: Meredith Hutton – Northpoint Planning

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Table of Contents

1.0 EXECUTIVE SUMMARY.....	3
2.0 SITE AND SURROUNDING ENVIRONMENT.....	4
2.1 SUBJECT SITE AND SURROUNDING LOCALITY	4
3.0 PROPOSED DEVELOPMENT.....	6
3.1 GENERAL OVERVIEW	6
3.2 DEVELOPMENT PLANS.....	7
4.0 LEGISLATIVE FRAMEWORK.....	8
4.1 STATE PLANNING POLICY.....	8
4.2 NORTH QUEENSLAND REGIONAL PLAN	8
4.3 STATE DEVELOPMENT AND ASSESSMENT PROVISIONS.....	8
4.4 LOCAL PLANNING INSTRUMENT	8
5.0 STATE DEVELOPMENT ASSESSMENT PROVISIONS	9
5.1 STATE CODE 1: DEVELOPMENT IN A STATE-CONTROLLED ROAD ENVIRONMENT	9
6.0 LOCAL PLANNING SCHEME.....	10
6.1 DEVELOPMENT WORKS CODE.....	10
7.0 CONCLUSION AND RECOMMENDATIONS	11

Appendices

- Appendix 1: DA Form 1, Cost Estimate
- Appendix 2: SmartMap and SARA Mapping
- Appendix 3: Development Plans



1.0 Executive Summary

In accordance with s 51 of the *Planning Act 2016* (the Act) this development application seeks a development permit for Operational Work for bulk earthworks.

The subject site is located at 5, 9 & 11 Samuel Harry Close, and 78-84 New Queen Road, Queenton and formally described as Lot 2, & 3 on SP303374 and Lot 1 on MPH347. The proposed earthworks are for the purpose of leveling the site for future development and providing for open drainage works within existing Easement A on SP275925 and Easement B on SP275925. The proposed works involve importing 2,335.1m² of fill material into the site.

Assessment of the proposed development against the provisions of all relevant benchmarks has been undertaken and outlined in this town planning report. As outlined in this town planning report, the proposed development achieves the nominated assessment criteria.

The proposed development is considered appropriate for the location, and it is therefore requested that the application be approved subject to reasonable and relevant conditions.

Table 1: Application Summary

Application Summary	
Address	5, 9 & 11 Samuel Harry Close, and 78-84 New Queen Road, Queenton
Real Property Description	Lot 2 & 3 on SP303374, and Lot 1 on MPH347
Easements	Easement A & B on SP275925
Area of Site	2.5528ha
Applicant	Goldtower Properties
Purpose of Proposal	Bulk earthworks
Type of Application	Operational Work
Category of Assessment	Code
SARA Mapping	<ul style="list-style-type: none">Water resource planning area boundariesState-controlled roadArea within 25m of a State-controlled road
Referral Agencies	Schedule 10, Part 9, Division 4, Subdivision 2, Table 5, Item 1 – Operational work on a premises near a State transport corridor
Public Notification	Not required



2.0 Site and Surrounding Environment

2.1 Subject Site and Surrounding Locality

The subject site comprises area to the New Queen road frontage and to the eastern boundary of Lot 1 on MPH347, across a total of four separate allotments. The subject site is bounded by State-controlled New Queen Road to the north, and Samuel Harry Close to the east. The lots comprising the subject area are outlined within table 2 below:

Table 2: Subject Site and Summary

Lot Description	Size (m2)	Road frontage	Easements
2SP303374	2,874m ²	Samuel Harry Close to the east and New Queen Road to the north	A on SP275925
3SP303374	2,424m ²	Samuel Harry Close	A & B on SP275925
1MPH347	20,230m ²	New Queen Road to the north & Hugh Quinn Crescent to the south	-
Total	25,528m²		

The site is currently vacant land and has been improved to provide for future industrial development of the land, accordingly, the site is cleared of vegetation.

It is noted 1MPH347 has recently been improved in accordance with an associated operational works approval (Council reference OW20-07) for earthworks to provide for future industrial development of the land. Accordingly, the ground level of the 1MPH347 is above adjoining lots 2 & 3 on SP303374 to the east.

The subject site forms part of the wider Goldtower estate and is intended for future industrial and commercial development. Established development within the Goldtower estate is located to the west of the subject site, with this primarily comprising warehouses, low impact industrial development and retail uses.

The wider locality includes residential development to the north and west and a school to the opposite side of New Queen Road, and land identified as within the Emerging Community Zone of the *Charters Towers Regional Town Plan* (the planning scheme) to the south. The Charters Towers township centre is located approximately 2km to the west.

The subject lot and surrounding locality are illustrated in **Figure 1** overleaf.



Figure 1: Site location



Source: Qld Globe



3.0 Proposed Development

3.1 General Overview

The proposed development involves bulk earthworks for the purpose of improving the site for future industrial development. Specifically, the proposed earthwork involves filling area to the northeast corner of the site, primarily within Lot 2 on SP303374, to the New Queen Road frontage. The proposed works raise existing Lot 2 on SP303374 to make consistent the surface level and grades of site, and make a suitably developable building envelope for future industrial development. As part of the development necessary, servicing upgrades and stormwater drainage infrastructure is incorporated in accordance with relevant standards.

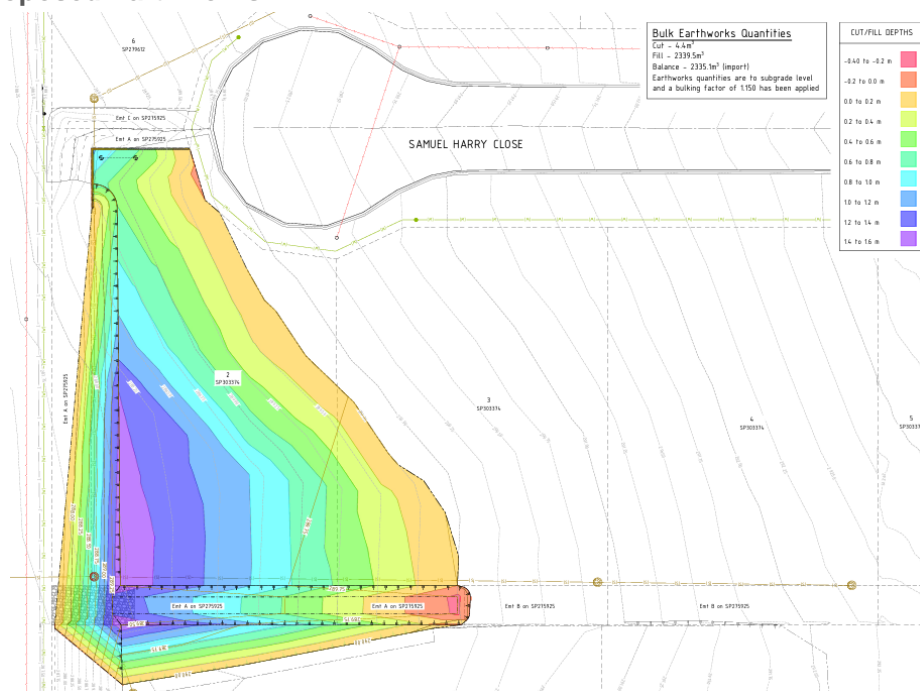
In particular the proposed works involve the following:

- 4.4m³ of cut material.
- 2,339.5m³ of filling, including imported fill of 2,335.1m³.
- Construction of an open drain within Easement A & B on SP275925, located to the rear of the Lot 2 & 3 on SP303374.
- Construction of an open drain to retain the existing stormwater drainage pattern, discharging to New Queen Road from the north.
- Raising of existing manhole to RL 288.970 in accordance with relevant standards.
- Retention of existing servicing associated with the site, comprising sewer and electrical infrastructure.

The proposed filling work involves a maximum height of up to 1.6m at the north-west corner of Lot 2 on SP303374. It is noted all proposed filling works are graded to be consistent with the existing surface level within Lot 3 on SP303374, and Lot 1 on MPH347.

The proposed earthworks will be carried out onsite in accordance with relevant standards, with the design certified by an RPEQ. Figure 2 below illustrates the proposed cut and fill schedule for the subject site:

Figure 2: Proposed Earthworks





3.2 Development Plans

The proposed works are illustrated in the following development plans prepared by Northern Consulting Engineers (refer **Appendix 3**):

- GDTC0113/B01-P2 – Bulk Earthworks Front Batter Layout Plan
- GDTC0113/B01a-P1 – Bulk Earthworks Front Batter Cut & Fill Layout Plan
- GDTC0113/B01b-P1 – Bulk Earthworks Construction Details
- GDTC0113/B02-P1 – Bulk Earthworks Erosion & Sediment Control Management Notes
- GDTC0113/B03-P2 – Bulk Earthworks Erosion & Sediment Control Layout Plan
- GDTC0113/B04-P1 – Bulk Earthworks Erosion & Sediment Control Construction Details

The proposed works have been designed and certified in accordance with FNQROC standards (refer **Appendix 3**).



4.0 Legislative Framework

4.1 State Planning Policy

In accordance with section 26 of the *Planning Regulation 2017*, assessment against the State Planning Policy (SPP) is required to the extent the provisions of the SPP are not appropriately integrated within the planning scheme.

For the purposes of this development application, it is considered all relevant provisions of the State Planning Policy are appropriately integrated with the planning scheme and no additional standalone provisions are relevant for assessment.

4.2 North Queensland Regional Plan

The North Queensland Regional Plan (NQ Regional Plan) provides for the strategic vision for the local government areas of Burdekin, Charters Towers, Hinchinbrook, Palm Island and Townsville. The subject site is located within the Charters Towers Priority Living Area of the NQ Regional Plan.

On review of the proposed development and the NQRP, it is considered all matters within the NQRP relevant to assessment of the proposal are generally in alignment with the planning scheme. Therefore, no further assessment against the NQRP is required.

4.3 State Development and Assessment Provisions

In accordance with Schedule 10 of the *Planning Regulation 2017*, referral of the development application is required:

- Schedule 10, Part 9, Division 4, Subdivision 2, Table 5 – Operational work on a premises near a State transport corridor.

Assessment against State Code 1 is provided in section 5.

4.4 Local Planning Instrument

In accordance with section 51 of the *Planning Act 2016*, the proposed development requires assessment against the local government planning scheme.

In accordance with Table 5.7.1 of the planning scheme, the proposed development requires code assessment. The relevant assessment benchmarks are identified as:

- Development Works Code.

Assessment against the relevant benchmarks is provided in section 6.



5.0 State Development Assessment Provisions

5.1 State Code 1: Development in a State-controlled road environment

The purpose of State Code 1 is to *protect the safety, function and efficiency of State-controlled roads, future State-controlled roads, road transport infrastructure, active transport infrastructure and public passenger services on State-controlled roads from adverse impact of development. The code is intended to protect the safety of people using, and living or working near, State-controlled roads.*

Specifically, this code seeks to ensure:

- (1) *Development does not create a safety hazard for users of a State-controlled road, by increasing the likelihood or frequency of fatality or serious injury.*
- (2) *Development does not compromise the structural integrity of State-controlled roads, road transport infrastructure or road works.*
- (3) *Development does not result in a worsening of the physical condition or operating performance of state-controlled roads and the surrounding road network.*
- (4) *Development does not compromise the State's ability to construct State-controlled roads and future State-controlled roads, or significantly increase the cost to construct state-controlled roads and future State-controlled roads.*
- (5) *Development does not compromise the state's ability to maintain and operate State-controlled roads, or significantly increase the cost to maintain and operate State-controlled roads.*
- (6) *Development does not compromise the structural integrity of public passenger transport infrastructure located on State-controlled roads or compromise the operating performance of public passenger transport services on State-controlled roads.*
- (7) *The community is protected from significant adverse impacts resulting from environmental emissions generated by vehicles using State-controlled roads.*

Response

The proposed development is considered to comply with the purpose of State Code 1. The proposed works are wholly contained within the subject site, and sufficiently set back from the State-controlled road corridor to mitigate potential impact to the safe and efficient operation of the existing road network.

The proposed earthworks involve raising the north-east corner of the subject site with 2,339.5m³ of fill material. The proposed works are consistent with previously approved works (council reference OW20-07) on 1MPH347 which involved earthworks to improve the site for future industrial development. The proposed works are necessary to appropriately facilitate the intended future industrial use of the subject site, noting the proposed works create a developable building envelopment on Lot 2 on SP3033474 and provide for appropriate stormwater drainage.

The proposed stormwater infrastructure within easement A & B on SP275925 retains the existing lawful point of discharge being New Queen Road.

It is noted the proposed development will not require direct access via the New Queen Road frontage associated with undertaking the works. The proposed development is suitably designed and certified by an RPEQ, and will not result in any worsening impact to the State-controlled road corridor.

Given the nature of the development and the extent of the proposed work, further assessment against State Code 1 is not considered necessary.



6.0 Local Planning Scheme

6.1 Development Works Code

The purpose of the Development Works Code is to:

- a) *ensure all development is provided with appropriate infrastructure, parking spaces and services;*
- b) *ensure development manages stormwater and wastewater as part of the integrated total water cycle and in ways that help protect the environmental water values specified in the Environmental Protection (Water) Policy 2009 and the Stormwater Management Design Objectives in the State Planning Policy;*
- c) *protect surface water and ground water; and*
- d) *ensure development is designed, constructed, operated and maintained to eliminate any adverse impacts on the environment and the amenity of the locality.*

Response

The proposed development furthers the purpose and overall outcomes of the Development Works Code. The proposal involves earthworks associated with filling the site, necessary to provision appropriate building envelopes for future industrial development on the site and suitable stormwater drainage.

The proposed development is considered to meet the overall outcomes of the Development Works Code, particularly given:

- The proposed development is appropriately connected to reticulated water and wastewater networks.
- Existing sewer manhole within Lot 2 on SP303374 and within the proposed fill area is appropriately raised to maintain use in accordance with relevant standards.
- Future development is capable of connection to electrical and telecommunications networks.
- The proposed filling of the site is consistent with surrounding development, and maintains the grade of the site towards the lawful point of discharge.
- The proposed stormwater drainage infrastructure within the Easement A & B on SP275925 retains the existing lawful point of discharge being New Queen Road.
- The proposed development does not result in any adverse impact on stormwater conveyance to surrounding land.
- The proposal will not result in any environmental impact on receiving waters.
- The proposed development will not impair the function, safety and efficiency of the transport network.



7.0 Conclusion and Recommendations

This town planning report has been prepared by Northpoint Planning on behalf of Goldtower Properties in association Development Application for Operational Work – Bulk Earthworks with on land located at 9-11 Samuel Harry Close and 78-84 New Queen Road, Queenton.

The subject site is located within the Charters Towers local government area and is subject to assessment under the *Charters Towers Regional Town Plan*. An assessment against the relevant benchmarks has been undertaken and is outlined in detail in this town planning report.

The proposal is consequently considered appropriate development in the context in which it is located and has been suitably demonstrated to comply with the relevant assessment benchmarks. It is therefore recommended Council approve the proposed development, subject to reasonable and relevant conditions.



Appendix 1

DA Form 1 – Development application details

Approved form (version 1.4 effective 15 December 2023) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Goldtower Properties C/- Northpoint Planning
Contact name (only applicable for companies)	Meredith Hutton
Postal address (P.O. Box or street address)	PO Box 4
Suburb	Townsville
State	Queensland
Postcode	4810
Country	Australia
Contact number	(07) 4440 5282
Email address (non-mandatory)	hello@northpointplanning.com.au
Mobile number (non-mandatory)	0407574897
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	NP24.044

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		78-84	New Queen Road	Queenton
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	1	MPH347	Charters Towers Regional
b)	Unit No.	Street No.	Street Name and Type	Suburb
		9-11	Samuel Harry Close	Queenton
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	2 & 3	SP303374	Charters Towers Regional

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☒ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Bulk earthworks

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input checked="" type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input checked="" type="checkbox"/> Stormwater <input checked="" type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input checked="" type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$137,168.35	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Charters Towers Regional Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☐ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☒ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity
- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge:
<ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

SCHEDULE OF WORKS

Revision A2 24/04/2024

Commercial Development Samuel Harry Close, Charters Towers

This Schedule of Works (SOW) has been prepared for the sole purpose of calculating Council application fees.

It is based on assessment of the works detailed on the drawings and Northern Consulting Engineers and its officers and employees assume no responsibility for interpretations made or use of the information.

Reviewed & Approved by



DEREK ROBERT CONLEY SAW - RPEQ 7363

ESTIMATE OF COSTS - SUMMARY

SECTION A - GENERAL	\$ 7,085.00
SECTION B - EARTHWORKS	\$ 98,117.50
SECTION C - EROSION AND SEDIMENT CONTROL	\$ 19,496.00
1 TOTAL ESTIMATE OF COSTS EXCLUDING GST	\$ 124,698.50
2 TOTAL ESTIMATE OF COSTS INCLUDING GST	\$ 137,168.35

NORTHERN CONSULTING ENGINEERS
DESCRIPTION - FRONT BATTER EARTHWORKS
JOB NO. GDTC0113
CIVIL CONSTRUCTION



Civil | Structural | Forensic
Traffic | Flood Modelling

TOWNSVILLE | SUNSHINE COAST | BRISBANE
GLADSTONE | NEW ZEALAND
T: +617 4725 5550 E: mail@nceng.com.au
W: www.nceng.com.au

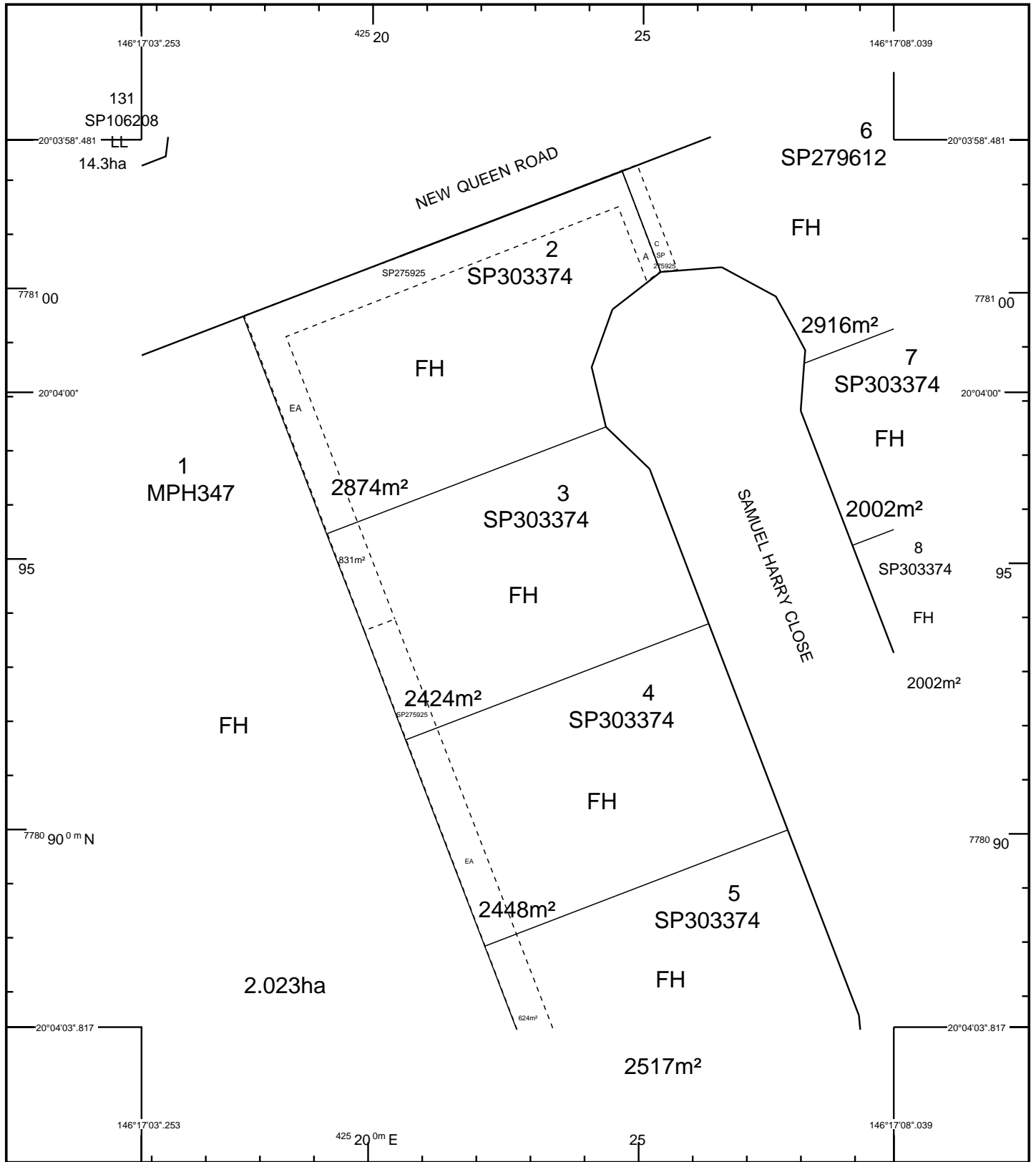
Item	Description	Unit	Quantity	Rate	Amount
SECTION A - GENERAL					
1	Site establishment	Item		\$	5,000
2	Insurance in accordance with contract provisions	Item		\$	725
3	Implement provisions of the Workplace, Health & Safety Act	Item		\$	455
4	Materials testing as specified	Item		\$	905
TOTAL SECTION A - GENERAL				\$	7,085

Item	Description	Unit	Quantity	Rate	Amount
SECTION B - EARTHWORKS					
1	Selective clearing incl mulching of vegetation and stockpiling onsite Sparse vegetation	Ha	0.3	4750.00 \$	1,425
2	Strip topsoil 50mm thick & stockpile on site (Max. height of stockpile 1.5m).	m ²	3114	1.00 \$	3,114
3	Earthworks including Level 1 compaction control as specified (Includes Level 1 compaction control certificate):- Imported fill (CBR 3)	m ³	2335	30.00 \$	70,050
	Respread stockpiled topsoil over verges, allotments and disturbed areas as directed.	m ²	3144	1.00 \$	3,144
4	Trim open drain	m ²	315	1.30 \$	410
5	Outlet Scour Protection - Supply and install 300mm nominal rock 450mm deep laid on "Bidim A39" or equivalent	m ²	75	130.00 \$	9,750
6	Excavation, disposal of off site & replacement of unsuitable material with onsite fill. Compacted measurement	m ³		60.00 \$	-
7	Reinforced concrete masonry retaining walls complete including excavation, concrete footing, blockwork, subsoil drainage and backfill:- Up to 1.2m high	m ²	13	540.00 \$	7,020
8	Dust control during construction	Item		\$	905
9	Extend existing concrete manhole complete (including excavation, installation, backfill, 400mm wide turf strip surround, pressure testing & disposal of spoil)	each	1	2300.00 \$	2,300
TOTAL SECTION B - EARTHWORKS					\$ 98,118

Item	Description	Unit	Quantity	Rate	Amount
SECTION C - EROSION AND SEDIMENT CONTROL					
1	100mm topsoil, sow, fertilise & maintain specified grass	m ²	3144	1.50 \$	4,716
2	Additional to Item 7, treatment to topsoil (gypsum) to comply with testing results (as per the requirements in the Conditions of Tendering).	tonnage		400.00 \$	-
3	Supply and install sediment fence as detailed	m	86.0	12.00 \$	1,032
4	Supply and place mulch bund walls as detailed.	m	165	40.00 \$	6,600
5	Construct push bank drains as detailed	m	85.3	10.00 \$	853
6	Hydromulch with specified mix, fertiliser, inclusive of establishment costs.	m ²	1259	5.00 \$	6,295
TOTAL SECTION C - EROSION AND SEDIMENT CONTROL				\$	19,496

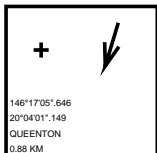


Appendix 2



STANDARD MAP NUMBER
8157-14314

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	3/SP303374
Area/Volume	2424m ²
Tenure	FREEHOLD
Local Government	CHARTERS TOWERS REGIONAL
Locality	QUEENTON
Segment/Parcel	46793/482

CLIENT SERVICE STANDARDS

PRINTED 15/05/2024

DCDB 14/05/2024

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

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SmartMap

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Government**
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State Assessment and Referral Agency

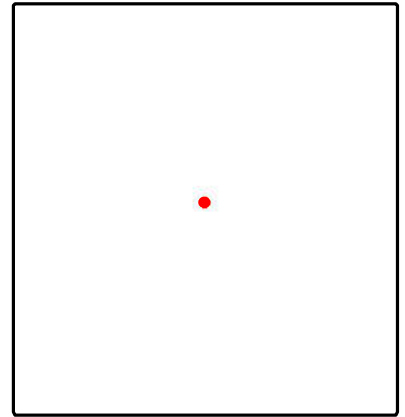
Date: 15/05/2024



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Matters of Interest for all selected Lot Plans

Water resource planning area boundaries
State-controlled road
Area within 25m of a State-controlled road

Matters of Interest by Lot Plan

Lot Plan: 1MPH347 (Area: 20230 m²)

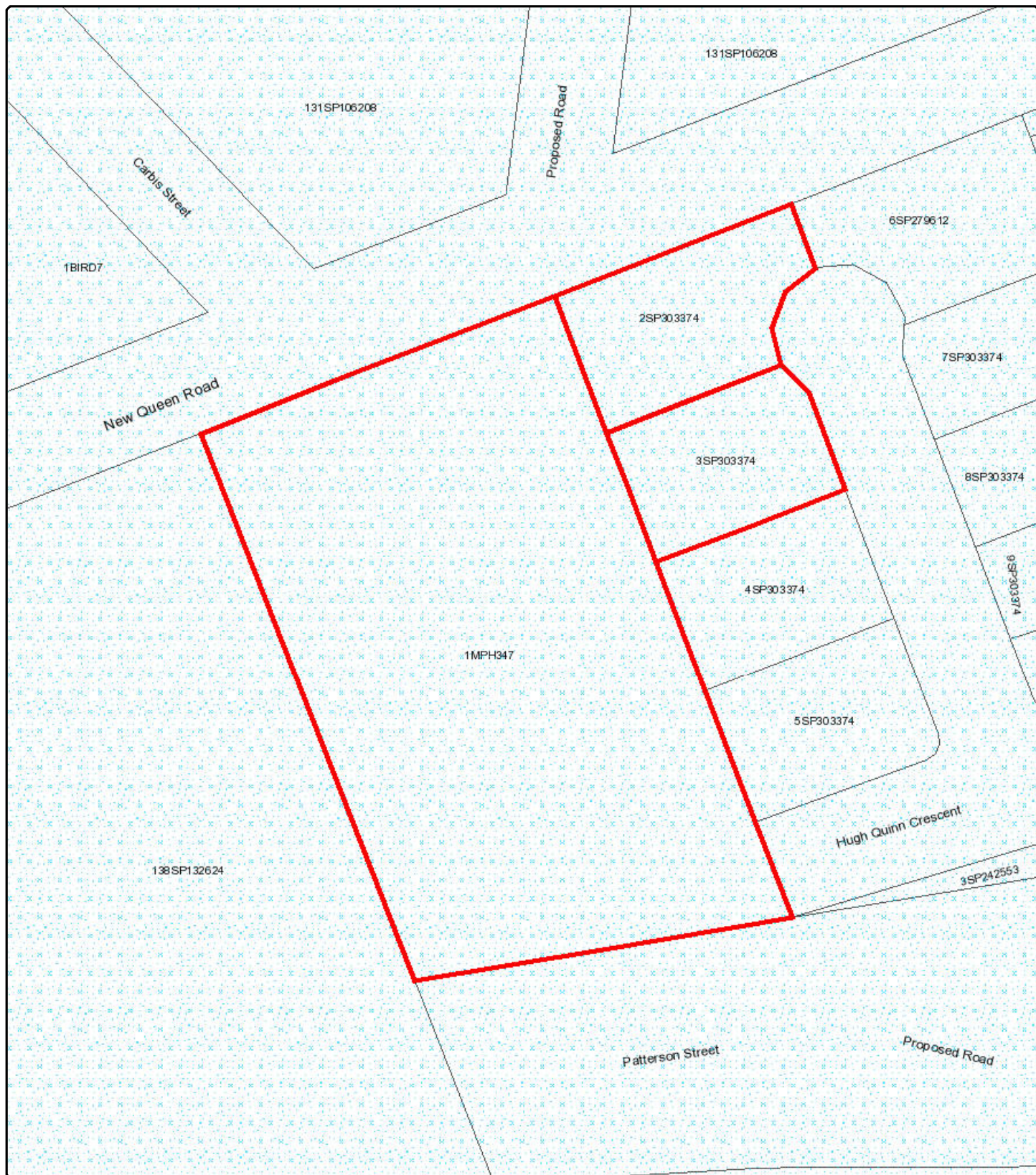
Water resource planning area boundaries
State-controlled road
Area within 25m of a State-controlled road

Lot Plan: 2SP303374 (Area: 2874 m²)

Water resource planning area boundaries
State-controlled road
Area within 25m of a State-controlled road

Lot Plan: 3SP303374 (Area: 2424 m²)

Water resource planning area boundaries



State Assessment and Referral Agency

Date: 15/05/2024



Queensland Government

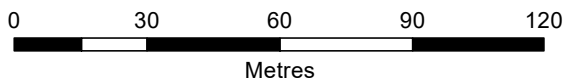
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Legend

Water resource planning area boundaries

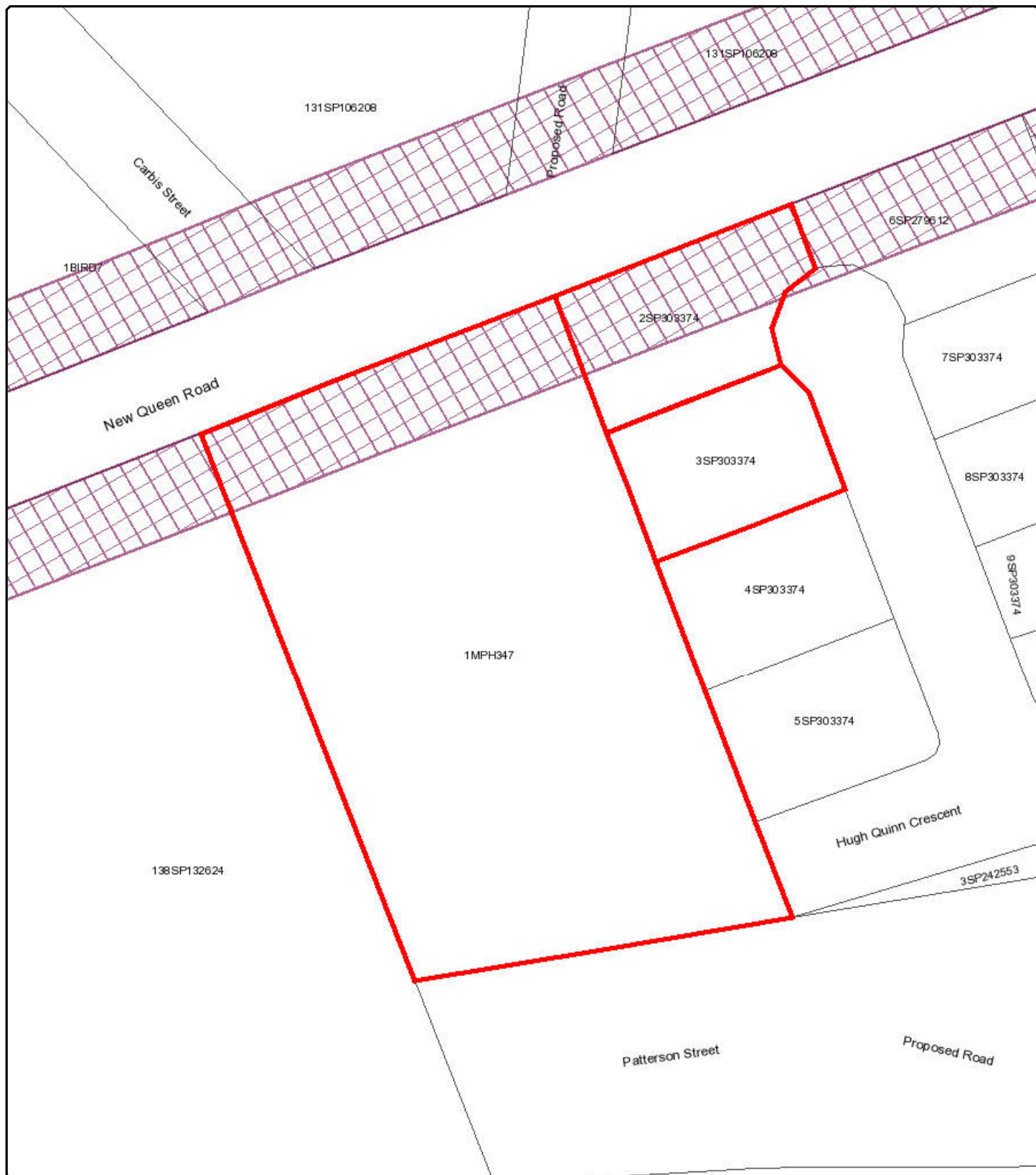


Water resource planning area boundaries



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State Assessment and Referral Agency

Date: 15/05/2024



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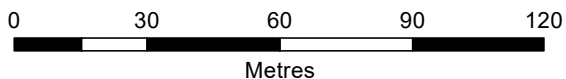
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Legend

Area within 25m of a State-controlled road

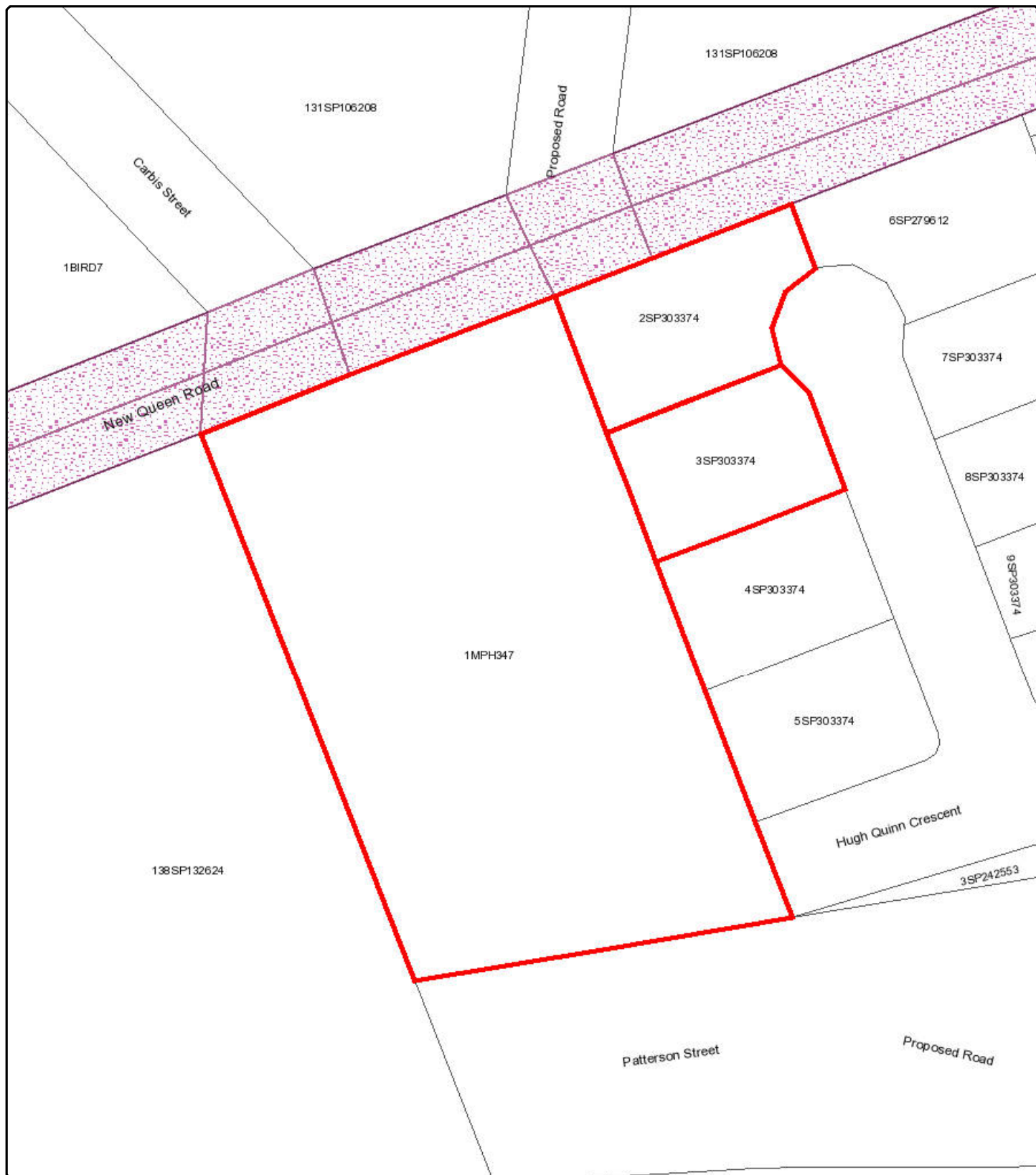


Area within 25m of a State-controlled road



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State Assessment and Referral Agency

Date: 15/05/2024



Queensland Government

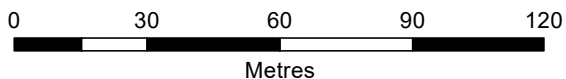
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Legend

State-controlled road



State-controlled road

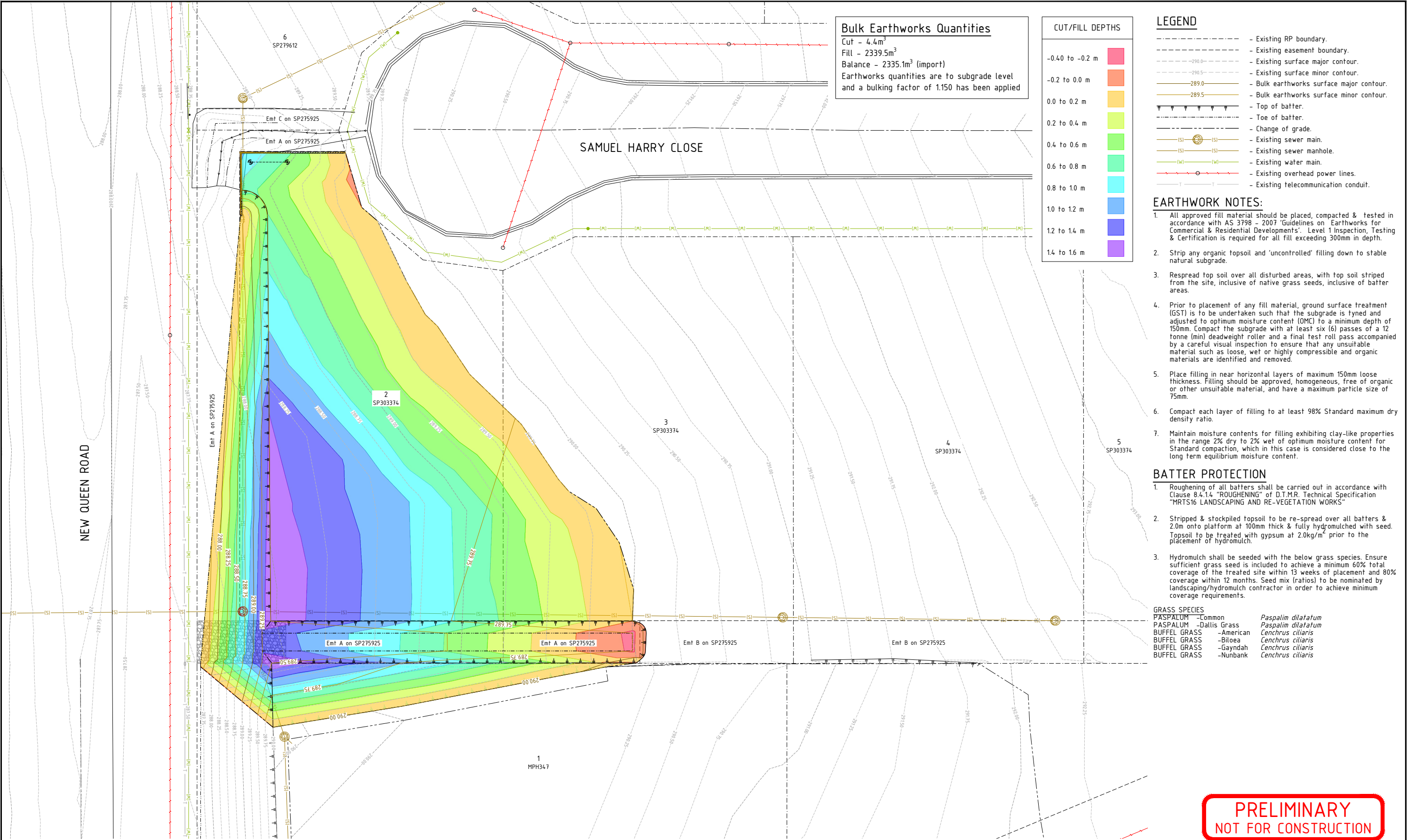


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Appendix 3



LEVEL DATUM A.H.D.
Horizontal Datum GDA' 94 Zone 55
Refer PSM 52172 RL 289.279
NEW QUEEN ROAD

Confirm size, location & elevation of all existing services on site before construction commences. Advise NORTHERN CONSULTING ENGINEERS of any discrepancies between drawings & site

CAUTION
OPTIC FIBRE within road reserves. Location & depth of Telstra services & optic fibre cables must be confirmed on site before construction commences.

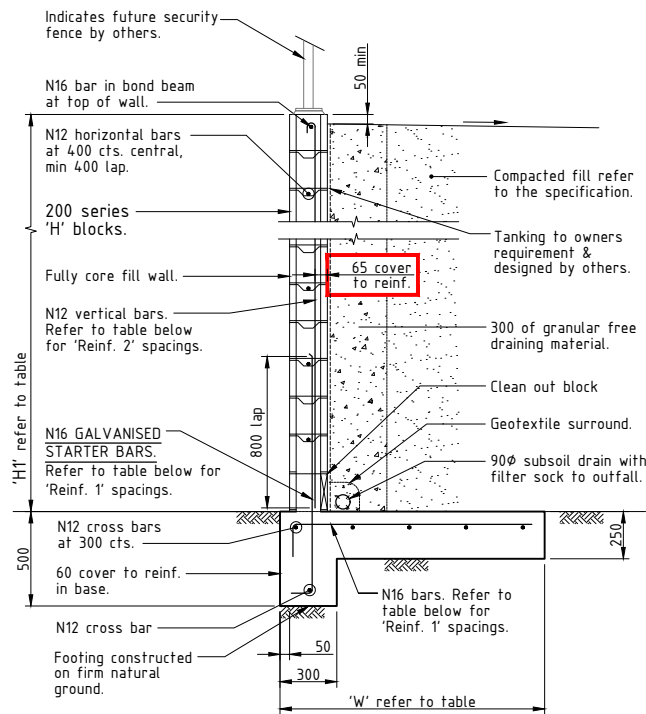
Scale 1:250 @ A1
ENGINEERING CERTIFICATION
Signed: 
DEREK ROBERT CONLEY SAW - RPEQ No. 7363
THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED. AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS. VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.

All work is to be carried out in accordance with LOCAL AUTHORITY'S standard details.

NORTHERN CONSULTING
engineers

Civil | Structural | Forensic
Traffic | Flood Modelling
TOWNSVILLE | SUNSHINE COAST | BRISBANE
GLADSTONE | NEW ZEALAND
T: +617 4725 5550 E: mail@nceng.com.au
W: www.nceng.com.au

P1 PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL		24/04/2024
Issue	Description	Date
Drawn DC Date 24/04/2024	In Association With GOLDTOWER Pty Ltd	BULK EARTHWORKS FRONT BATTER CUT & FILL LAYOUT PLAN
Checked DC	COMMERCIAL DEVELOPMENT	
Reviewed DS	5, 9, 11 SAMUEL HARRY CLOSE CHARTERS TOWERS (2, 3 & 4 SP303374, 1 MPH347)	
COPYRIGHT ©		Drawing Number GDTC0113/B01a
		Issue P1



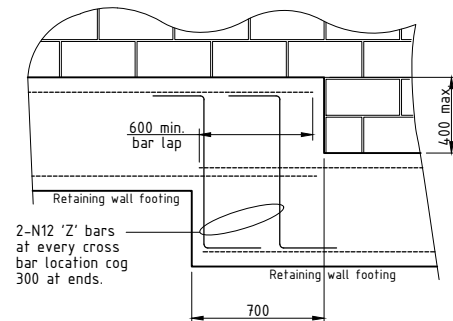
RETAINING WALL (RW)
Scale 'B'

NOTE: Retaining wall starter bars MUST be located correctly relative to the inside face of the wall. Provide star pickets & wire ties to ensure the footing cage does not move during the concrete pour. 'H' block are to be used in walls.

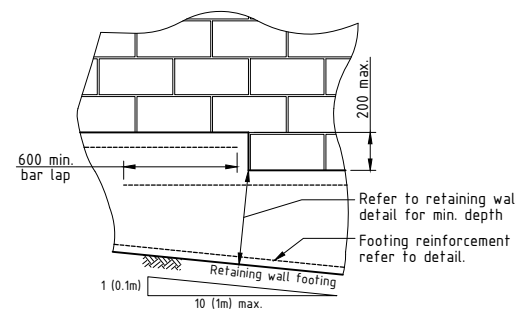
NOTE: Due to the importance of the correct positioning of the starter bars, we strongly recommend an engineering inspection after laying the 1st course of blocks. This could save costly rectification work.

CORE FILL MIN. 20 MPa

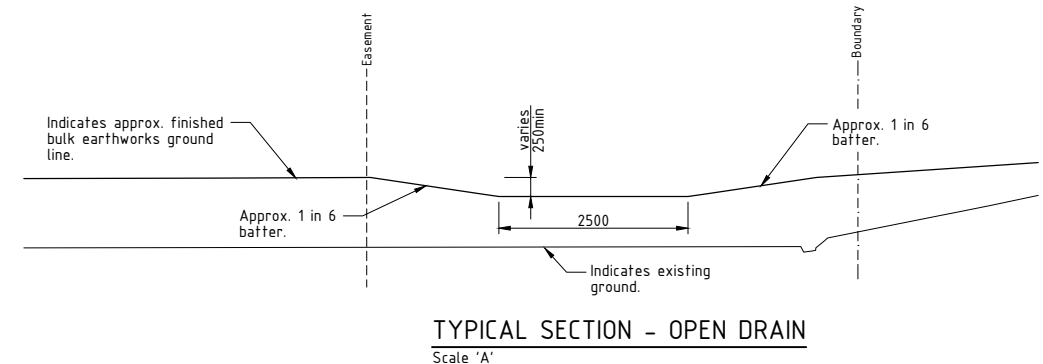
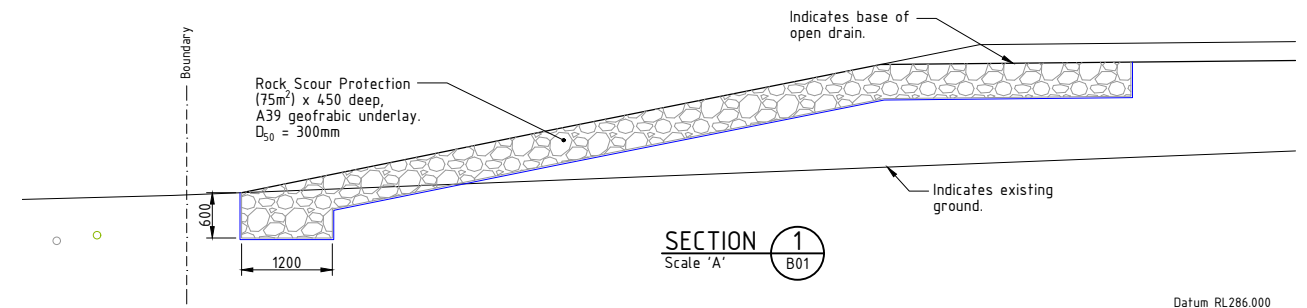
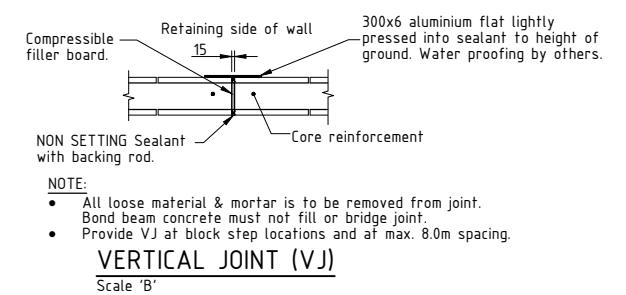
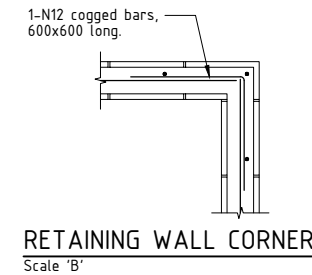
'H'	'Reinf. 1'	'Reinf. 2'	'W'
600-1000	600 cts.	N12 at 600 cts.	750
1001-1400	400 cts.	N12 at 400 cts.	1100
1401-1800	400 cts.	N12 at 400 cts.	1400



RETAINING WALL STEP DETAIL
Scale 'B'



SLOPING FOOTING DETAIL
Scale 'B'



PRELIMINARY
NOT FOR CONSTRUCTION

Erosion & Sediment Control

EROSION & SEDIMENT CONTROL NOTES:

GENERAL:

1. The sub-contractors undertaking works following the completion of the civil works will be responsible for maintaining and implementing additional measures as necessary to suit the type of construction occurring and in accordance with IECA best practices guides.
2. It is assumed that the earthworks will be placed in accordance with the fall direction of the finished earthworks fall direction.

RESPONSIBILITY:

3. This ESCP has been prepared by a Suitably Qualified Person. – Derek Saw Townsville City Council accreditation No. SQP-073
4. The Responsible Person nominated for on-site implementation of this ESCP is the Contractor's Construction Manager.
5. The Site Foreman nominated for overseeing and implementing site works is the Contractor's site foreman.

ESCP OBJECTIVE:

6. The objective of this ESCP is to ensure works are carried out in the following manner:

Minimise exposure of disturbed soils at any time, i.e. land clearing should be staged to minimise the extent and duration of soil exposure.

Diversion of runoff from upstream undisturbed areas around disturbed areas.

Site discharge shall have <50mg/L TSS, turbidity not >10% of the receiving waters turbidity and PH 6.5-8.5, unless defined otherwise.

Oils and grease - no visible films or odour.

Litter – no visible litter washed or blown from the site.
7. This ESCP is a living document that can and should be modified by suitably qualified site personnel (Responsible Person or Site Forman) if:

Site conditions change;

The adopted measures fails to achieve the required treatment standard and/or overall ESCP objective;

Any changes will need to comply with the intent of the original ESCP.

DEVICE DESIGN:

8. The devices (sediment traps, catch drains, diversion channels) are anticipated to be evolving structures such that they will change in level as the earthworks are undertaken. The details shown on the typical sections for the devices are the minimum / critical requirements.
9. The devices have been designed for the following:

Diversion channel – 1 in 2 year ARI as device is anticipated to be in place for <12 months.

Flow diversion bund – 1 in 5 year ARI as device is anticipated to be in place for 12-24 months.

Catch drain – 1 in 2 year ARI as device is anticipated to be in place for <12 months.

Sediment basin – 3 to 12 months, ½ 1 year ARI flow. (design as Type 2 device)

Sediment trap – 3 to 12 months, ½ 1 year ARI flow. (design as Type 2 device)

Sediment basin spillway – 3 to 12 months, 1 in 20 year ARI.

Sediment trap spillway – 3 to 12 months, 1 in 10 year ARI.

Temporary culvert crossings – 1 in 1 year ARI.
10. The design storm for sediment basin / trap sizing is the 85th percent five-day event. This is due to water discharging into sensitive wafers, i.e. Great Barrier Reef.

TEMP CONSTRUCTION ENTRY/EXIT SEDIMENT TRAP:

11. Adjacent stormwater runoff to be diverted away from entry/exit.
12. Wheel – wash or spray unit may be required during wet weather.
13. Safety issued must be considered at all times, incorporate traffic control devices to the satisfaction of the Superintendent.

ADDITIONAL & TEMPORARY DEVICES:

14. Rock and/or geofabric lined chutes will be required in catch drains where there is a longitudinal change in invert level >0.3m, refer to IECA for standard chute details.
15. Road cleaning, primarily swept, secondarily washed, is to occur weekly and should only occur following installation/inspection that kerb inlet protection is in good working order.

DUST MANAGEMENT:

16. Appropriate control is required during all construction activities. This is initially assumed to occur as water application via a water truck.
17. In the event that an area will be exposed for more than 5 days without water application, a non-vegetation soil binder will be required. Either a cationic bitumen emulsion or organic based binder will be required. For further details, refer to IECA soil binder specification located at <https://www.austieca.com.au/documents/item/227\>

IDENTIFICATION OF INCIDENT OR FAILURE:

18. Non-compliance with the ESCP Objectives will be identified by the following:

Build-up of sediment off the site, i.e. on roadways, kerb and channel, etc;

Excessive sediment build-up on the site at ESC devices;

Excessive erosion on the site;

Release of construction material from the site;

Poorly maintained, damaged or failed ESC devices;

Deteriorated water quality, as identified by the Environmental Consultant, attributed to construction activities;

Excessive dust.

CORRECTIVE ACTION:

19. After any identification of incident or failure, the source / cause is to be investigated and corrected immediately. Corrective measures for potential incident or failure include, but are not limited to the following:

Build-up of sediment off the site: – collect and dispose of material in a manner that will not cause ongoing environmental nuisance or harm. Amended / rectified ESC measures where appropriate to reduce the risk of further sediment loss.

Excessive sediment build-up on the site: – collect and dispose of material in a manner that will not cause ongoing environmental nuisance or harm. Amended / rectified ESC upstream measures where appropriate and review / modify maintenance / inspection timing.

Sediment / mud on public roads: – sweep / wash streets. Ensure appropriate kerb inlet protection is in place if streets are washed. Clean out and rectify exit rumble pad and / or review traffic management for vehicles exiting the site.

Excessive erosion in drainage devices: – investigate cause and identify if additional in channel flow control devices are required. This may include upgraded lining methods, rock check dams or other velocity control devices.

Release of construction material / litter from the site: – collect and dispose of material in a manner that will not cause ongoing environmental nuisance or harm then review existing devices and litter control practices.

Poorly maintained, damaged or failed ESC devices: – review maintenance and inspection records. Confirm that inspection and maintenance procedures have been followed and if necessary increase the frequency of inspections or rectification timeframes to ensure devices are in good working order at all times.

Deteriorated water quality: – increase runoff capture devices and prevent free discharge from site. Collect and treat runoff on-site, ensuring appropriate water quality targets are achieved, prior to discharging from site.

Excessive dust: – increase dust suppression works, i.e. incorporate additional water cart during periods of high winds. Alternately, apply a dust suppression binder and continue to monitor the binders' performance.
20. If the release of excessive sediment and / or other materials off-site is identified during two (2) consecutive site inspections, or water quality monitoring indicates levels are not within the water quality targets on two (2) consecutive tests, review and revise the ESCP or reduce the rate, extent and / or duration of soil exposure.
21. If collection and treatment of run-off is required and the water quality targets are not being achieved prior to release, undertake the following:

To reduce suspended solids – add an appropriate flocculent (e.g. gypsum), then retest.

Modify pH – add acid if pH is too high or hydrated lime if pH is too low, then retest.

MONITORING, RECORDS & MAINTENANCE:

22. The contractor shall ensure that ESC measures are maintained and in good working order at all times. The contractor shall visually inspect ESC measures in accordance with the associated inspection and record plan and maintain records of these checks.
23. All measures should be inspected:

Daily when rain is occurring;

Weekly, regardless of weather or works occurring on-site;

Within 24 hours prior to expected rainfall;

Immediately after a rainfall event.
24. The Responsible Person will be responsible for preparing monthly reports that record the following as a minimum:

Records of any failures in ESC measures, identifying the reason for failure and the corrective actions implemented to prevent or reduce the risk of re-occurrence.

Photographic evidence of ESC measures.

For stormwater releases from the site, record the results of water quality samples. In addition, records shall be kept of the reason for the release, the date of the release, date of sampling and the amount of rainfall during the previous 24 hours.

Records of any complaints received, including date, time, person making complaint and the action taken to resolve the complaint.

ENGINEERING CERTIFICATION

Signed:

DEREK ROBERT CONLEY SAW – RPEQ No. 7363

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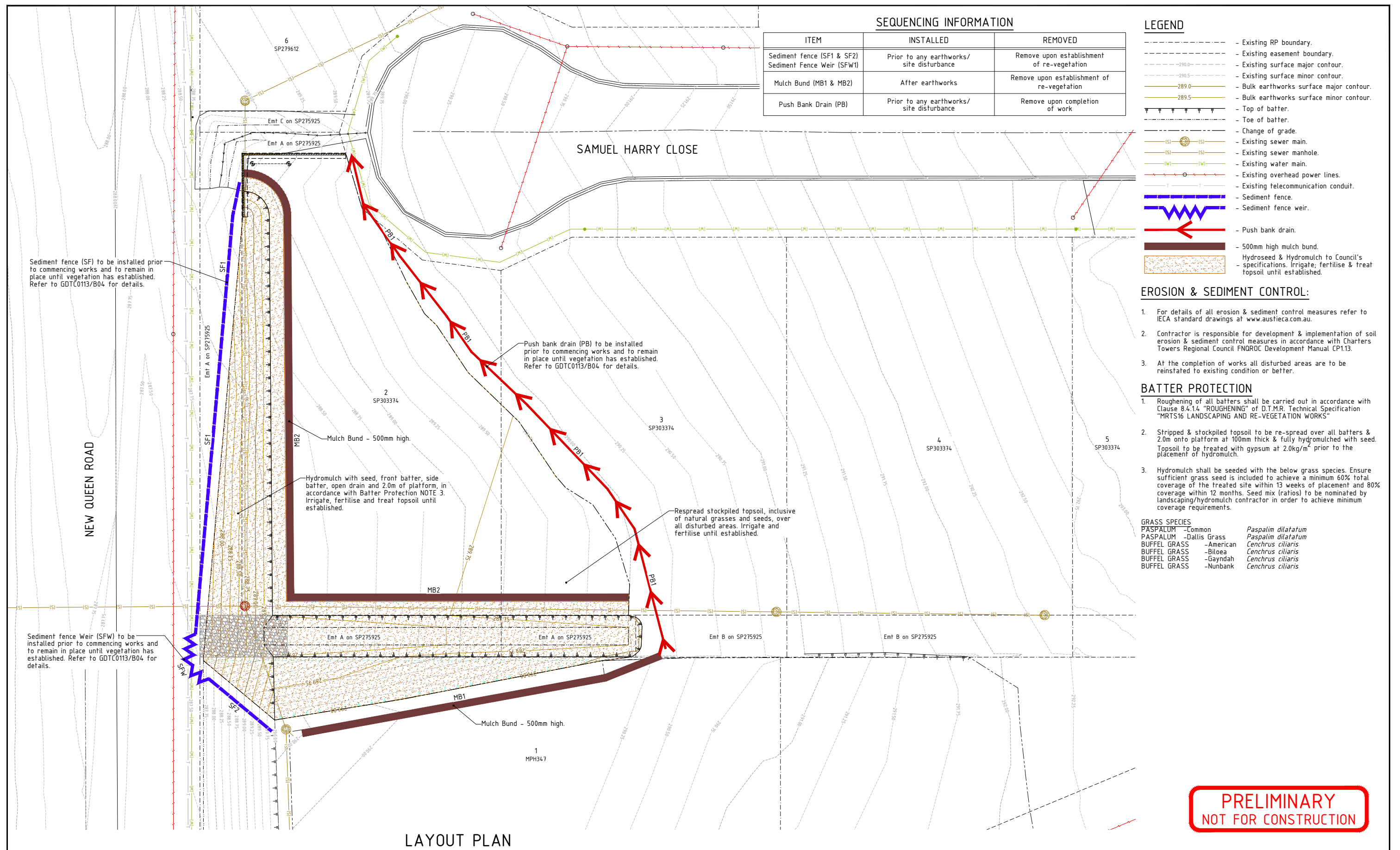


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All work is to be carried out in accordance
with LOCAL AUTHORITY'S standard details.

P1	PRELIMINARY – NOT FOR CONSTRUCTION – ISSUED FOR APPROVAL.		23/02/2024
Issue	Description		Date
Drawn DC Date 23/02/2024	In Association With GOLDTOWER Pty Ltd	BULK EARTHWORKS EROSION & SEDIMENT CONTROL MANAGEMENT NOTES	
Checked DC Reviewed DS COPYRIGHT ©	COMMERCIAL DEVELOPMENT 5, 9, 11 SAMUEL HARRY CLOSE CHARTERS TOWERS (2, 3 & 4 SP303374, 1 MPH347)		
		Drawing Number GDTC0113/B02	Issue P1



LAYOUT PLAN

LEVEL DATUM A.H.D.
Horizontal Datum GDA' 94 Zone 55
Refer PSM 52172 RL. 289.279
NEW QUEEN ROAD

CAUTION
OPTIC FIBRE within road reserves. Location & depth of Telstra services & optic fibre cables must be confirmed on site before construction commences.

Scale 1:250 @ A1

ENGINEERING CERTIFICATION

Signed:

DEREK ROBERT CONLEY SAW - RPEQ No. 7363

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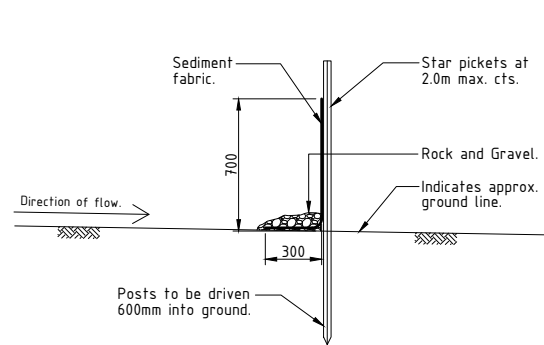


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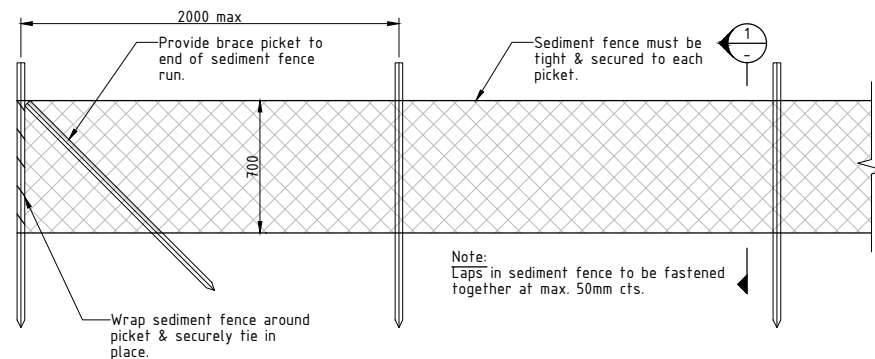
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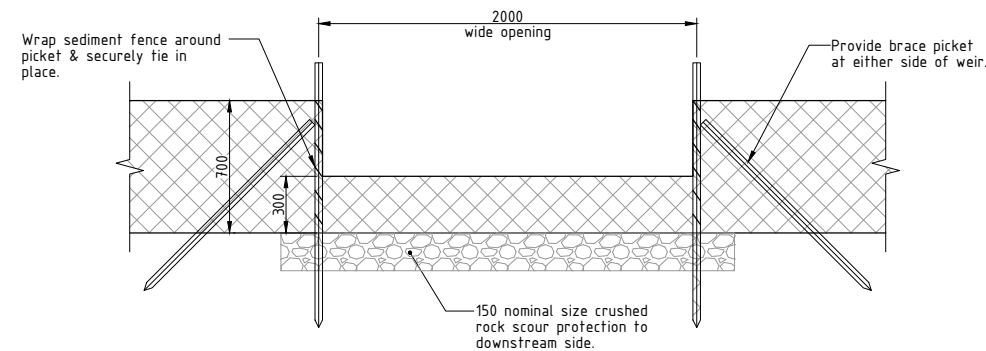
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		PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL	23/02/2024
Issue	Description		Date
Drawn DC Date 23/02/2024	In Association With GOLDTOWER Pty Ltd		BULK EARTHWORKS EROSION & SEDIMENT CONTROL LAYOUT PLAN
Checked DC Reviewed DS	COMMERCIAL DEVELOPMENT 5, 9, 11 SAMUEL HARRY CLOSE CHARTERS TOWERS		
COPYRIGHT ©	(2, 3 & 4 SP303374, 1 MPH347)		
		Drawing Number	Issue
		GDTC0113/B03	P2



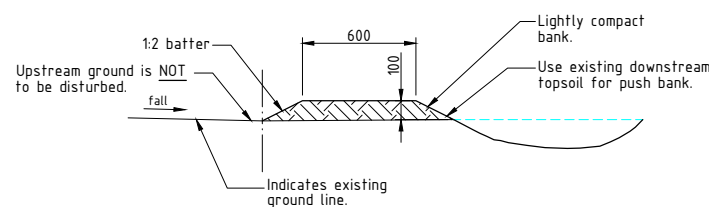
SECTION
Typical Sediment Fence



SEDIMENT FENCE (SF)



SEDIMENT FENCE WEIR (SFW)



PUSH BANK (PB)

PRELIMINARY
NOT FOR CONSTRUCTION

LEVEL DATUM A.H.D.
Horizontal Datum GDA' 94 Zone 55
Refer PSM 52172 RL 289.279
NEW QUEEN ROAD

Scale 1:20 @ A1
0 200 400 600 800

All work is to be carried out in accordance
with LOCAL AUTHORITY'S standard details.

ENGINEERING CERTIFICATION

Signed:

DEREK ROBERT CONLEY SAW - RPEQ No. 7363

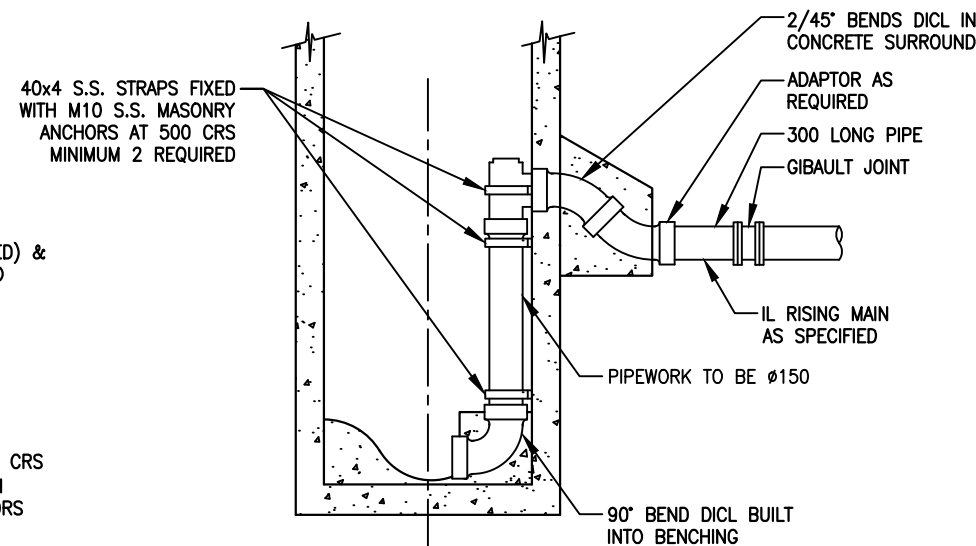
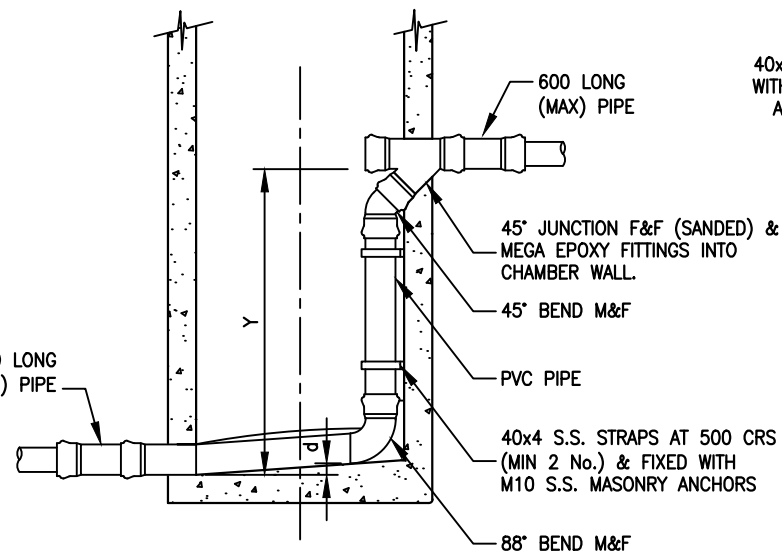
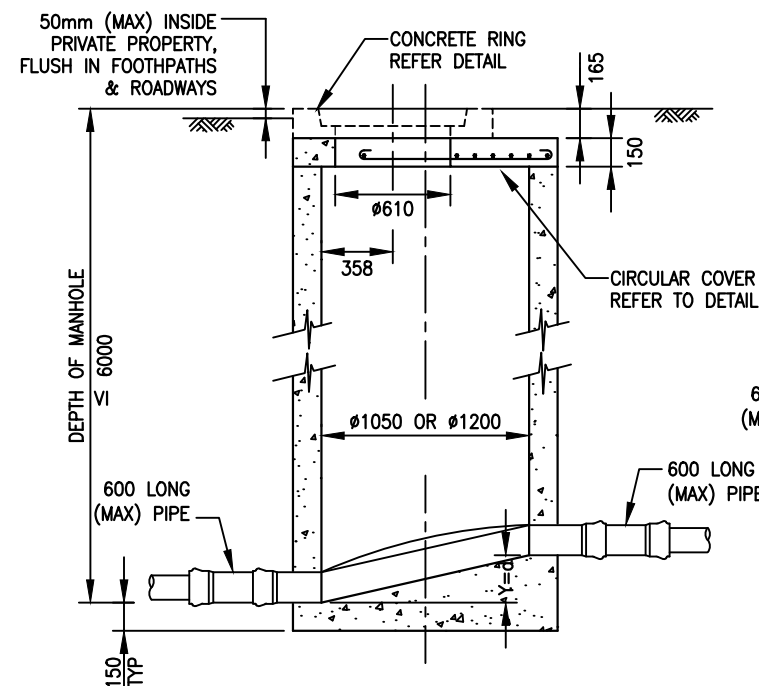
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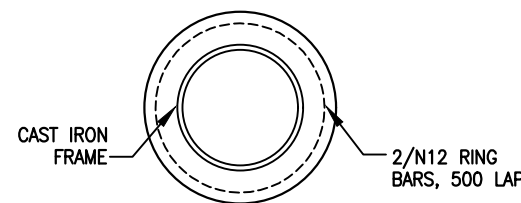
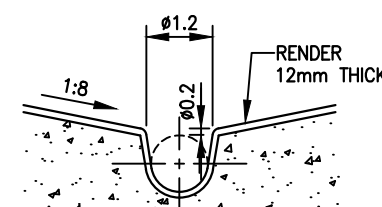
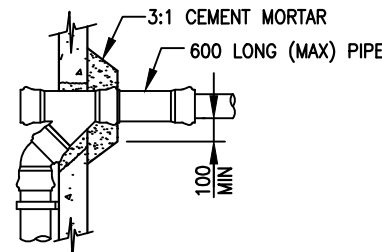
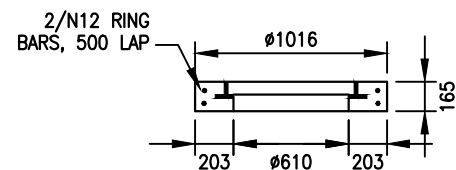
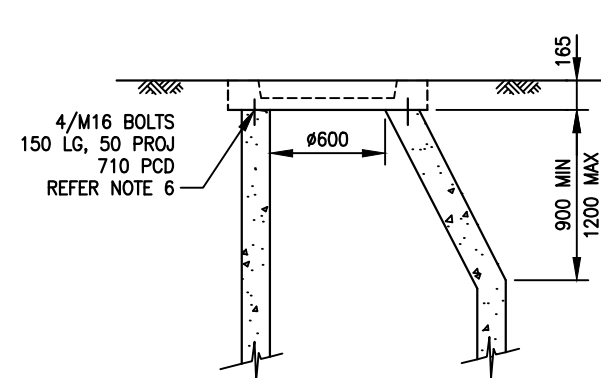
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P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR APPROVAL.		23/02/2024
Issue	Description		Date
Drawn DC Date 23/02/2024	In Association With GOLDTOWER Pty Ltd	BULK EARTHWORKS EROSION & SEDIMENT CONTROL CONSTRUCTION DETAILS	
Checked DC Reviewed DS	COMMERCIAL DEVELOPMENT 5, 9, 11 SAMUEL HARRY CLOSE CHARTERS TOWERS (2, 3 & 4 SP303374, 1 MPH347)	Drawing Number GDTC0113/B04	Issue P1
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NOTE:-
1. CONSTRUCT INTERNAL DROP & BENCHING AS NECESSARY. (REFER INLET TYPE C)
2. DISCHARGE MANHOLE SHALL HAVE INTERNAL LINING. (REFER NOTE 14)

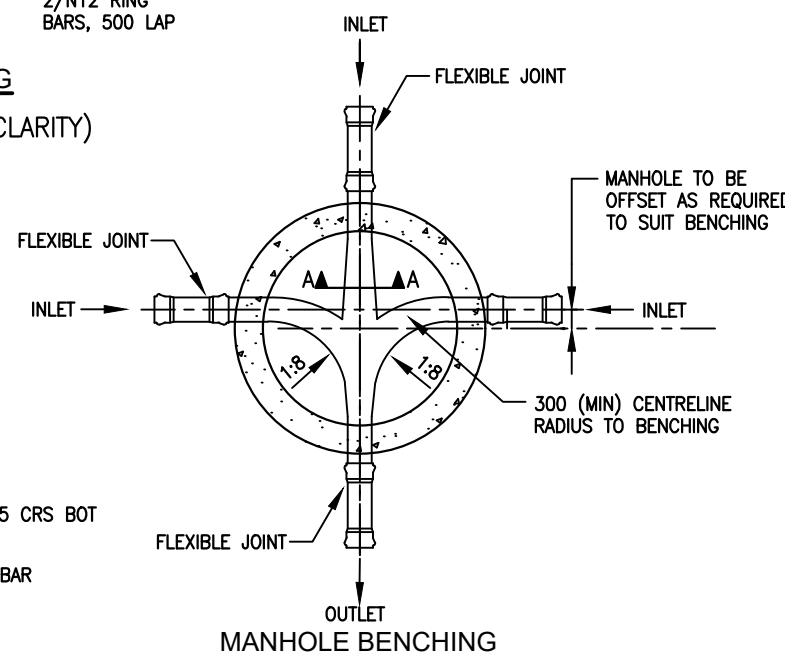
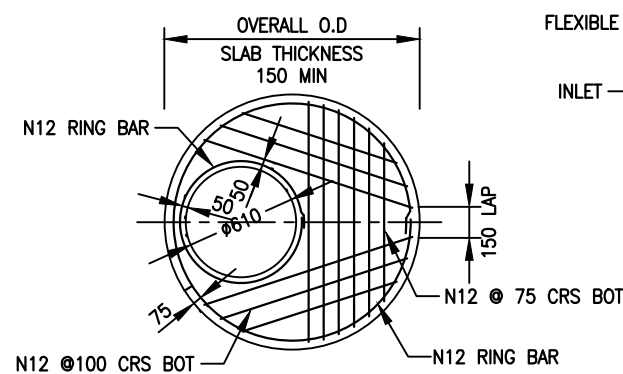
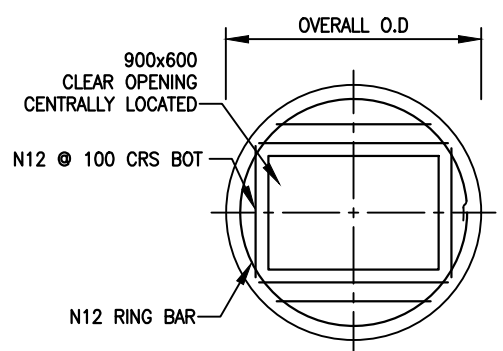
INLET TYPES A & C		
Manhole description	Diagram	Min. drop d
Same diameters		
Straight through		40
Angle up to 45		40
Angle from 45 - 90		40
Branch at angle less than 30		40
Branch at angle 30 - 60		50
Branch at angle 60 - 90		70
Main and branch varying diameters		
Main Dia	Branch Dia	
300	225	80
300	150	150
300	100	200
225	150	80
225	100	130
150	100	50
House drains entering end manholes.		
150 House drain		30
100 House drain		80



NEW PRECAST CONNECTION
BREAK IN DETAIL

NOTES

- PIPES SHOWN ARE DIAGRAMMATIC ONLY AND ARE NOT MEANT TO REPRESENT ANY PARTICULAR CLASS OR MATERIAL. PIPE MATERIAL AND CLASS ARE TO BE PROJECT SPECIFIC.
- ALL CONCRETE SHALL BE GRADE N32, IN ACCORDANCE WITH AS1379 AND AS3600. MINIMUM COVER TO REINFORCING TO BE 40mm.
- ALL COUPLINGS ENTERING CONCRETE SHALL BE FACTORY SANDED TO PROVIDE A SECURE WATERTIGHT BOND WITH CONCRETE WALL.
- MANHOLES GREATER THAN 6.0m DEEP SHALL BE ENGINEER DESIGNED AND SPECIFICALLY DETAILED.
- COVERS TO MANHOLES TO BE CAST IRON WATER TIGHT/GAS TIGHT COVERS (REFER C.R.C. SPECIFICATION) AND SHALL BE TYPE B INSIDE PROPERTIES, TYPE C ELSEWHERE.
- BOLTS TO CONCRETE RING REQUIRED ONLY WHEN BOLT DOWN COVER IS SPECIFIED, OTHERWISE SHALL BE SEATED ON A MORTAR BED.
- CONNECTIONS TO EXISTING MANHOLES SHALL BE CARRIED OUT ONLY WITH PRIOR APPROVAL OF COUNCIL.
- WHERE DEPTH OF MANHOLE FROM OBVERT OF PIPE TO TOP OF MANHOLE LID < 1400mm, A RECTANGULAR COVER SHALL BE USED, OTHERWISE ALL COVERS SHALL BE CIRCULAR.
- MANHOLE COVERS SHALL BE LOCATED DIRECTLY OVER OUTLET PIPE.
- MAXIMUM CHANGE OF ANGLE THROUGH MANHOLE SHALL BE 90°.
- COVERS SHALL BE FITTED WITH A THICK COATING OF HEAVY GREASE TO THE SEATING RING TO PREVENT SEIZING.
- CONSTRUCTION JOINTS SHALL BE SCABBLED AND DOWELED WITH 4/N16 GALVANIZED COGGED DOWELS.
- MANHOLE TOP TO BE SEATED ON WATERPROOF BITUMEN MASTIC.
- INTERNAL LINING TO DISCHARGE MANHOLE TO BE A PRODUCT APPROVED BY COUNCIL.
- MAXIMUM No INLET PIPES CONNECTED TO MANHOLE = 3
- MAXIMUM INTERNAL DROPS IN A MANHOLE:-
FOR Ø1050, ONE INTERNAL DROP WITH Ø150 IN SIZE.
FOR Ø1200, TWO VERTICAL/INTERNAL DROPS WITH Ø150 OR GREATER IN SIZE.
- WALL AND BASE THICKNESS TO BE 225mm (MIN) FOR AGGRESSIVE SOIL.
- PRECAST UNITS MUST COMPLY WITH S6.21 AND AS4198.



REVISIONS	DATE
D NOTE 14 REVISED, NOTE 18 ADDED	27/08/20
C CRC DRAWING ADOPTED	28/11/12
B INLET TYPE B REMOVED	18/01/05
A ORIGINAL ISSUE	13/03/04

DISCLAIMER

The authors and sponsoring organisations shall have no liability or responsibility to the user or any other person or entity with respect to any liability, loss or damage caused or alleged to be caused, directly or indirectly, by the adoption and use of these Standard Drawings including, but not limited to, any interruption of service, loss of business or anticipatory profits, or consequential damages resulting from the use of these Standard Drawings. Persons must not rely on these Standard Drawings as the equivalent of, or a substitute for, project-specific design and assessment by an appropriately qualified professional.



SEWERAGE MANHOLES

Standard
Drawing
S3000

A	B	C	D
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FNQROC DEVELOPMENT MANUAL

Council Charters Towers Regional Council
(INSERT COUNCIL NAME)

STATEMENT OF COMPLIANCE OPERATIONAL WORKS DESIGN

This form duly completed and signed by an authorised agent of the Designer shall be submitted with the Operational Works Application for Council Approval.

Name of Development Goldtower Development - Samuel Harry Close Bulk Earthworks

Location **of** **Development**
Samuel Harry Close - (Lots 2 & 3 on SP303374 and Lot 1 on MPH347)

Applicant Goldtower

Designer Northern Consulting Engineers

It is hereby certified that the Calculations, Drawings, Specifications and related documents submitted herewith have been prepared, checked and amended in accordance with the requirements of the FNQROC Development Manual and that the completed works comply with the requirements therein, **except** as noted below.

Compliance with the requirements of the Operational Works Design Guidelines	Non-Compliance refer to non-compliance report / drawing number
Plan Presentation	
Geotechnical requirements	
Geometric Road Design	
Pavements	
Structures / Bridges	
Subsurface Drainage	
Stormwater Drainage	
Site Re-grading	
Erosion Control and Stormwater Management	
Pest Plant Management	
Cycleway / Pathways	


APPLICATION PROCEDURES

Landscaping	
Water Source and Disinfection/Treatment Infrastructure (if applicable)	
Water Reticulation, Pump Stations and water storages	
Sewer Reticulation and Pump Stations	
Electrical Reticulation and Street Lighting	
Public Transport	
Associated Documentation/ Specification	
Priced Schedule of Quantities	
Referral Agency Conditions	
Supporting Information (AP1.08)	
Other	

Conscientiously believing the above statements to be true and correct, signed on behalf of:

Designer Northern Consulting Engineers **RPEQ No** 7363

Name in Full Derek Robert Conley Saw

Signature  **Date** 24/04/2024