

From: "BNC Planning Correspondence" <da.corro@bncplanning.com.au>
Sent: Fri, 6 Mar 2026 10:19:57 +1000
To: "Development" <Development@charterstowers.qld.gov.au>
Subject: LODGEMENT OF A DEVELOPMENT APPLICATION UNDER CHAPTER 3, PART 2 OF THE PLANNING ACT 2016
Attachments: DA032-23_MCU&BWA_1.0_060326.pdf
Categories: Luke

BNC Planning, acting on behalf of the applicant, hereby lodge the attached Change Application (Other Change) in accordance with the provisions of the *Planning Act 2016* seeking to amend existing development permit MCU2023/0006.01. The subject premises is addressed as **19 & 31 Mosman Street and 18 Jane Street, Charters Towers (Waverley Hotel Upgrade Project)**.

This development application is being made to the Charters Towers Regional Council as the relevant assessment manager under the *Planning Regulation 2017* and has been made in the *approved form* as required under the *Planning Act 2016*.

The relevant assessment manager application fee will be paid by or on behalf of the applicant following confirmation of receipt of this email by council. We trust this information is sufficient for acceptance of this development application as *properly made* subject to payment of the application fee. Please contact the office should there be any issues or if you require any further information.

Kind regards,



Office 7 / Ground Floor / 41 Denham Street TOWNSVILLE CITY QLD 4810

PO BOX 5493 TOWNSVILLE QLD 4810 T. (07) 4724 1763 E. da.corro@bncplanning.com.au

?2026 This email is intended for the identified addressee only. The contents of this email may be confidential and subject to copyright. Unauthorised access, disclosure, use, forwarding or copying is strictly prohibited and may be unlawful. If you have received this email in error, please notify the sender by return email immediately and then delete it.

MAR 2026



**BNC
PLANNING**

DEVELOPMENT APPLICATION

PLANNING ACT 2016

DEVELOPMENT PERMIT

MATERIAL CHANGE OF USE AND BUILDING WORKS
ASSESSABLE AGAINST THE PLANNING SCHEME

at

19 & 31 Mosman Street and 18 Jane Street
CHARTERS TOWERS QLD 4820
RPD: L53 SP210857, L52 CT18220 & L103 SP350774

for

HOTEL (EXTENSION TO EXISTING HOTEL), PARTIAL
DEMOLITION OF A LOCAL HERITAGE PLACE
(WAVERLEY HOTEL), AND DEMOLITION OF A LOCAL
HERITAGE PLACE (DWELLING HOUSE)



bncplanning.com.au



PLANNING REPORT

CHANGE APPLICATION FOR A DEVELOPMENT PERMIT
PLANNING ACT 2016

IMPACT ASSESSABLE MATERIAL CHANGE OF USE AND BUILDING WORKS ASSESSABLE AGAINST THE PLANNING SCHEME

19 & 31 MOSMAN STREET AND 18 JANE STREET, CHARTERS TOWERS QLD 4820

being

LOT 53 ON SP210857, LOT 52 ON CT18220 and Lot 103 on SP350774

for

HOTEL (EXTENSION TO EXISTING HOTEL), PARTIAL DEMOLITION OF A LOCAL HERITAGE PLACE (WAVERLEY HOTEL), AND DEMOLITION OF A LOCAL HERITAGE PLACE (DWELLING HOUSE)

Report Matrix

APPLICATION SUMMARY	
Applicant:	North Queensland Hotel Investments PL C/- BNC Planning
Application Type:	Change Application for a Development Permit
Development Type:	Material Change of Use and Building Works Assessable Against the Planning Scheme
Category of Development (Level of Assessment):	Impact Assessable
Development Description:	Hotel (Extension to Existing Hotel), Partial Demolition of a Local Heritage Place (Waverley Hotel), and Demolition of a Local Heritage Place (Dwelling House)
Assessment Manager:	Charters Towers Regional Council
Referral Agencies:	NA
Planning Scheme:	Charters Towers Regional Town Plan
Planning Scheme Definition(s):	Hotel
Zoning:	Centre Zone and General Residential Zone
Precincts/Sub-Precincts:	NA
Overlays:	Heritage overlay
SITE DESCRIPTION	
Property Address:	19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820
Real (Legal) Property Description:	Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774
Site Area:	6,070m ²
Landowner:	North Queensland Hotel Investments PL
Tenure:	Freehold
Relevant Encumbrances:	NA
Local Government Area:	Charters Towers Regional Council
Road Frontage(s)	Mosman Street, Jane Street and Bow Street
Existing Use(s)	Hotel and Dwelling House

DOCUMENT CONTROL

Prepared by		Client	File Ref.	Report
BNC Planning		North Queensland Hotel Investments PL	DA032-23	Report No. DA032-23-PR
Version	Date	Author		
1.0	March 2026	BNC:BNC		

© 2026 BNC Planning Pty Ltd, All Rights Reserved. Copyright in the whole and every part of this document belongs to BNC Planning and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form or in or on any media to any person without the prior written consent of BNC Planning.

DISCLAIMER: This Report has been prepared in good faith and with due care by BNC Planning Pty Ltd. By accepting this Report, recipients agree for themselves and their affiliates to the terms of this Disclaimer. This Report has been prepared solely for development application and assessment purposes and not as specific advice to any particular recipient or any other person. It is not to be construed as a recommendation by BNC Planning Pty Ltd that any recipient proceeds with any investigation or with any purchase and/or lease of a property or service. In all cases recipients should carry out their own independent investigation, assessment and analysis. This Report is provided to the recipient on a contract for service basis and is not to be resupplied or replicated to any other person without the prior written consent of BNC Planning Pty Ltd. The recipient may, however, disclose the Report to any of its employees, advisors (including lawyers and accountants) or agents to the extent necessary to allow the recipient to evaluate the property/properties and to act on any opportunities.

CONTENTS

1.	EXECUTIVE SUMMARY	4
2.	INTRODUCTION	5
3.	SITE AND LOCALITY	5
4.	PROPOSAL SUMMARY	6
5.	STATUTORY ASSESSMENT	7
5.1	Assessment Benchmarks Pertaining to State Planning Instruments.....	8
5.2	Assessment Benchmarks Pertaining to Local Planning Instruments.....	8
5.2.1	Strategic Framework	9
5.2.2	Centre Zone Code.....	10
5.2.3	General Residential Zone Code	10
5.2.4	Development Codes	10
5.2.5	Overlay Codes	11
5.3	External Referrals	11
5.4	Public Notification	11
6.	CONCLUSION	11

APPENDICIES

Appendix 1	Development Application Forms
Appendix 2	Site Details
Appendix 3	Plans of Development
Appendix 4	Other Supporting Documents

1. EXECUTIVE SUMMARY

BNC Planning acting on behalf of the applicant and landowner lodge this change application under section 78 of the Planning Act 2016 (the Act) for changes to the assessment managers conditions associated with an existing development approval over the above referenced premises. The subject development approval is in the form of a material change of use and building works development permit to facilitate a Hotel (Extension to Existing Hotel), Partial Demolition of a Local Heritage Place (Waverley Hotel), and Demolition of a Local Heritage Place (Dwelling House) issued by the Charters Towers Regional Council by way of a Changed Decision Notice dated 7 November 2024.

As an other change application, this development application is made in accordance with the provisions of Chapter 3, Part 2 of the *Planning Act 2016* (the Act) and is seeking an amendment to the existing development permit to expand the land use right onto the adjoining land at 31 Mosman Street to allow for additional car parking and manoeuvring areas. The subject premises is now addressed as 19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820 more particularly described as Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774. The premises is within the Centre Zone and General Residential Zone under the Charters Towers Regional Town Plan (the planning scheme) and is currently used as a Hotel (the Waverley Hotel) and dwelling houses. It is noted that one of the dwelling houses on 18 Jane Street has been demolished.

For the purpose of this development application *BNC Planning* act on behalf of the applicant *North Queensland Hotel Investments PL*.

Following a detailed assessment of the proposal against the applicable assessment benchmarks it has been determined that the development proposal is consistent with all applicable codes and policies. The development application is therefore required to be approved in accordance with rules of assessment as established under the Act, subject to the imposition of reasonable and relevant conditions and any referral agency responses. A summary of the development application is provided below:

Table 1.0: Development application summary

APPLICATION SUMMARY	
Applicant:	North Queensland Hotel Investments PL C/- BNC Planning
Application Type:	Change Application for a Development Permit
Development Type:	Material Change of Use and Building Works
Category of Development (Level of Assessment):	Assessable Development – Impact Assessable
Development Description:	Hotel (Extension to Existing Hotel), Partial Demolition of a Local Heritage Place (Waverley Hotel), and Demolition of a Local Heritage Place (Dwelling House) (Car Park extension and dwelling removal)
Assessment Manager:	Charters Towers Regional Council
Referral Agencies:	NA
CATEGORISING INSTRUMENTS	
Planning Scheme:	Charters Towers Regional Town Plan
Planning Scheme Defined Use(s):	Hotel
Zoning:	Centre Zone and General Residential Zone
Precincts/Sub-Precincts:	NA
Local Areas:	NA
Overlays:	Heritage overlay

SITE DESCRIPTION	
Property Address:	19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820
Real (Legal) Property Description:	Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774
Site Area:	6,070m ²
Landowner:	North Queensland Hotel Investments PL
Tenure:	Freehold
Relevant Encumbrances:	NA
Local Government Area:	Charters Towers Regional Council

2. INTRODUCTION

BNC Planning Pty Ltd has been commissioned by North Queensland Hotel Investments PL (the Applicant) to prepare this town planning assessment report to support a change application which seeks Charters Towers Regional Council (Council) approval for a Material Change of Use for a Hotel use and Building Works Assessable Against the Planning Scheme for Demolition as described within this planning report.

The land subject of this development application is addressed as 19 & 31 Mosman Street and 18 Jane Street, Charters Towers (the Site).

This report addresses the merits of the development with regard to the provisions of the Charters Towers Region Town Plan (the Planning scheme) and relevant sections of the *Planning Act 2016* (the Act) and Planning Regulation 2017 (the Regulation).

This report is to be read in conjunction with the maps, plans, drawings, technical reports and other supporting information accompanying this development application.

The assessment of the application is to be undertaken in accordance with Section 45(5) of the Act and Sections 31 and 31 of the Regulation. This report provides the Applicant's assessment of the proposed development against these provisions.

3. SITE AND LOCALITY

The subject premises is made up of three Freehold land parcels addressed as 19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820 more particularly described as Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774. The premises is within the Centre Zone and General Residential Zone and the Planning scheme and is currently used as a Hotel (Waverley Hotel) and dwelling houses. The site forms part of the entry gateway into the CBD from the north which is a mix of residential, commercial and open space activities.

Any pertinent existing approvals or current applications which may affect the assessment of the proposal are identified in the table below:

APPLICATION REF.	DECISION AND DATE	ASSESSMENT MANAGER
MCU2023/0006.01	7 November 2024	Charters Towers Regional Council

The following table describes the key characteristics of the site:

Table 2.0: Site characteristics

SITE AND LOCALITY DESCRIPTION	
Property Address:	19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820
Real (Legal) Property Description:	Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774
Site Area:	6,070m ²
Landowner:	North Queensland Hotel Investments PL
Tenure:	Freehold
Relevant Encumbrances:	NA
Local Government Area:	Charters Towers Regional Council
Zoning:	Centre Zone & General Residential Zone
Precincts/Sub-Precincts:	NA
Local areas:	NA
Existing Use(s):	Hotel and Dwelling Houses
Road Frontage:	Mosman Street, Jane Street and Bow Street
Significant Site Features:	The site contains single and double storey commercial buildings which make up the hotel use with associated site support services including access, parking, landscaping and amenities.
Topography:	The site is fully developed and is generally flat with no notable topographic features.
Surrounding Land Uses:	Residential, commercial, open space

4. PROPOSAL SUMMARY

The applicant is proposing to reinvest in the site by providing additional car parking spaces for the already approved hotel use. No changes are proposed to this hotel component, including its operational processes and built form. The expansion of the carpark will involve the demolition of the existing dwellings on 16 and 18 Jane Street. Both dwellings of 16 and 18 Jane Street are local heritage places within the Heritage overlay, and while the dwelling house on 16 Jane Street has approval for demolition, a development permit is required for the demolition of the local heritage place of 18 Jane Street. The car park will involve a new road access point to Jane Street and Bow Street. Mitigating design features including acoustic fencing and landscaping will be installed around the boundary of the new car park to ensure amenity impacts on adjoining residents are managed. The attached Plans of Development include in **Appendix 3** outline the general site layout and function. As the development is for a car park construction, the existing infrastructure and servicing features of Waverley Hotel will be retained, and are sufficient for the continued operation of the hotel.

The Planning scheme specifically defines the proposed use(s) as follows:

Hotel:

- a) *The use of premises for—*
 - i. *selling liquor for consumption on the premises; or*
 - ii. *a dining or entertainment activity, or providing accommodation to tourists or travellers, if the use is ancillary to the use in subparagraph (i); but*
- b) *does not include a bar.*

The following table describes the key characteristics of the proposed development:

Table 3.0: Proposal summary

ELEMENT	EXISTING USE RIGHTS	PROPOSED
Use rights:	Hotel and Dwelling	Hotel
Building height/ storeys:	Single and double storey	No change
Boundary Setbacks:	Mosman St: Built to boundary	No change to Hotel.

	Jane St: Built to boundary Bow St: 3m Western Side: ~5m	Removal of all dwelling houses.
Site cover:	~60%	No change to Hotel. Removal of both dwelling houses.
Gross floor area:	Hotel: GF = 1,020m ² , FF = 320m ² Liquor shop = 360m ²	No change to Hotel. Removal of all dwelling houses.
On-site Car parking:	75	85



Image 1: Proposed Site Layout

5. STATUTORY ASSESSMENT

The proposed development is identified as *impact assessable* in the material change of use table of assessment for the Centre Zone/General Residential Zone. The demolition of a local heritage place within the Heritage overlay is identified as *impact assessable* in the overlays table for building works assessable against the planning scheme. There are no other components of the planning scheme or *Planning Regulation 2016* which effect the level of assessment for the proposal. The development application is therefore subject to an unbound assessment against the planning scheme as a whole.

The development application does not trigger referral agency assessment.

5.1 Assessment Benchmarks Pertaining to State Planning Instruments

Matters Prescribed by Regulation

There are no relevant assessment benchmarks prescribed by Regulation which are relevant to the assessment of this development application.

State Planning Policy

Charters Towers Regional Town Plan confirms in section 2.1 *State planning policy* that it has ministerial approval as having adequately integrated the *State Planning Policy July 2017* into the planning scheme. There are no stand-alone components of the State planning policy which are relevant to the assessment of this development application.

Regional Plan

There are no stand-alone components of the North Queensland Regional Plan which are relevant to the assessment of this development application.

State Development Assessment Provisions

Under Schedule 10 of the *Planning Regulation 2017*, the development application does not trigger referral agency assessment.

5.2 Assessment Benchmarks Pertaining to Local Planning Instruments

The applicable planning scheme for the application is the Charters Towers Regional Town Plan and there are no other identified applicable local planning instruments.

Charters Towers Regional Town Plan

The Planning scheme includes tables of assessment which nominate the categories of development and assessment (levels of assessment) and nominate the assessment benchmarks for assessable development and the requirements for accepted development. The applicable tables of assessment for this development application are:

- Categories of development and assessment – Material change of use; and
- Categories of development and assessment – Overlays.

Local Government Infrastructure Plan

The development will not impact on the delivery of any planned trunk infrastructure in the immediate locality.

Assessment Benchmarks Summary

A summary of the relevant local level assessment benchmarks is provided in the table below:

Local Planning Instruments	
Planning Scheme	The Town plan The most relevant components being: Strategic Framework Centre Zone and General Residential Zone code Development works code

	Landscaping code Heritage overlay code
--	---

The development application has been assessed against each of the applicable local level assessment benchmarks and found to be:

- compliant with the purpose and applicable outcomes from the relevant codes; and
- consistent with the Strategic Framework for the planning scheme.

Any pertinent issues arising from the assessment against the local level assessment benchmarks are addressed below. For clarity, any codes or outcomes not specifically addressed below or in the proposal justification report are considered to be objectively satisfied.

5.2.1 Strategic Framework

The proposal involves the extension of the car park for an approved Hotel expansion project for the Waverley Hotel. This will extend the hotel use onto 31 Mosman Street which is also within the Centre zone where amenity impacts are compatible. There are no new works or built form proposed within the General residential zone other than what is already approved. In extending the car parking area, the development will involve the demolition of a dwelling house on 31 Mosman Street which is a local heritage place. However, Council have already accepted a Heritage Assessment confirming that its removal will have no adverse impact on local heritage values. See **Appendix 4**.

The extension of Waverley Hotel will support a commercial use that is highly patroned by the residential community, and as a local heritage place, reinforces historical heritage values within the local community. The development supports the economic growth of the city, facilitates investment in tourist and recreation based activities, constitutes infill development which consolidates the urban form in the CBD locality and has been designed to compliment and retain the heritage values of the site and City. All while being able to mitigate and manage any potential amenity impacts on near by residential and sensitive receptor uses.

It is considered that the proposed use aligns with the strategic framework for the following reasons:

- The change directly aligns with the overall use of the existing buildings and site.
- The proposal is consistent with past development decisions for the premises.
- Given the premises is an established hotel activity, the proposed use does not change or undermine the planning scheme requirements for development in the Centre zone or the General residential zone.
- As no built form is proposed, amenity impacts to the residential community are limited and can be managed.
- No changes are proposed to the heritage character of the hotel.
- No changes are proposed to the existing services and infrastructure provided to the site.
- The site is not identified as being susceptible to any unacceptable or unmanageable natural hazard or infrastructure constraints.

The Strategic Intent, and the Strategic Framework (the Framework) as a whole is a set of high order strategic outcomes and land use strategies which set the overarching policy intent for the lower order, more detailed components of the planning scheme i.e. zones, codes and policies. The Framework is split into themes which cover the main aspects of land use planning and development governance. Given the level the Framework operates at, it is sometimes difficult to provide a direct, development specific assessment of a proposal against its many components. However, a proposal

that satisfies the lower order components of the planning scheme, i.e. zone codes, development codes, overlay codes, planning scheme policies, etc. inherently satisfies the intent of the Framework.

This planning report demonstrates how the proposal satisfies the most applicable lower order components of the planning scheme. This justification demonstrates how the proposal is a good land use outcome for the site and how it has been designed to adequately address any environmental, economic or social impacts. Each Code has been satisfied by addressing each acceptable outcome individually. Where the requirements of an acceptable outcome were impractical or inappropriate to address, the performance outcome was addressed and satisfied. Where the requirements of a performance outcome were impractical or inappropriate to address, the overall outcomes were addressed and satisfied. By satisfying the requirements of the overall outcomes, the purpose of the code was inherently satisfied, as is the Strategic Framework for the planning scheme as a whole.

5.2.2 Centre Zone Code

Purpose

The lots positioned within the Centre zone contain the existing hotel and the house to be removed from 31 Mosman Street. No changes are proposed to this Hotel built form component, which includes the ancillary liquor shop. 31 Mosman Street will accommodate an expansion of the car park and vehicle manoeuvring area to improve the operational efficiency of the use. Thus, reinforcing the existing commercial use within the Centre zone. Compliance with the centre zone code was established as part of the existing development approval. Given the nature of the proposed changes, this fundamental established consistency with the Centre zone code is not undermine.

5.2.3 General Residential Zone Code

Purpose

The lot positioned within the General residential zone is not subject to any changes as part of this application. It will remain a car parking area as per the existing approved layout. Compliance with the General residential zone code was established as part of the existing development approval and is not affected by this change.

5.2.4 Development Codes

Development works code and Landscaping code

The proposal is generally limited to acceptance of the car park extension and the ability to demolish the dwelling house on 31 Mosman Street. The existing infrastructure and services provided to the hotel are appropriate for the proposed use, as there is no change in the hotel operations occurring on site. Additional landscaping areas have been added within the car park extension footprint, and site access has been reviewed and accepted by a traffic engineer. See **Appendix 4**. This plan mark up shows a traffic engineer review of an earlier version of the final attached DA plans which were amended in response to a review. The only element that was not amended in response to the advice was the retention of the already approved access point from the Mosman Street properties onto Bow Street, which was acceptable give the Bow Street access from the Jane Street property has been removed.

Car Parking Rationale

The change seeks to increase the availability of on-site car parking from the approved 75 to a total of 85. There are no proposed changes to the operation of the hotel, nor the built form, and thus there is no anticipated increase in demand in traffic generated by the development.

Sufficient detail is provided on the plans of development to re-affirm compliance with the development codes or that solutions to addressing the servicing and utility needs of the development can be achieved at the detailed design stage. Accordingly, it is requested that conditions of approval be used to allow the material change of use decision to be reached as quickly as possible with any required operational works and/or compliance assessment processes left to confirm the more detailed design solutions. Based on the detail provided in this development application, sufficient confidence can be achieved that solutions will be achievable at these later stages of the development approval process. It is at this stage where application of the development code and demonstration of compliance with the civil/engineering works design standards becomes more relevant and clearly demonstratable.

5.2.5 Overlay Codes

Heritage overlay code

The purpose of the heritage overlay code is to conserve places of local heritage. The subject site is identified as being on the local heritage register which has been the key consideration given to the proposed scope of works by the applicant and their design team. No changes are proposed to 19 Mosman Street or 18 Jane Street. The extent of assessment relates to the demolition of the dwelling house on 31 Mosman Street only. Council have already accepted a Heritage Assessment confirming that its removal will have no adverse impact on local heritage values. See **Appendix 4**. Accordingly, the development is consistent with the purpose of the Heritage overlay code.

5.3 External Referrals

The development application does not trigger referral agency assessment, as discussed in section 5.1 above.

5.4 Public Notification

The application is impact assessable and will undergo public notification in accordance with Part 4 of the Development Assessment Rules.

6. CONCLUSION

This change application is made in accordance with the provisions of Chapter 3, Part 2 of the *Planning Act 2016* and is seeking a development permit for a material change of use and building works to facilitate the extension of an approved car parking area for an approved Hotel extension project and the demolition of a local heritage dwelling house. The subject premises is addressed as 19 & 31 Mosman Street and 18 Jane Street, Charters Towers QLD 4820 more particularly described as Lot 53 on SP210857, Lot 52 on CT18220 and Lot 103 on SP350774. The premises is within the Centre Zone and General Residential Zone under the Charters Towers Regional Town Plan and is currently used as a Hotel (the Waverley Hotel) and dwelling houses.

An assessment of the proposal was undertaken against the applicable assessment benchmarks which confirms that it is consistent with the provisions of the applicable planning instruments, specifically the local government planning scheme. Council is therefore required to **approve** the development application pursuant to the rules of impact assessment

established under the Act and issue a development permit subject to the imposition of reasonable and relevant conditions and any referral agency responses.

STATEMENT OF REASONS

Subject to the imposition of reasonable and relevant conditions, the development is able to comply with the relevant assessment benchmarks against which the application was required to be assessed.

Sufficient justification has been provided and satisfactory grounds have been established to conclude that the proposed development remains consistent with the strategic intent and overall outcomes of the planning scheme. In substantive terms, this conclusion is based on the following reasons:

- The development allows the site to better contribute to the achievement of the Strategic Framework.
- The proposed land use outcome directly aligns with the Purpose of the zone codes.
- The development compliments and does not adversely affect the heritage values of the site.
- The development outcome reflects community expectation for land use and development as established by the planning scheme and past development decisions.
- The development can be adequately serviced.
- The development will maintain the existing level and standard of servicing provided by the relevant infrastructure networks.
- The site is not identified as being susceptible to any unacceptable or unmanageable natural hazard or infrastructure constraints.
- The development does not increase the susceptibility of people or property to natural hazards or other health risks.
- The proposal addressed an established planning need for the development
- The proposal does not undermine the planning scheme
- The proposal does not establish precedence that could result in the future undermining of the planning scheme

APPENDIX 1

DEVELOPMENT APPLICATION FORMS

Change application form

Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	North Queensland Hotel Investments Pty Ltd C/- BNC Planning
Contact name (only applicable for companies)	Benjamin Collings
Postal address (P.O. Box or street address)	PO Box 5493
Suburb	Townsville
State	QLD
Postcode	4810
Country	AUS
Email address (non-mandatory)	da.corro@bncplanning.com.au & bnc@bncplanning.com.au
Mobile number (non-mandatory)	
Applicant's reference number(s) (if applicable)	DA032-23

2) Owner's consent - Is written consent of the owner required for this change application?	
Note: Section 79(1A) of the <i>Planning Act 2016</i> states the requirements in relation to owner's consent.	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this change application	
<input type="checkbox"/> No	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1 or 3.2, and 3.3 as applicable)				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or				
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		19 & 31	Mosman Street	Charters Towers
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4820	53 52	SP210857 CT18220	Charters Towers Regional Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		18	Jane Street	Charters Towers
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)



**Queensland
Government**

4820	103	SP350774	Charters Towers Regional Council	
3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)				
Note: Place each set of coordinates in a separate row.				
<input type="checkbox"/> Coordinates of premises by longitude and latitude				
Longitude(s)	Latitude(s)	Datum		Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:		
<input type="checkbox"/> Coordinates of premises by easting and northing				
Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	
3.3) Additional premises				
<input type="checkbox"/> Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application <input checked="" type="checkbox"/> Not required				

PART 3 – RESPONSIBLE ENTITY DETAILS

4) Identify the responsible entity that will be assessing this change application
Note: see section 78(3) of the Planning Act 2016
Charters Towers Regional Council

PART 4 – CHANGE DETAILS

5) Provide details of the existing development approval subject to this change application			
Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	MCU2023/0006.01	7 November 2024	Charters Towers Regional Council
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

6) Type of change proposed
6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):
Expansion of car parking area and demolition of additional local heritage dwelling
6.2) What type of change does this application propose?
<input type="checkbox"/> Minor change application – proceed to Part 5 <input checked="" type="checkbox"/> Other change application – proceed to Part 6

PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application
<input type="checkbox"/> No – proceed to Part 7 <input type="checkbox"/> Yes – list all affected entities below and proceed to Part 7

Note: section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

Note: To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

- No
 Yes

9) Development details

9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

- No
 Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

9.2) Does the change application involve building work?

- No
 Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?

Note: The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

- No
 Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

11) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this change application
 I do not agree to accept an information request for this change application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

12) Further details

- Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

PART 7 – CHECKLIST AND APPLICANT DECLARATION

13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and Yes
- for an other change all relevant referral requirement(s) in 10)

Note: See the *Planning Regulation 2017* for referral requirements

- For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application Yes
 Not applicable

- For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application Yes
 Not applicable

- Supporting information addressing any applicable assessment benchmarks is attached to this application Yes
- Note:** This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

- Relevant plans of the development are attached to this development application Yes
- Note:** Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

14) Applicant declaration

- By making this change application, I declare that all information in this change application is true and correct.
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date received form sighted by assessment manager			
Name of officer who sighted the form			

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details

Applicant name(s) <i>(individual or company full name)</i>	
Contact name <i>(only applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application
- No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

- | | |
|------------------------|--|
| Material change of use | <input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input type="checkbox"/> Yes – complete division 3 |
| Building work | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

- | | |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use



Queensland
Government

- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material *(from a watercourse or lake)*
- Water-related development – referable dams
- Water-related development – levees *(category 3 levees only)*
- Wetland protection area

Matters requiring referral to the **local government**:

- Airport land
- Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	MCU2023/0006.01	7 November 2024	Charters Towers Regional Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government’s website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	Waverley Hotel 18 Jane Street 31 Mosman Street	Place ID:	102CT18232 No Place ID No Place ID
-----------------------------	--	-----------	--

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application Yes
 Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application Yes
Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Relevant plans of the development are attached to this development application Yes
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) Yes Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Landowners Consent Form
Planning Act 2016

I,

Steven Shoobridge
Director

Being the delegate representative of NORTH QUEENSLAND HOTEL INVESTMENTS PTY LTD being the owner of the premises identified as follows:

Waverley Hotel, 19 Mosman Street CHARTERS TOWERS QLD 4820
Lot 53 on SP210857
AND
16 & 18 Jane Street CHARTERS TOWERS QLD 4820
Lots 102 & 103 on CT18232

consent to the making of a change application under the *Planning Act 2016* by:

BNC Planning Pty Ltd

on the premises described above for:

Material Change of Use

A

.....
Signature of Delegate

02/05/2026

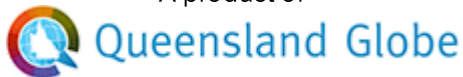
.....
Date

APPENDIX 2

SITE DETAILS



A product of



Legend located on next page



Scale: 1:1242

Printed at: A4

Print date: 6/3/2026

Not suitable for accurate measurement.
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>




Includes material © State of Queensland 2026. You are responsible for ensuring that the map is suitable for your purposes. The State of Queensland makes no representation or warranties in relation to the map contents and disclaims all liability.

If imagery is displayed, imagery includes material © CNES reproduced under license from Airbus DS, all rights reserved © 21AT © Earth-i, all rights reserved, © Planet Labs PBC, Document Set ID: 5186747
Version: 1, Version Date: 18/03/2026



Department of Natural Resources and Mines,
Manufacturing, and Regional and Rural Development




GDA datum

-  Datum Datum
-  Datum Derived
-  Datum No height

GDA derived

-  Derived Datum
-  Derived Derived
-  Derived No height

GDA scaled

-  Scaled Datum
-  Scaled Derived
-  Scaled No height

Address

Land parcel

-  Parcel

Land parcel - gt 1 ha

-  Parcel

Land parcel - gt 10 ha

-  Parcel

Property

-  Parcel

Land parcel - gt 1000 ha

-  Parcel

Land parcel label

Land parcel label - gt 1 ha




















Land parcel label - gt 10 ha

Land parcel label - gt 1000 ha

Places: Land parcel

- 103SP350774
- 53SP210857
- 52CT18220

Roads and tracks

-  Motorway
-  Highway
-  Secondary
-  Connector
-  Local
-  Restricted Access Road
-  Mall
-  Busway
-  Bikeway
-  Restricted Access
-  Bikeway
-  Walkway
-  Restricted Access
-  Walkway
-  Non-vehicular Track
-  Track
-  Restricted Access Track
-  Ferry
-  Proposed Thoroughfare

Green bridges



Bridges



Tunnels

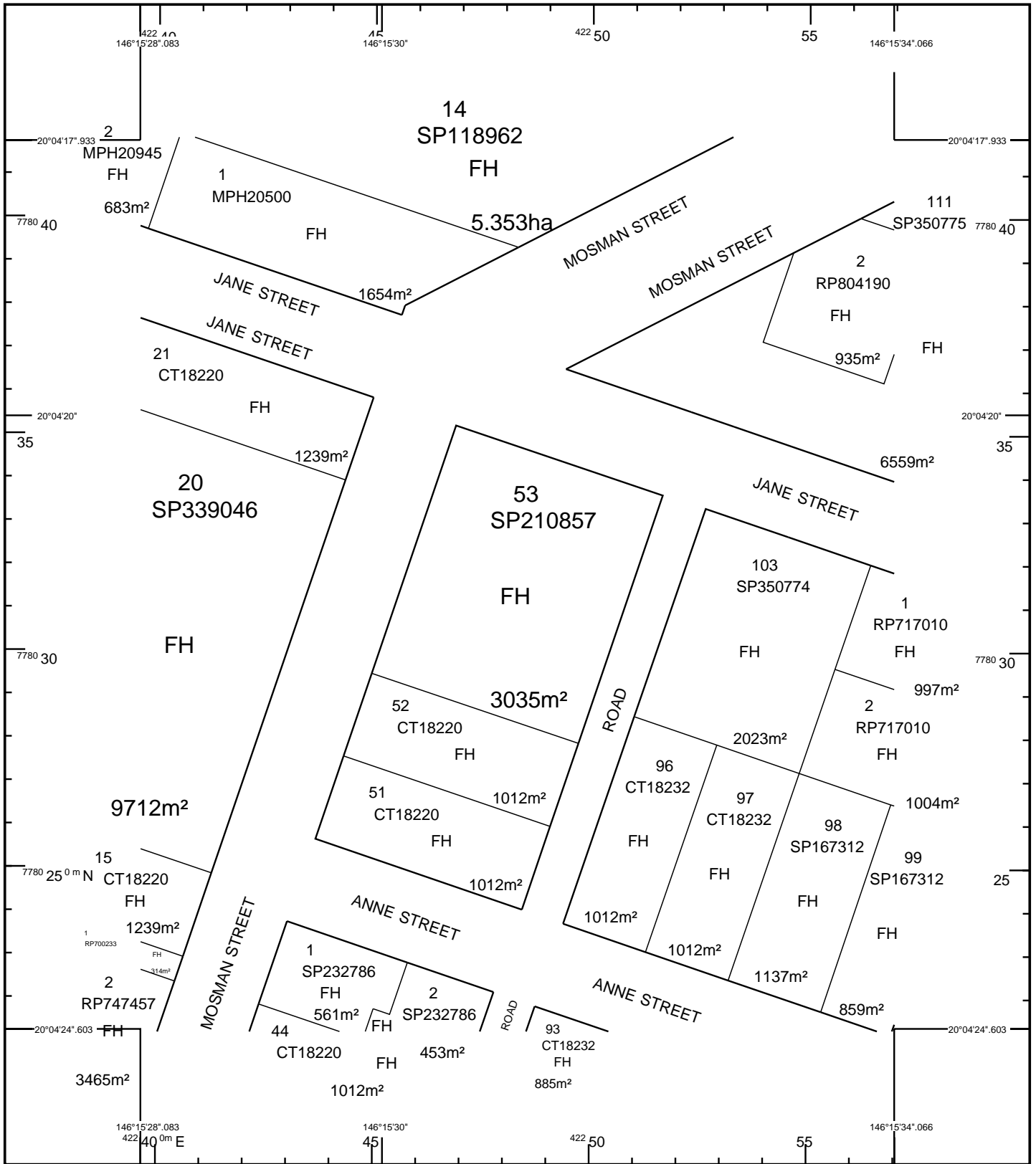


Includes material © State of Queensland (Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development); © Commonwealth of Australia (Geoscience Australia); © 21AT, © Earth-i, all rights reserved, 2026.

© State of Queensland (Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development) 2025

© State of Queensland (Department of Resources) 2024

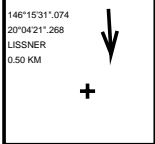
© State of Queensland (Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development) 2024



STANDARD MAP NUMBER
8157-14344



MAP WINDOW POSITION & NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	53/SP210857
Lot/Plan	3035m²
Area/Volume	FREEHOLD
Tenure	CHARTERS TOWERS REGIONAL
Local Government	CHARTERS TOWERS CITY
Locality	46770/253
Segment/Parcel	

CLIENT SERVICE STANDARDS

PRINTED 06/03/2026

DCDB 05/03/2026

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

Despite Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development best efforts, NRMMDR makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information.

For further information on SmartMap products visit <https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

SmartMap

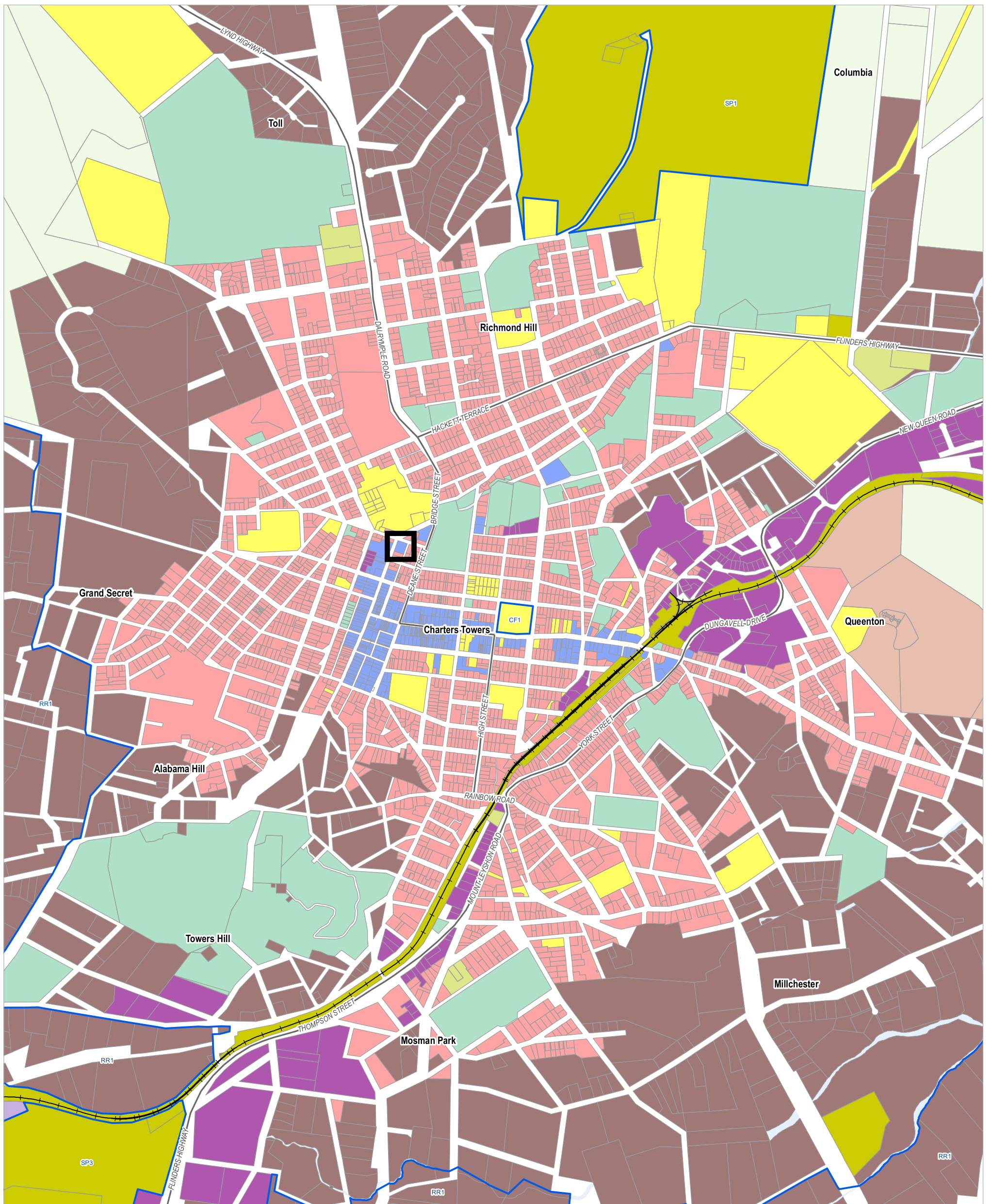
An External Product of SmartMap Information Services
Based upon an extraction from the Digital Cadastral Data Base



Queensland Government

© The State of Queensland, (Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development) 2026.





**Charters Towers
Regional Town Plan
Zone Map**

- Zone**
- Centre
 - General Residential
 - Industry
 - Industry Investigation
 - Community Facilities
 - Minor Tourism
 - Recreation and Open Space
 - Environmental Management and Conservation
 - Rural Residential
 - Emerging Community
 - Rural
 - Special Purpose
 - Township

- Precinct**
- CF1 - Hospital and Health Care Services Precinct
 - RR1 - Environs Precinct
 - RR2 - Hervey Range Precinct
 - SP1 - Airport Precinct
 - SP2 - Defence Precinct
 - SP3 - Sales Yard Precinct
- Other Map Layers**
- Precinct Boundary
 - Cadastral Boundary
 - Local Government Boundary
 - Waterway
 - Railway Network
 - Major Roads

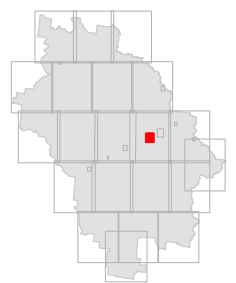
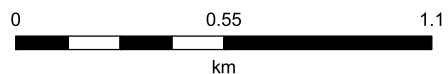
DISCLAIMER
Based on or contains data provided by the State of Queensland (Department of Natural Resources and Mines) [2019]. In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.

Cadastral boundaries as at December 2019 sourced from QSpatial.

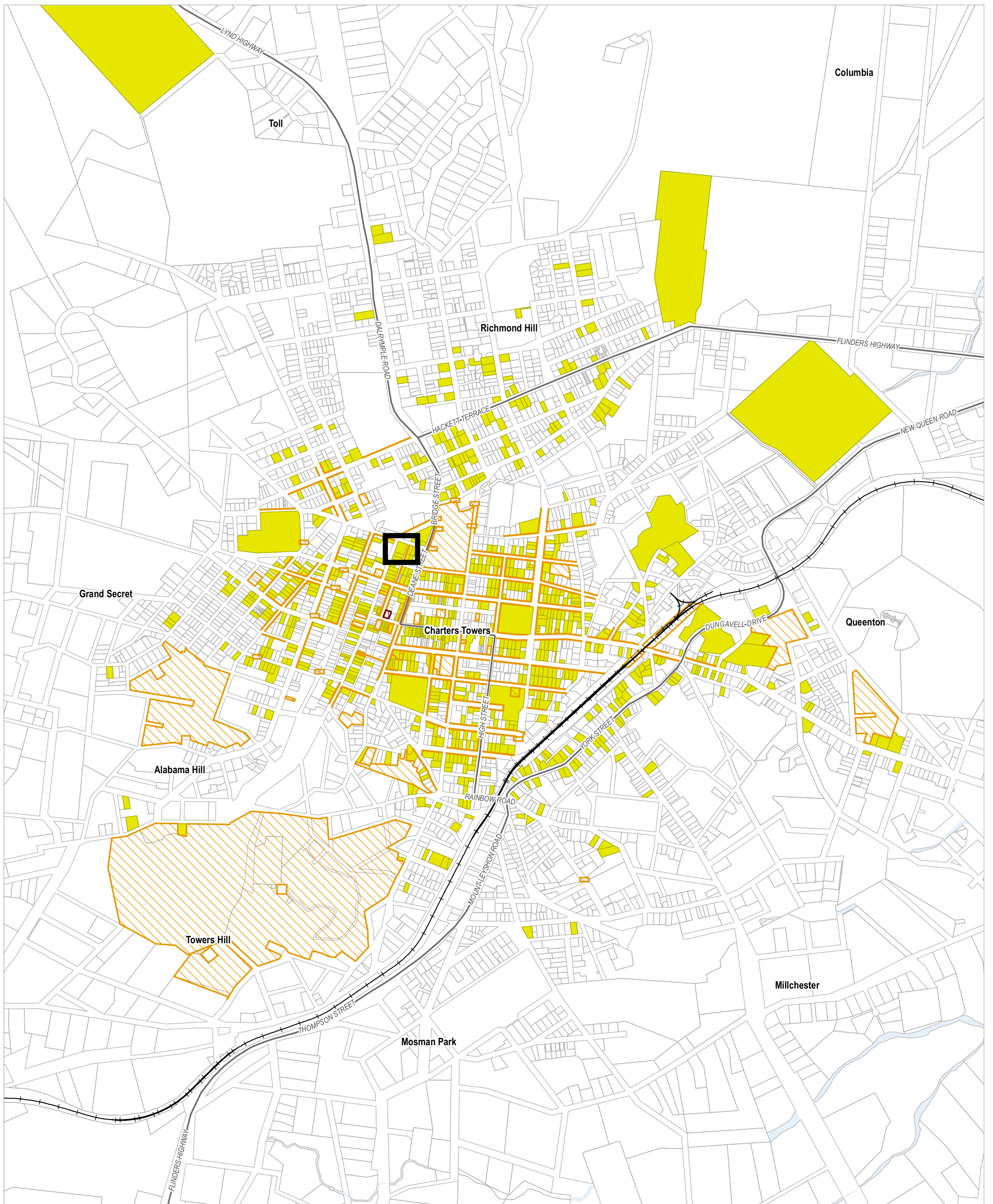
Geocentric Datum of Australia (GDA94)

29/12/2019









Approx Scale @ A3 1:20,000



**Zone - ZM1.2
Charters Towers Urban Area**



**Charters Towers
Regional Town Plan
Heritage Overlay Map**

- Cultural Heritage Places**
-  National Heritage Place
 -  State Heritage Place
 -  Local Heritage Place
- Other Map Layers**
-  Cadastral Boundary
 -  Local Government Boundary
 -  Waterway
 -  Railway Network
 -  Major Roads

DISCLAIMER

Based on or contains data provided by the State of Queensland (Department of Natural Resources and Mines) [2019]. In consideration of the State permitting use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws.

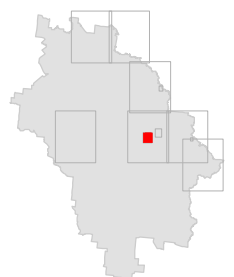
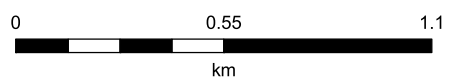
Cadastral boundaries as at December 2019 sourced from QSpatial.
State heritage as at 21/06/2019, sourced from QSpatial. National heritage place as at 29/03/2019.

Refer to State Government mapping for the latest version of the overlay if applicable.

Geocentric Datum of Australia (GDA94)

29/12/2019

Approx Scale @ A3 1:20,000



**Heritage Overlay - OM4.2
Charters Towers Urban Area**

Name of Place	Waverley Hotel
Street Address	19-25 Mosman Street, Charters Towers
Lot/Plan	L1/RP726134, L3/RP745520 and L55/CT18220
Type of Place	Hotel
Construction Date	1889 (Architect: Tunbridge and Tunbridge)
Integrity	Substantially intact
Condition	Good condition
Inspection Date	28 June 2020
References	Michael Brumby, One Square Mile, Charters Towers, Charters Towers Archives, 1997.

Description of Place

Built for John Robb in 1889. Designed by Tunbridge and Tunbridge.

Heritage Significance of Place

Criterion 3 Typological – The place demonstrates the key characteristics of a type or class of place that makes a significant contribution to our understanding of local history.

Statement The Waverley Hotel is a two storey brick building that was built on the corner of Mosman and Jane Streets in 1889. It is significant as it exemplifies the design, form and construction techniques used to build hotels during the commercial growth of Charters Towers as north Queensland's most prominent goldfield up until 1911.

Location Map of Place

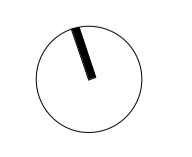


Photos of Place

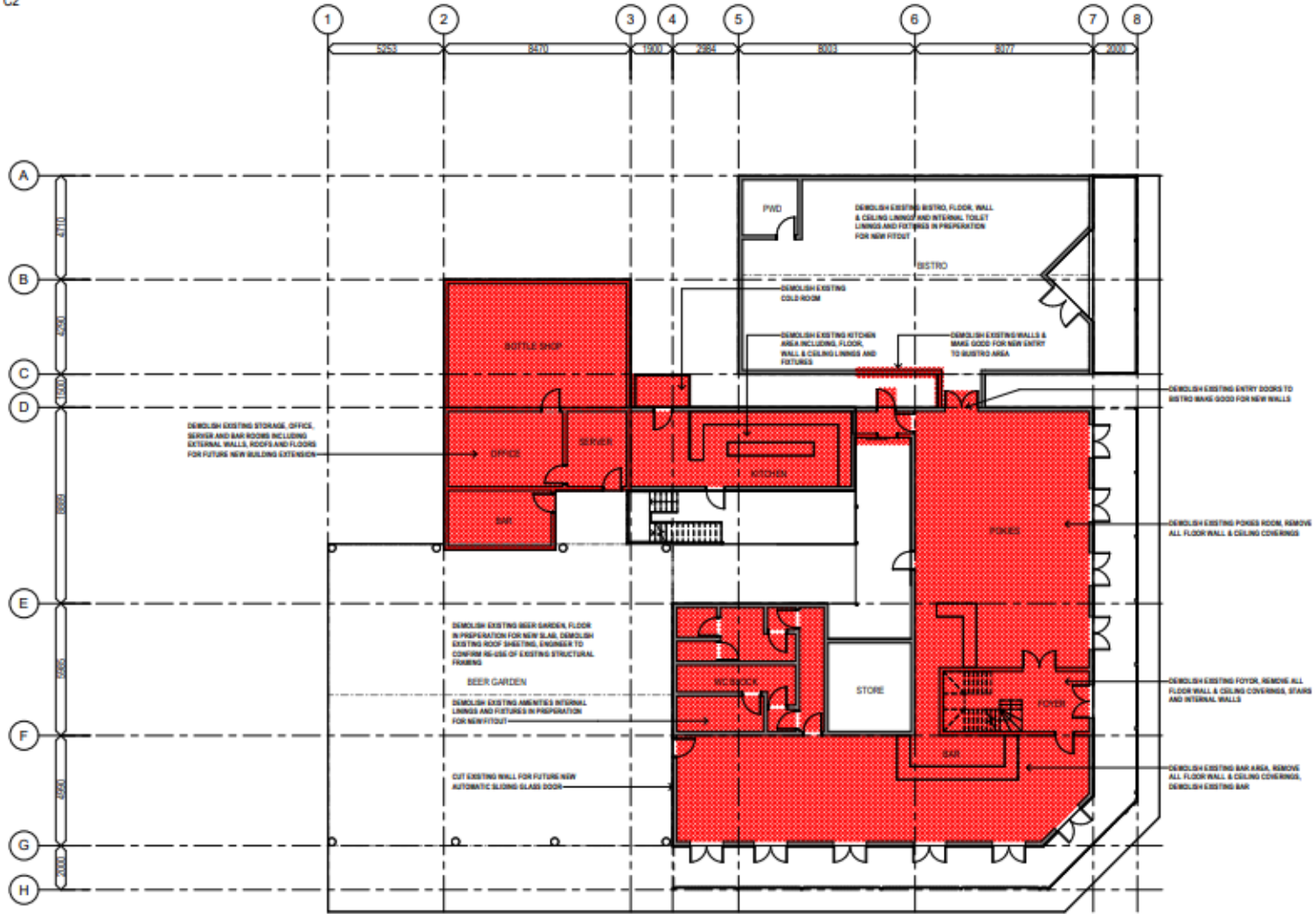


APPENDIX 3

PLANS OF DEVELOPMENT



WIND CATEGORY C2



DEMOLITION PLAN - G.F.
1:100



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NO. IT IS NOT TO BE COPIED OR REPRODUCED IN ANY FORM WITHOUT THE PERMISSION OF THE DESIGN HOUSE NO. BY/IN

ISSUE:	DATE:	DESCRIPTION:

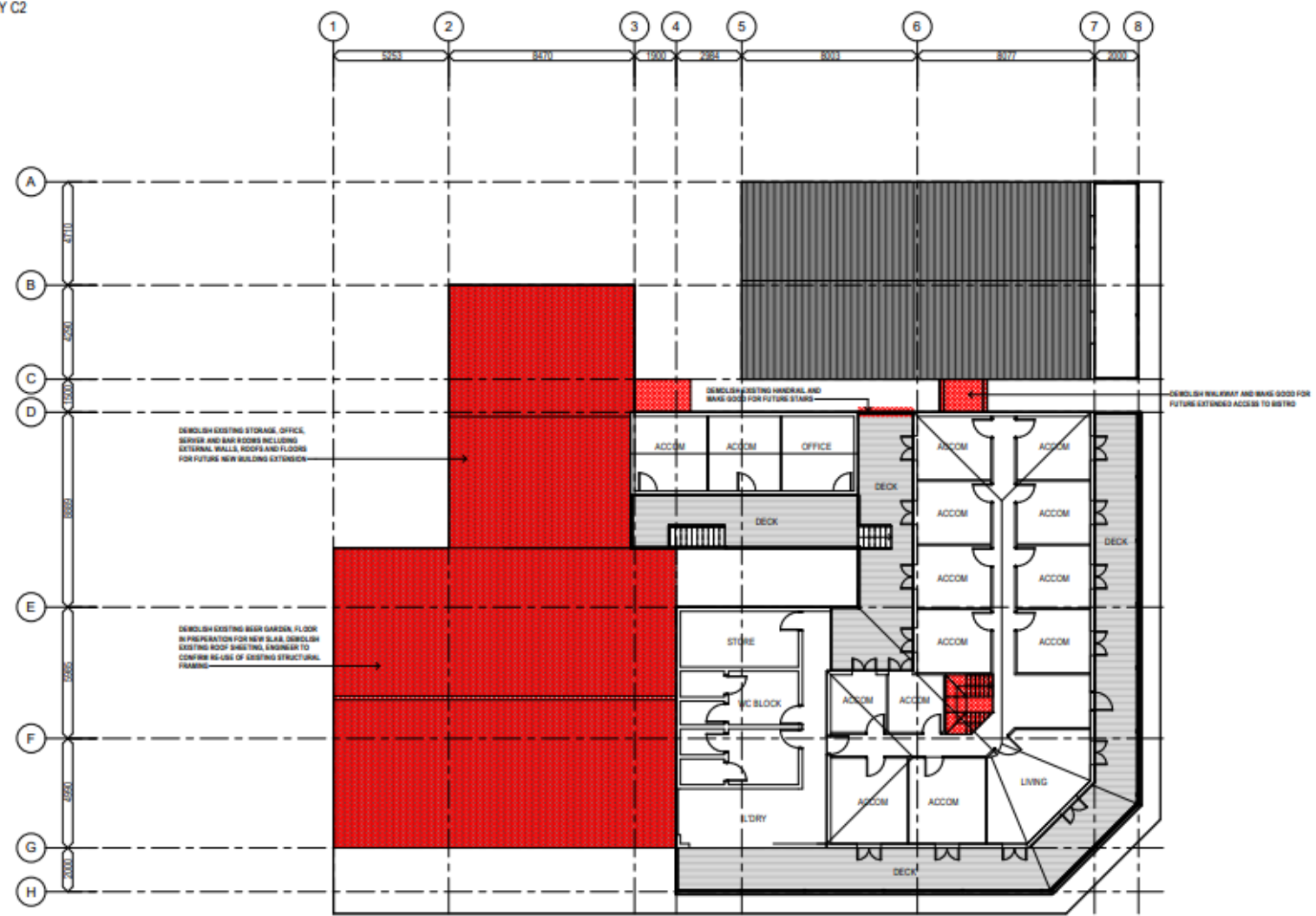
THE DESIGN HOUSE NO
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: DEMOLITION PLAN - GF	Date: 23.01.23	Drawn: N.H
Scale: 1 : 100	Designed: N.H	
Job No.: 2023-011-C	Drawing No.: DD 06	Rev: 1

WIND CATEGORY C2



DEMOLITION PLAN - F.F.
1:100



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN LOCAL AUTHORITY BUILDING PERMIT
 LOCAL AUTHORITY BUILDING PERMIT TO THE DESIGN HOUSE NO 14184 IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE NO 14184

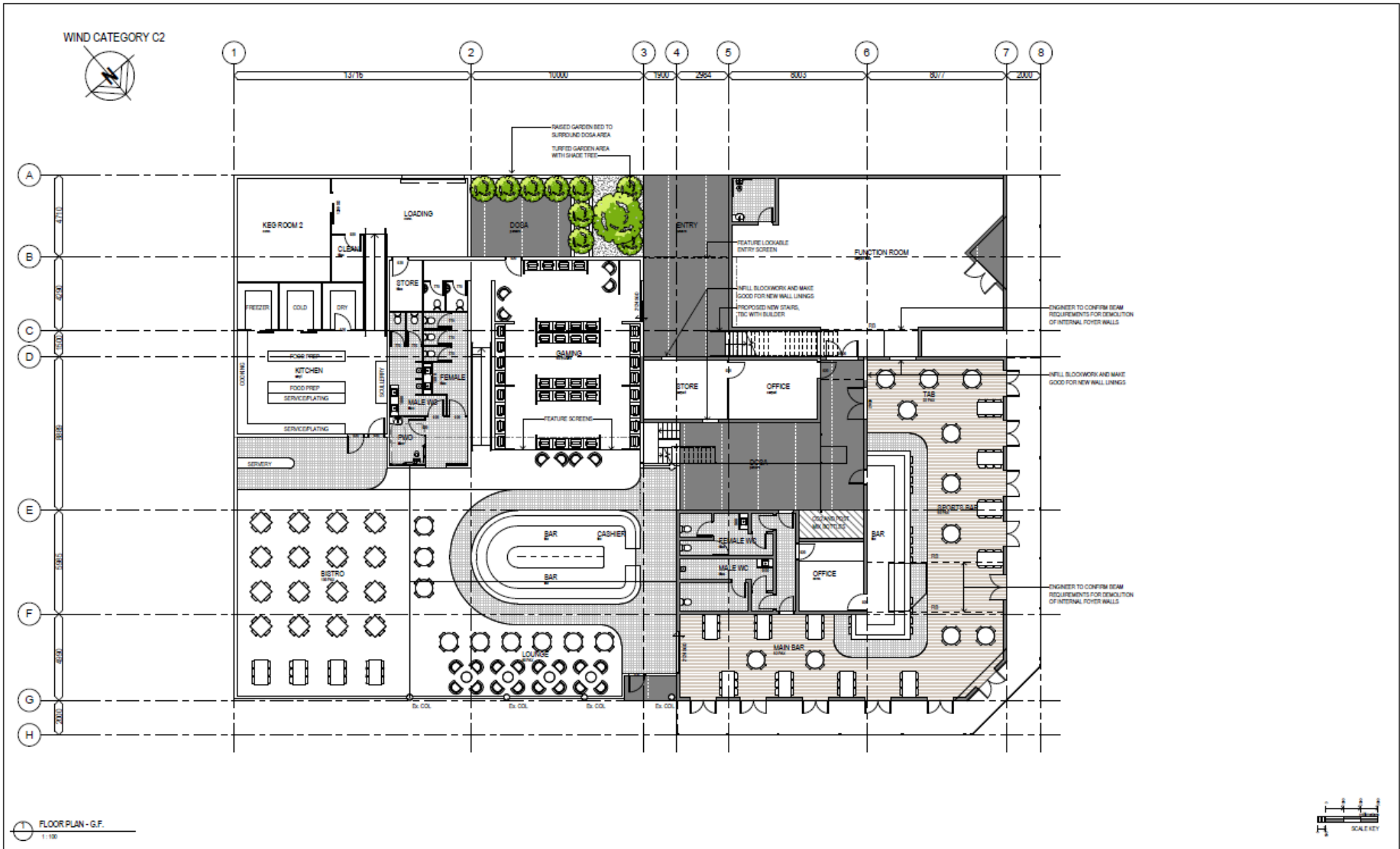
ISSUE:	DATE:	DESCRIPTION:

THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: DEMOLITION PLAN - FF
 Date: 23.01.23 Drawn: N.H
 Scale: 1:100 Designed: N.H
 Job No.: 2023-011-C
 Drawing No.: DD 07
 Rev.: 1



1 FLOOR PLAN - G.F.
1:100

NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NQ Pty Ltd & IS NOT TO BE COPIED OR DUPLICATED IN PART OR FULL WITH OUT THE PERMISSION OF THE DESIGN HOUSE NQ Pty Ltd

ISSUE: DATE: DESCRIPTION:

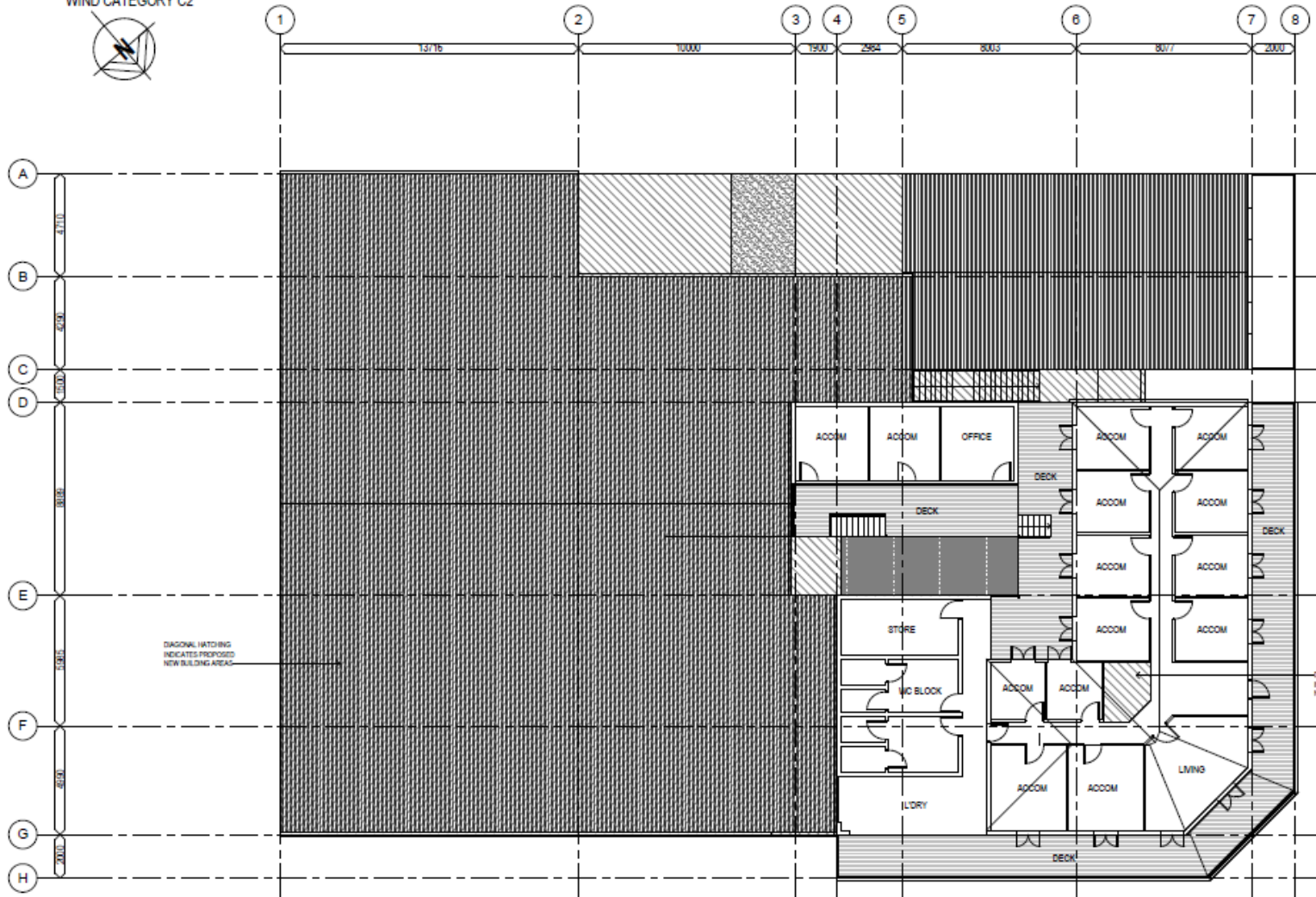
THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesignhouse.com.au
 w: www.thedesignhouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: FLOOR PLAN - GROUND FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1:100 Designed: N.H
 Job No.: 2023-011-C Drawing No.: DD 09 Rev.: 4

WIND CATEGORY C2



DIAGONAL HATCHING INDICATES PROPOSED NEW BUILDING AREAS

DIAGONAL HATCHING INDICATES PROPOSED NEW FLOOR FILL

1 FLOOR PLAN - F.F.
1:100



NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT

THIS DRAWING IS THE PROPERTY OF THE DESIGN HOUSE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED OR PUBLISHED IN PART OR FULL WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE.

ISSUE: DATE: DESCRIPTION:

THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesignhouse.com.au
 w: www.thedesignhouse.com.au

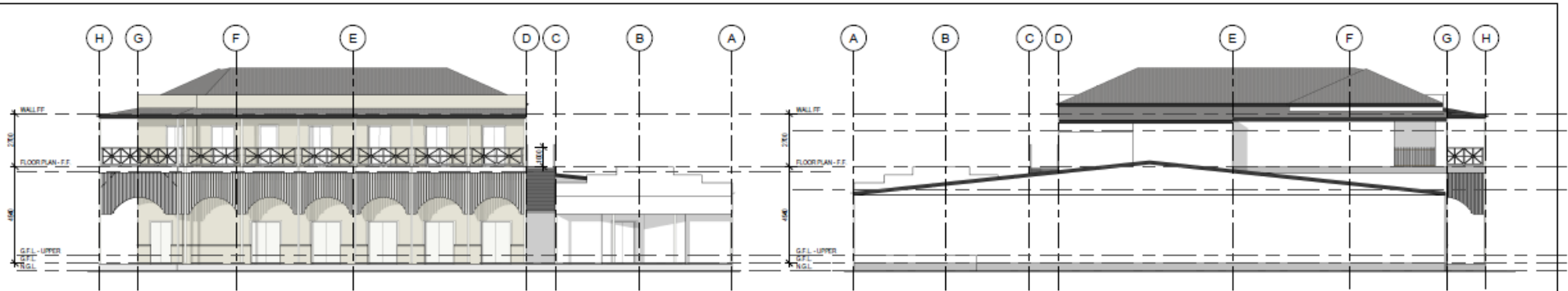
© COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

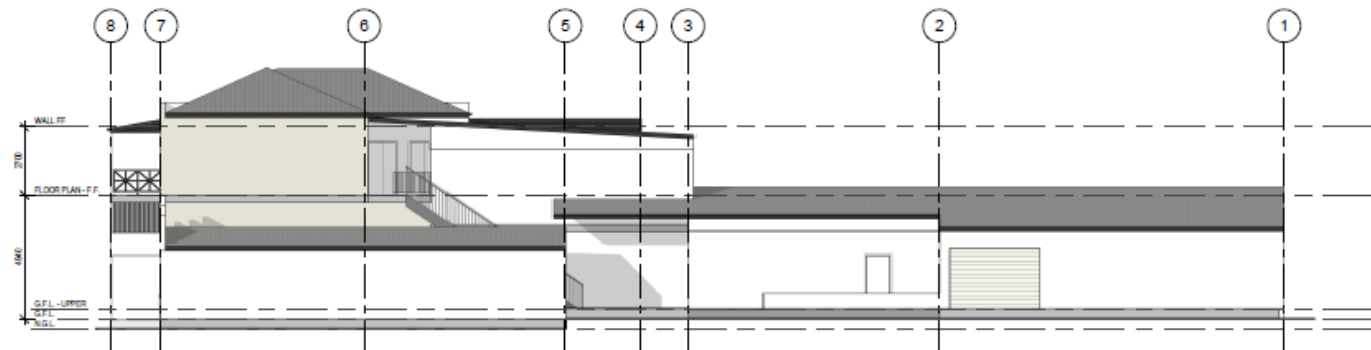
TITLE: FLOOR PLAN - FIRST FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1:100 Designed: N.H

Job No.: 2023-011-C	Drawing No.: DD 10	Rev.: 4
---------------------	--------------------	---------

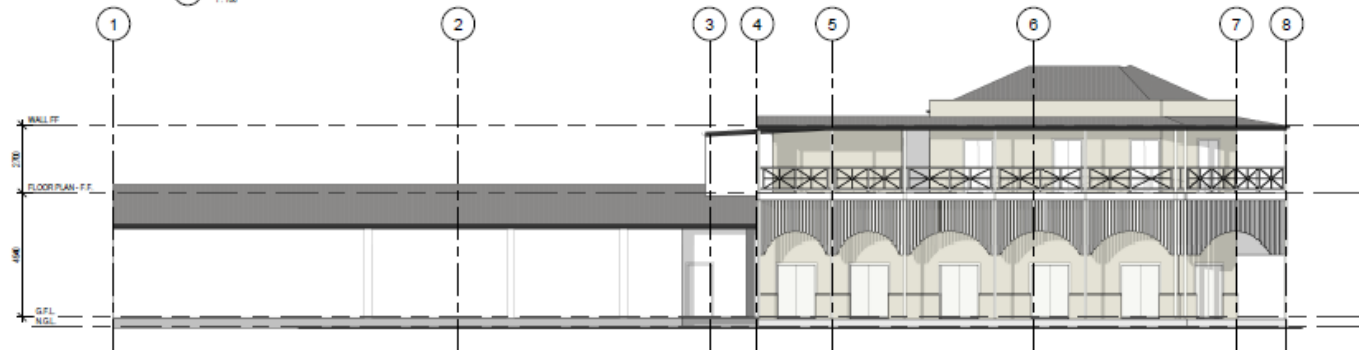


1 ELEV 1
1:100

2 ELEV 3
1:100



3 ELEV 2
1:100



4 ELEV 4
1:100

NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGNER AND NOT TO BE REPRODUCED OR COPIED WITHOUT THE PERMISSION OF THE DESIGNER

ISSUE:	DATE:	DESCRIPTION:

THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: ELEVATIONS		
Date: 02.06.23	Drawn: Author	
Scale: 1:100	Designed: Designer	
Job No.: 2023-011-C	Drawing No.: DD 11	Rev.: 4

APPENDIX 4

OTHER SUPPORTING INFORMATION

Response to CTCC regarding 8 Deane Street and 31 Mosman Street Charters Towers.

General information.

- Wise's Post Office Directories and the Pugh's Almanacs for the period for these houses don't give an actual street address for people for those years - they're more of a listing for individuals in business.
- Post Office directories for Charters Towers...the oldest one is 1899. These actually list each street (for the earliest ones 1899, 1901, 1902 they only list the streets in the central area of Charters Towers. Outer streets were added later). Each street then has a list of names in order as the postal deliverer would have travelled down the street (ie Gill Street, starting from Mosman st, left hand side, then right hand side). This gives some idea of who was living along the street, but as house blocks have been subdivided or amalgamated, it's not always accurate. It also doesn't include every person living along the street, as some wouldn't have been registered for a mail service, or a house might be empty and so not mentioned, and sometimes there were multiple people living at an address (ie at a boarding house).
- Houses weren't numbered in Charters Towers until the 1960s.
- An attached map dated 1887 shows E Swords and P Earl as owning the relevant blocks, but this doesn't tell us if there were houses on the blocks, or if there were, whether they were the houses that are there currently. Given that this was a mining field, houses were moved in and out regularly and as the town expanded or for business places.

In the Post Office Directories held, the following people were *possibly* living at these houses:

8 Deane Street - 1899 James Bishop, carter

1901 James Bishop, carter

1902 James Bishop, carter

1911 Susannah Beh

1923 Edward Morran

31 Mosman Steet - 1899 John Campbell

1901 Thomas Martell

1902 John Houghton

1911 possibly empty?

1923 Michael Greaney (or possibly empty)

- A Trove search reveals that none of the above persons that were possibly living at the property were particularly notable or influential. John Campbell does not come up with anything significant and a John D Houghton is listed as the secretary of the Pentland Jockey Club in The Northern Miner in 1904.

In regards to the historical title search for both properties.

- **8 Deane Street.** CTCC stated that “Preliminary findings suggest the house may date to the late 1880s and could have been built by either William Denis Casey (owner from 1883–1887) or Edward Swords (1887–1914).” The house is an incredibly common design and there are many examples still remaining. Casey, notably, served as Mayor in 1885 and constructed the now heritage-listed Park Hotel nearby around the same time. CTCC noted “This potential link between the house and the hotel’s construction warrants further investigation and may meaningfully inform the assessment.”

A historical title search confirmed the above. Whilst Casey served as Mayor in 1885, a one bedroom rudimentary cottage, if at all built by Casey was likely used as an investment rather than the home for mayoralty given he’d built the nearby Hotel. Additionally it was discovered via TROVE that in 1891 Benjamin Toll, a noted local builder was constructing a ‘handsome residence’ for Casey.¹ Additionally, the 2019 Great Houses Booklet states the following; in 1880 24 Deane Street was owned by William Casey but it was not known when the house was built or who built it.² The name ‘Edward Swords’ came up with nothing conclusive to justify a listing. Additionally the fore mentioned PO records for 8 Deane Street reveal a carter as living there, which given the size and style of the house makes a better fit dwelling/occupation fit.

- **31 Mosman Street** - Titles reveal that a bill of mortgage was taken out by John Mills? (unclear copy) in 1889 or Arthur Clarke? in 1890 indicating a possible construction date. A search for Mills and Clarke did not locate anyone of note. While the house has character from the street, the previous report shows it has been heavily altered inside and out.

There simply weren't a lot of records kept with more detailed information from those eras. Given the lack of information and vague reasoning for the heritage listing with no statement of significance or historical report to respond to, the six dot points below conclusively address these two dwellings as:

- Evidence that the person did not make a notable or influential contribution to local history.
- That the connection between the person and the place is weak, incidental, or undocumented.
- That the place is not uniquely or meaningfully linked to the person’s legacy.
- That the site does not enhance understanding of the person’s historical role.

¹ Northern Mining Register 24 December 1891, p21.

² https://issuu.com/greathouses/docs/2019_great_houses_booklet

- That the place is not early, unique, or representative of the person's influence.
- That other places exist with stronger, more direct associations

- Bussey Thomas H
 Byrne B. Miners' Arms hotel
 Byrne John, crushing mill mngr
 Byrnes Patrick, Day Dawn hotel
 Cabassi A. mine manager
 Cabassi Giovanni, fruiterer
 Cairns D. butcher, Queenton
 Caledonian Soc. (J.M. Mowbray, sec)
 Cameron A. J. nurseryman
 Cameron Robert W. bank acct
 Canny Wm. P. butcher, Gill st
 Carbis Richard, prod. mer. Q'ton
 Carr J. R. (mngr. Bank Aust)
 Carr John & Timothy, saddlers
 Carr J. R. (mngr. Bank Aust)
 Carr & Lyne, saddlers
 Carr Patrick (C. & L)
 Carrington George
 Carrol John, boot importer
 Carroll James, mine manager
 Carroll Wm. N. Q'land hotel, Q'ton
 Carse & Lauther, storekeepers
 Carse Samuel (C. & L)
 Carson Wm. J. tailor, Queenton
 Carter J. (sec. Waterworks Bd)
 Caseley Fred. (Burns Philp & Co)
 Casey W. D. J.P
 Casey Timothy, dairy keeper
 Cavey George J.P
Chamber of Commerce,
 H. B. Walker, sec
C. T. Grammar School,
 Thomas Martin, principal
Charters Towers Gas Co. Limited,
 A. B. Bright, sec
Charters Towers District Hospital,
 E. D. Miles, sec
Charters Towers Pastoral, Agri-
cultural & Mining Association,
 G. Thorpe, sec
CHARTERS TOWERS SADDLRY.
& HARNESS CO. (D. Kennedy,
 manager), Mosman street
Charters Towers Stock Exchange,
 W. G. Smith, jun. sec
Charters Towers Waterworks Road,
 J. Carter, sec
 Chick W. livery stables
 Chippendall Albert H. chemist
 Clark James, bootmaker, Q'ton
 Clark Jn. Crown hotel, Mosman st
 Clark R. Queenton
 Clarke A. G
 Clarke Jn. Wm. confectnr. Gill st
 Clatworthy Herbt. surgn. Aland st
 Clifton & Co. brewers
 Cob —, constable, Millchester
 Cochrane W. editor "Eagle"
 Cohen Chas. Jsph. manager Singer
 Sewing Machine Co
 Collins Robert, Exchange hotel
 Comerford Rev. J. [R.C]
CONNOLLY JOSEPH J. boot &
 shoe importer, Mosman street.
 See advertisement
 Cook Saml. butcher, Sadd's Ridge
 Coombe Robert, manager Gas Co
CORRINGE JAS. A. member
 Stock Exchange, Mosman street
 Costello A. barrister
 Cotham Arthur L. mgr. M. & M
COWIN T. W. Victoria bakery
 Craine Wm. carpenter, Millchester
 Cramer Peter, bootma. Millchester
 Craven Richard J.P. saw mill propr
 Craven Thos. mill mngr. Queenton
 Crawford Rev. G. [Wes]
- Crawford Rev. — [Pres]
 Creese & Co. (Arthur), grocers
 Curnow James, Sportsman's Arms
 Curtis John, oyster saln. Mosman st
 Daking, Smith & Co. drapers
 Dark Yang & Co. storekeepers
 Davey A. W. & Co. blacksmiths
 Davey Philip, blacksmith. Queentn
 Davidson W. (Strang & Davidson)
 Davies Miss Nellie, dressma. Qntn
 Davies & Co. (W. L.), sharebrkrs
 Davies T. St. George's htl. Queentn
 Davison John, storekeeper
 Dawson A. M. L.A.
DAWSON WM. F. sharebroker &c.
 Gill street. See card
Day Dawn Block G. M. Co. Lim.
 Dav. Rollston, mgr
 Day Mrs. Mary, storkpr. Melville st
 Day O. G. H. auctioneer
 Deacon Wm. assist. station master
 Deane Hon. John, Bluff station
 Dee Michael, saw mills, Queenton
 Deighton F. surveyor
 De Vis Mrs. C. J. sec. School of Arts
 Dick Sing & Co. produce merchts
 Dickinson Wm. (E. & D)
 Dietz Christian, watchmaker
 Dillon Edw. station master
 Dimmock G. mine manager
 Dittman Ferd. W. Sovereign hotel
 Dix Chas. mill manager
 Dobbs E
 Donoghue Michael, Millchester
 Dott Janet, bootmaker, Gill street
 Dowling D. C. butcher
DRUMMOND & CO. (Edward
 Drummond), drapers, Gill st
DUNCAN & CO. engineers & iron-
 founders &c. Day Dawn foundry
 Dungaval Wm. Prince of Wales htl
 Dunsford Geo. sharebroker
 Dunsford John, stationer
 Dwan P. sharebroker
 Dwyer Jsph. solicitor, Mosman st
 Earle Arthur, White Horse hotel
 Eddy Mrs. Grace, millnr. &c. Gill st
 Eddy Stephen J. watchmaker
 Eddy William, Railway hotel
 Edwards G. mill manager
 Edwards H. D. asst. supt. Fire Brgde
 Egan Stephen, storekeeper
 Egan William, Gill street
 Elger Wm. Robert, hairdresser
 Ellery Chas. bookseller, Queenton
 Ellis George P. bookseller
 Enright & Dickinson, stationers
 Every Andrew, firewood depôt
Excelsior Day Dawn P. C. G. M. Co
 Feoy A. H. fruiterer, Mosman st
 Ferguson Jas. W. carpenter, Park st
 Ferguson Robert Jn. boot importr
 Finch Fred, teacher, Millchester
 Finger Francis (I. & F)
 Finger Fras. saddler, Bellevue st
 Fisher Alfd. J. sharebrkr. Gill st
 Fisher J. fruiterer
 Fisher Rodger J. Race Course rd
 Fitch Fred, butcher, Ann
 Fitz John, commission agent
 Fitzgerald Mrs. M. Phoenix hotel
 Floyd John J. butcher
 Follett Milford, barrister, Gill st
 Foo Kee & Co. fruiterers
 Fook On & Co. storekeepers
 Forrest Archibald, Queenton
 Forrest James A. surgeon, Gill st
- Foxlee Herbert, grocer, Gill st
 Foy Patk. mine manager
 Francis Mrs. L. fruiterer
 Fraser Mrs. Sunburst hotel
 Fraser Chas. Jas. tinsmith
 Fraser John, wardsman hosp
 Fraser Kenneth
 Fraser Simeons, Cambridge street
 Frayne A. W. teleg. master
Friendly Societies Dispensary,
 A. Timburry, mgr
 Fritsche Bernard, photographer
 Frostick Jas. storekeeper, Gill st
 Fry Charles, Mosman street
 Fung Lee, fruiterer
 Gard John, King street
 Gardiner Robert
 Gardener Arthur L. mgr. London Bk
 Gardner Robt. sec. Tatt's Club
 Gatecum Jas. Club House hotel
 Gates Joseph W. (Wyatt & Gates)
 Gaynor C. Family hotel
 Gelling Bros. (Thomas, Henry &
 Edwd. jun.), bleksmths. Millchstr
 Gessendanner Rev. R. [Luth]
 Gibbon R. sec. Dalrymple Div. Bd
 Gibson A. B. registrar births &c
 Gilbert George, grocer
 Gilchrist John, bookseller
 Gill Wm. brickmaker, St. Patrick
 Gilligan Christoph. baker, Mary st
GIRARD FRANK, Commercial
 hotel
 Goddard A. C. assistant bailiff
Golden Gate G. M. Co. Limited,
 John Williams, manager
 Goldring A. sharebroker
 Gordon G. mngr. Union Bnk. Gill st
 Gordon George, mill manager
 Gorringer James A. sharebroker
 Gough Thomas, mine manager
 Gough William, Excelsior hotel
 Govinge Francis, surveyor
 Grant Andrew, mine mgr. Queentn
 Gray George, Anne street
Gt. Northn. Galvanized Iron Works,
 A. E. C. Bartlett, mgr
 Green Christina M. dressma. Gill st
 Green David, mgr. N. Miner Co
 Gregory William, baker
 Greig Andrew, Marion street
 Greives Mrs. Carriers' Rest hotel,
 Queenton
 Griffiths Cowen R. painter
 Griffiths John A. carpenter
 Griffith Wm. J. oyst. saloon, Gill st
 Griffiths William, chemist, Gill st
 Guinane Patrick, cordial manu-
 facturer, Queenton
 Gulliver Benjamin, seedsman
 Guthrie & Stephen, coachbuilders
 Guthrie Daniel (G. & S)
 Hagger C. A. schoolmaster
 Hagger J. A. storekeeper
 Hall James, Bow street
 Hall S. H. Palings' manager
 Hall Richard (M. & H)
 Hamilton Andrew, Miner's hotel
 Hampson Wm. saddler, Queenton
 Hance Robert J. chemist
 Hansen Jn. blacksmith, Mosman st
 Hansen Peter, Day Dawn hotel
 Hare Francis W. E. surgeon
 Harlan J. acting gaoler
HARRIS & SON (H.), drapers
 clothiers, Gill street
 Harris William, fruiterer, Queenton

THE
QUEENSLAND
(WISE'S)
OFFICIAL DIRECTORY
—1894-95—

CONTAINS
SEPARATE DIRECTORIES
FOR EVERY
CITY, TOWN, TOWNSHIP, BOROUGH AND DISTRICT
IN THE COLONY;

AN
ALPHABETICAL DIRECTORY FOR THE ENTIRE COLONY;
STREET DIRECTORIES FOR BRISBANE, SOUTH BRISBANE,
ROCKHAMPTON AND TOWNSVILLE;

A TRADE DIRECTORY FOR THE WHOLE COLONY;

TOGETHER WITH

BANKING AND FINANCE,
LEGAL,
ECCLESIASTICAL,

INSURANCE,
EDUCATIONAL,
MEDICAL, | OFFICIAL,

MUNICIPAL,
PASTORAL & AGRICULTURAL
SUGAR REFINERIES,

AND

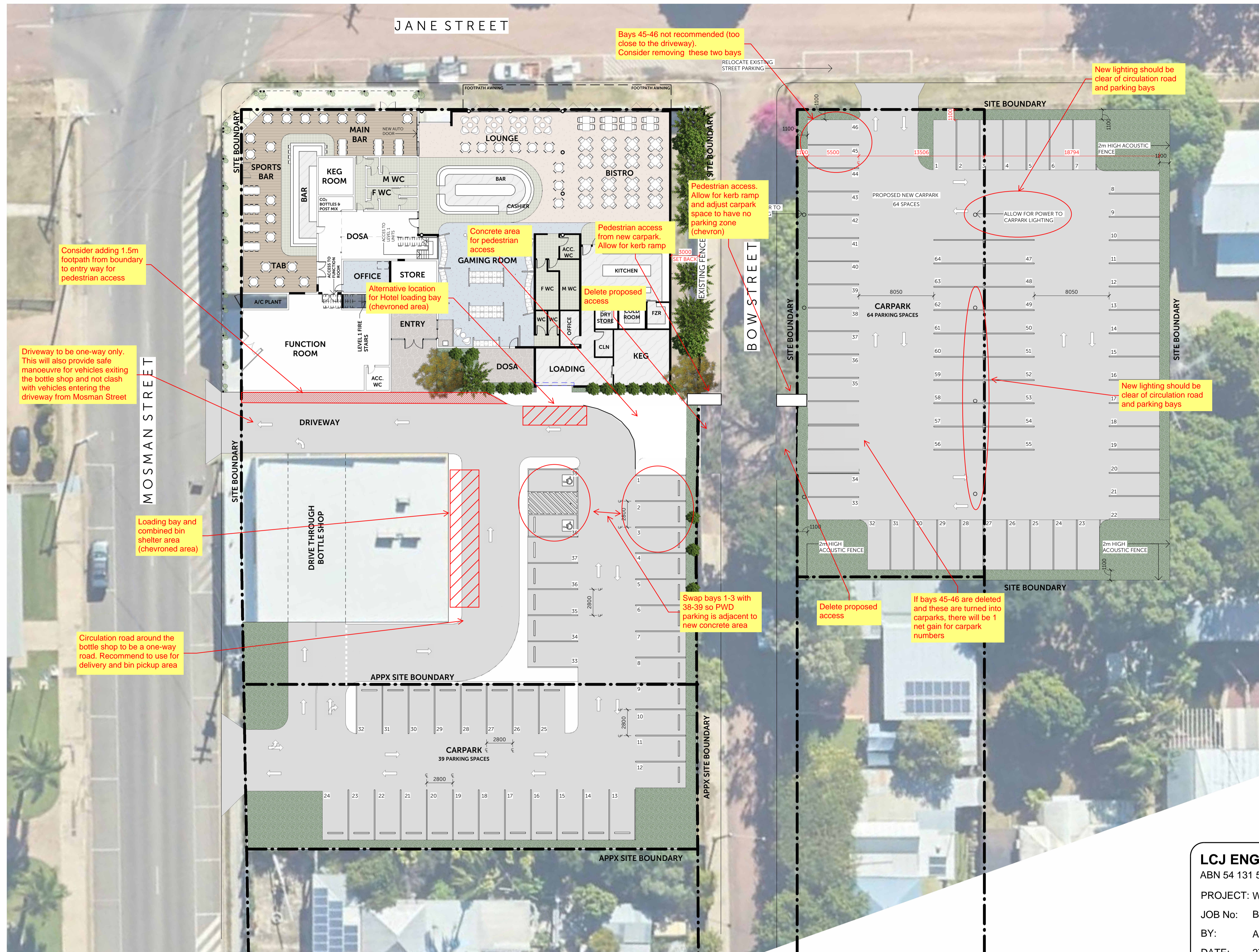
LOCAL AND GENERAL GOVERNMENT DIRECTORIES.

BRISBANE, QUEENSLAND: H. WISE & Co., 53A, QUEEN STREET,
AND AT MELBOURNE AND SYDNEY.

LONDON: KELLY & CO. LIMITED, 182, 183 & 184, HIGH HOLBORN, W.C.

PUBLISHED EVERY SECOND YEAR.

Entered at Stationers' Hall, London, and Registered under Copyright Act.



7 November 2024

Our Ref: 4997817
File Ref: MCU2023/0006.01
Enquiries: Kelly Reaston

North Queensland Hotel Investments PL
C/- BNC Planning
PO Box 5463
TOWNSVILLE QLD 4820

Sent via email: enquiries@bncplanning.com.au

Dear Benjamin,

Changed Decision Notice
(Given under Section 81A of the *Planning Act 2016*)

The assessment manager wishes to advise that the application was approved under delegated authority on 4 November 2024. The nature of the changes agreed to are detailed below including the conditions of the approval and notice of reasons. This change decision notice replaces the original decision notice dated 4 October 2023.

Applicant details

Applicant name: North Queensland Hotel Investments PL C/- BNC Planning

Location details

Street address: 16 Jane Street, 18 Jane Street, and 19 Mosman Street, Charters Towers QLD 4820
Real property description: Lot 102 on CT18232, Lot 103 on CT18232 and Lot 53 SP 210857
Current lawful use: Hotel and Dwelling

Application details

Application number: MCU2023/0006.01
Approval type: Development Permit
Development type: Other Change
Category of assessment: Impact Assessment
Description of development: Hotel (Extension to Existing Hotel), Partial Demolition of a Local Heritage Place (Waverley Hotel), and Demolition of a Local Heritage Place (Dwelling House)
Definition of use: *A Hotel is defined as the use of premises for—
(i) selling liquor for consumption on the premises; or
(ii) a dining or entertainment activity, or providing accommodation to tourists and travellers, if the use is ancillary to the use in subparagraph (i); but does not include a bar.*
Categorising instrument: Charters Towers Regional Town Plan Version 2

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charters Towers.qld.gov.au | **ABN.** 67 731 313 583

www.charters Towers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

1. Details of the approval

Details of the approval are listed below in accordance with the *Planning Regulation 2017*.

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Conditions of approval

Condition Number	Condition	Timing																																								
Conditions applicable to all uses and all building works																																										
Approved Plans/Documents																																										
1)	<p>Development is to be carried out generally in accordance with the submitted application including the following plans and supporting documentation except where amendments are required to satisfy the conditions of this approval:</p> <table border="1"> <thead> <tr> <th>Drawing Title:</th> <th>Prepared by:</th> <th>Date:</th> <th>Reference No:</th> <th>Revision :</th> </tr> </thead> <tbody> <tr> <td>Site Plan-General</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 08</td> <td>4</td> </tr> <tr> <td>Site Plan</td> <td>BSPN Architecture</td> <td>27/05/24</td> <td>DA1.01</td> <td>3</td> </tr> <tr> <td>Floor Plan – Ground Floor</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 09</td> <td>4</td> </tr> <tr> <td>Floor Plan – First Floor</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 10</td> <td>4</td> </tr> <tr> <td>Elevations</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 11</td> <td>4</td> </tr> <tr> <td>Floor Plan – Ground Floor</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 00</td> <td>4</td> </tr> <tr> <td>Floor Plan – Ground Floor (Annotated with sewer realignment mark up)</td> <td>The Design House</td> <td>02/06/23</td> <td>2023-011-C DD 00</td> <td>4</td> </tr> </tbody> </table>	Drawing Title:	Prepared by:	Date:	Reference No:	Revision :	Site Plan-General	The Design House	02/06/23	2023-011-C DD 08	4	Site Plan	BSPN Architecture	27/05/24	DA1.01	3	Floor Plan – Ground Floor	The Design House	02/06/23	2023-011-C DD 09	4	Floor Plan – First Floor	The Design House	02/06/23	2023-011-C DD 10	4	Elevations	The Design House	02/06/23	2023-011-C DD 11	4	Floor Plan – Ground Floor	The Design House	02/06/23	2023-011-C DD 00	4	Floor Plan – Ground Floor (Annotated with sewer realignment mark up)	The Design House	02/06/23	2023-011-C DD 00	4	At all times.
Drawing Title:	Prepared by:	Date:	Reference No:	Revision :																																						
Site Plan-General	The Design House	02/06/23	2023-011-C DD 08	4																																						
Site Plan	BSPN Architecture	27/05/24	DA1.01	3																																						
Floor Plan – Ground Floor	The Design House	02/06/23	2023-011-C DD 09	4																																						
Floor Plan – First Floor	The Design House	02/06/23	2023-011-C DD 10	4																																						
Elevations	The Design House	02/06/23	2023-011-C DD 11	4																																						
Floor Plan – Ground Floor	The Design House	02/06/23	2023-011-C DD 00	4																																						
Floor Plan – Ground Floor (Annotated with sewer realignment mark up)	The Design House	02/06/23	2023-011-C DD 00	4																																						

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition					Timing
	Demolition Plan GF	The Design House	23/01/23	2023-011-C DD 06	1	
	Demolition Plan FF	The Design House	23/01/23	2023-011-C DD 07	1	
	Condition Audit Report 18 Jane Street, Charters Towers	NCE	9/9/2024	=	A	
	Site Based Stormwater Management Plan	NCE	01/08/24	MJ2323/3:IG	-	
	Site Based Stormwater Management Plan	Northern Consulting Engineers	02/08/2023	MJ2323-SBSM	A	
General						
2)	The development is permitted to operate from 9am to 2am, 7 days per week.					At all times.
3)	a) Comply with all conditions within this Development Permit with conditions prevailing over the approved plan(s) and document(s) in all instance; b) Meet the cost of all works associated with the development including any alterations, relocations or repairs to damaged Council infrastructure, and c) All repairs, alterations and relocations of Council infrastructure are to be in accordance with the relevant Council policy and/or Australian Standard.					At all times.
Environmental						
4)	The construction of the development (not operation) must be limited to 0630—1830 Monday to Saturday and not at all on Sunday and public holidays as per Section 440R of the <i>Environmental Protection Act 1994</i> . Noise generated from construction must be within the limits set by the <i>Environmental Protection Act 1994</i> and the <i>Environmental Protection (Noise) Policy 2019</i> .					As part of construction works; and Maintained at all times thereafter.
5)	Ensure that: a) Works occur so they do not cause unreasonable interference with the amenity of adjoining premises because of noise, air or other chemical pollutants;					As part of construction works; and Maintained at all times thereafter.

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
	b) The premises including the adjoining Council controlled road reserve are kept in a safe, clean and tidy state, and c) All construction materials are contained wholly within the premises.	
Operational Works		
6)	A Development Permit for Operational Works must be obtained from Council prior to the commencement of construction. The Development Application for Operational Works is to include the following: a) Driveways and Access; b) Stormwater Management (quantity, flood and drainage control)(only if required); and c) Relocation of sewer infrastructure.	Prior to Development permit of building works.
Building, Plumbing and Drainage Works		
7)	Obtain a Development Permit for Building Works in accordance with the <i>Planning Act 2016</i> . Construction is to comply with the <i>Building Act 1975</i> , the <i>National Construction Code</i> and the requirements of other relevant authorities.	Prior to commencement of the use.
8)	Obtain a Permit for Plumbing and Drainage Works in accordance with the <i>Plumbing and Drainage Act 2018</i> and the <i>Plumbing and Drainage Regulation 2019</i> . Construction is to comply with the <i>National Construction Code: Volume Three – Plumbing Code of Australia 2019</i> , the <i>Queensland Plumbing and Waste Water Code 1: 2019</i> and the requirements of other relevant authorities.	Prior to commencement of the use.
9)	All plant and equipment (including air conditioners, exhaust fans and the like) are to be housed, screened and located so that these do not cause environmental nuisance or harm to residential uses in the surrounding area.	Prior to commencement of the use; and Maintained at all times thereafter.
10)	Outdoor lighting is to comply with <i>Australian Standard AS4282 – Control of the Obtrusive Effects of Outdoor Lighting</i> . All lighting at ground level and associated with illuminating ground level areas must be focused downwards and be provided with hoods, shades or other permanent devices to direct illumination downwards and not allow upward lighting to adversely affect the residential uses on this site and the adjoining the sites.	At all times.
11)	<p><u>A localised Traffic Impact Assessment for Bow Street must be undertaken by an appropriately qualified and experienced Traffic Engineer in accordance with Austroads guidelines.</u></p> <p><u>The assessment must (at a minimum):</u></p> <p>a. <u>assess and validate existing traffic conditions in the vicinity of the development (on Bow Street) by patrons of</u></p>	<u>Prior to the issue of a Development Permit for Operational Works.</u>



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
	<p><u>the hotel, users of the carpark, and other users of the Street;</u></p> <p>b. <u>analyse the impact that the entire development will have on the use of Bow Street related to pedestrians and vehicle movements;</u></p> <p>c. <u>analyse the impact of or any conflicts between the access and egress for the Hotel use and the access and egress for its associated carpark;</u></p> <p>d. <u>provide safe and legible pedestrian access between the carpark and the hotel for pedestrians;</u></p> <p>e. <u>provide a lighting safety audit for Bow Street and the Bow Street/Jane Street intersection;</u></p> <p>f. <u>provide recommendations in relation to any required ameliorative works or augmentation required (ie. Amending traffic flow to one-way) to ensure Bow Street and the proposed access locations are safe and trafficable for its users;</u></p> <p>g. <u>provide evidence that Bow Street is an appropriate service street for the purpose of waste collection as required by the waste management plan or relocate the proposed refuse storage location.</u></p> <p><u>The Traffic Impact Assessment is required to include amended plans demonstrating safe access for both the hotel and the carpark, safe and legible pedestrian access between the carpark and the hotel, and details of any on street works required to ensure the safety of all road users for day time and night time usage.</u></p> <p><u>The Traffic Impact Assessment and updated plans must be submitted to and approved by Council.</u></p>	
<p>Stormwater 12)</p>	<p>All stormwater runoff must be piped from roofed and impervious areas and discharged to a kerb and channel drainage system in a Council controlled road, or an approved inter allotment stormwater drainage system, in accordance with Queensland Urban Drainage Manual 2016 and AS3500.3:2018 Plumbing and Drainage - Stormwater Drainage.</p>	<p><u>At all times.</u></p>



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
13)	<u>All stormwater works must be carried out in accordance with the approved Site Based Stormwater Management Plan.</u>	<u>Prior to commencement of use.</u>
Noise Generation		
14)	<u>The approved development must not generate noise that unreasonably interferes with the use and enjoyment of a nearby residential land use.</u>	<u>At all times.</u>
Lawful Commencement		
15)	<u>Request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.</u>	<u>Prior to the commencement of the use</u>
16)	<u>Notify Council within 20 business days that this approved use has lawfully commenced.</u>	<u>Prior to the commencement of the use</u>
<u>Conditions applicable to Material Change of Use Hotel (Extension to Existing Hotel) and Partial Demolition of a Local Heritage Place (Waverley Hotel)</u>		
Transport		
17)	A total of twenty-one (21) car parking spaces are to be constructed on site generally in accordance with the approved plans, including designated disabled car parking spaces. These spaces and all vehicle movement areas are to be constructed, sealed, line marked, provided with wheel stops and maintained in accordance with and AS2890.1 <i>Off-Street Car Parking</i> and the <i>Manual of Design Vehicles and Turning Path Templates SAA HB 72 (AUSTROADS 1995)</i> .	In accordance with a Development Permit for Operational Works; and Maintained at all times thereafter.
18)	Construct two (2) driveway crossovers at the nominated ingress and egress locations along the frontage of Bow Street (as shown on the plans) in accordance with Council's standard drawing <i>CTRC-003 Roads commercial driveway slab</i> . Kerb and channelling is required to be reinstated where existing driveways are being decommissioned. <u>Note: the approved plans may require amending as per the outcomes of the Traffic Impact Assessment required by condition 11</u>	In accordance with a Development Permit for Operational Works; and Maintained at all times thereafter.
19)	No new access locations are permitted to or from Mosman Street.	At all times.



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
	<p><u>A localised Traffic Impact Assessment for Bow Street must be undertaken by an appropriately qualified and experienced Traffic Engineer in accordance with Austroads guidelines.</u></p> <p><u>The assessment must (at a minimum):</u></p> <ul style="list-style-type: none"> h. assess and validate existing traffic conditions in the vicinity of the development (on Bow Street) by patrons of the hotel and other users of the Street; i. analyse the impact that development will have on the use of Bow Street related to pedestrians and vehicle movements; j. provide recommendations in relation to any required ameliorative works or augmentation required (ie. Amending traffic flow to one-way) to ensure Bow Street and the proposed access locations are safe and trafficable for its users; k. provide evidence that Bow Street is an appropriate service street for the purpose of waste collection as required by the waste management plan or relocate the proposed refuse storage location. <p><u>The Traffic Impact Assessment must be submitted to and approved by Council.</u></p>	<p><u>Prior to the issue of a Development Permit for Operational Works.</u></p>
Stormwater		
	<p><u>All stormwater runoff must be piped from roofed areas and discharged to a kerb and channel drainage system in a Council controlled road, or an approved inter allotment stormwater drainage system, in accordance with Queensland Urban Drainage Manual 2016 and AS3500.3:2018 Plumbing and Drainage- Stormwater Drainage.</u></p>	<p><u>At all times.</u></p>
	<p><u>All stormwater works must be carried out in accordance with the approved Site Based Stormwater Management Plan.</u></p>	<p><u>Prior to commencement of use.</u></p>
Waste Management		
20)	<p>Waste storage area/s are to be sufficient in size to house all waste collection containers including recycling waste containers. The waste storage area/s must be suitably enclosed and imperviously paved, with a hose cock and hose fitted near the enclosure to ensure the area can be easily and effectively cleaned.</p>	<p>Prior to commencement of the use; and Maintained at all times thereafter.</p>



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
21)	Waste storage areas shall be: a) Situated in locations not visible from the street front, and b) Provided with a 1.8m solid screen fence located around storage areas.	At all times.
22)	Provide a waste management plan prepared by a suitably qualified person, that demonstrates the disposal frequency and methodology and demonstrates that the size and location of the proposed refuse storage location is safe, serviceable, and does not cause unreasonable interference with the amenity of nearby sensitive receptors (ie. The dwellings on Bow Street).	Prior to commencement of use.
Landscaping		
23)	Submit to Council for approval a full Landscaping Plan prepared by a suitably qualified consultant which demonstrates: a) All areas proposed to be landscaped; a) The Species used and their suitability for the North Queensland climate, b) The type of irrigation system used; c) The retention of the existing planter boxes and landscaping on Jane Street and the extension of a similar landscaping design for the full length of the site frontage on Jane Street; and d) Landscaping treatment on the building (ie. hanging plants) for the length of the Mosman Street frontage. Upon approval of the Landscaping Plan, construct and maintain the landscaping.	In conjunction with a Development Permit for Operational Works; and Maintained at all times thereafter.
24)	A minimum 1.8m high solid fence is to be constructed/maintained on the entire site frontage to Bow Street and Jane Street (with the exception of the approved access locations and where the built form is built to boundary).	Prior to commencement of the use; and Maintained at all times thereafter.
25)	The existing dividing fence between the Shop and the adjacent dwelling house on Mosman Street must be retained and maintained at all times.	Maintained at all times.
Local Heritage Place		
26)	The works subject to the Building Works for Demolition of a Local Heritage Place include only those works proposed in the approved plans.	Prior to obtaining a development permit for building works and maintained



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
	No demolition works are permitted to the external built form or any façade with the exception of the rear of the site to facilitate access to the proposed extension. Submit to Council for approval an archival record of the premises prepared by a suitable qualified heritage consultant.	at all times.
27)	Details of the proposed colours and materials for the extension are to be submitted to Council for endorsement.	Prior to the issue of a Development Permit for Building Work.
Noise Generation		
	The approved development must not generate noise that unreasonably interferes with the use and enjoyment of a nearby residential land use.	At all times.
Lawful Commencement		
	Request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.	Prior to the commencement of the use
	Notify Council within 20 business days that this approved use has lawfully commenced.	Prior to the commencement of the use
<u>Conditions applicable to Material Change of Use Hotel (Extension to Carpark) and Demolition of a Local Heritage Place (Dwelling -18 Jane Street)</u>		
Security Lighting		
28)	<u>Install and maintain a suitable system of security lighting to operate from dusk to dawn within all areas where the public may gain access.</u> <u>All external lighting must be in accordance with AS/NZS 4282:2019 – Control of the obtrusive effects of outdoor lighting so as to not cause nuisance or distraction to nearby residents or passing motorists.</u> <u>All lighting over publicly accessible pathways covered by permanent awnings must be in accordance with AS/NZS 1158.3.1:2020 Lighting for roads and public spaces, Part 3.1: Pedestrian area (Category P) lighting – Performance and design</u>	<u>Prior to commencement of use and at all times.</u>

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
	<u>requirements.</u>	
<u>Landscaping</u>		
29)	<p><u>Submit to Council for approval a full Landscaping Plan prepared by a suitably qualified consultant which demonstrates:</u></p> <p>b) <u>All areas proposed to be landscaped;</u> e) <u>The Species used and their suitability for the North Queensland climate.</u> f) <u>The type of irrigation system used;</u> g) <u>Deep planting with a mixture of shade trees and low shrubs within the street front setback area, adjacent to the carpark;</u> h) <u>Landscaped areas adjoining parking and manoeuvring areas are protected from vehicle encroachment by a 150mm high vertical concrete kerb or similar.</u></p> <p><u>Upon approval of the Landscaping Plan, construct and maintain the landscaping.</u></p>	<p><u>In conjunction with a Development Permit for Operational Works; and Maintained at all times thereafter.</u></p>
30)	<p><u>A minimum 2.0m high solid fence is to be constructed and maintained on the entire rear and side boundary of the carpark that adjoins residential properties on Bow Street and Jane Street.</u></p>	<p><u>Prior to commencement of the use; and Maintained at all times thereafter.</u></p>
31)	<p><u>Any proposed fences and/or walls to the street frontages must be limited to 1.8 metres in height and at least 50% visually transparent. Details of any street fencing must be provided to Council as part of the landscaping plans.</u></p>	<p><u>In conjunction with a Development Permit for Operational Works; and Maintained at all times thereafter.</u></p>
<u>Carparking</u>		
32)	<p><u>The car parking layout must comply with the AS 2890.1:2004 Parking facilities – Off-street car parking and be constructed in accordance with Austroads and good engineering design.</u></p>	<p><u>Prior to commencement of use and at all times.</u></p>
<u>Traffic</u>		



Date: 7 November 2024
Our Ref: 4997817

Condition Number	Condition	Timing
33)	<p><u>Construct two (2) driveway crossovers at the nominated ingress and egress locations along the frontage of Bow Street and Jane Street in accordance with Council's standard drawing CTRC-003 Roads commercial driveway slab.</u></p> <p><u>Kerb and channelling is required to be reinstated where existing driveways are being decommissioned.</u></p> <p><u>Note: the approved plans may require amending as per the outcomes of the Traffic Impact Assessment required by condition 11</u></p>	<p><u>In accordance with a Development Permit for Operational Works; and Maintained at all times thereafter.</u></p>
<u>Building, Plumbing, and Drainage Works</u>		
34)	<p><u>Obtain a Development Permit and Building Final for Building Works in accordance with the Planning Act 2016 for the demolition of the dwelling House.</u></p>	<p><u>Prior to building works</u></p>
35)	<p><u>All internal drainage must be sealed and capped by a licensed Plumber and Drainer. A Form 4 – Notifiable Work must be lodged with the Queensland Building and Construction Commission.</u></p>	<p><u>Prior to commencement of construction of the carpark.</u></p>

Advisory Notes	
Scale or Intensity of Use	
A.	Any proposal to increase the scale or intensity of the use/new use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the <i>Planning Act 2016</i> and would have to comply with the requirements of the relevant provisions.
Local and State Heritage	
B.	The Charters Towers Regional Council local government area contains significant Local and State heritage features including stone pitch kerbing and channels and footbridges. Persons damaging or removing Local or State heritage features may be prosecuted and fined with the maximum penalty under the <i>Planning Act 2016</i> . Please contact Council prior to commencing any works, to determine if there are any Local or State heritage features within or adjacent to the premises.
Aboriginal and Cultural Heritage	



Advisory Notes	
C.	The <i>Aboriginal Cultural Heritage Act 2003</i> and <i>Torres Strait Islander Cultural Heritage Act 2003</i> requires anyone who carries out a land-use activity to exercise a duty of care. Land users must take all reasonable and practicable measures to ensure their activity does not harm Aboriginal or Torres Strait Islander cultural heritage. Prior to carrying out works, it is advised that you contact the Department of Aboriginal and Torres Strait Islander Partnerships on (07) 4799 7470 or by post at PO Box 5620 TOWNSVILLE QLD 4810. For further information on cultural heritage duty of care please visit: https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-duty-care
Abandoned Mine Shafts	
D.	The city of Charters Towers is subject to a significant number of abandoned mine shafts due to the former gold rush era. It is recommended that all searches be undertaken through the Queensland State Government's Department of Natural Resources Mines and Energy (DNRME) to ensure that the development is not unduly impacted upon by these shafts. The DNRME can be contacted on 13 74 68.
Wet Tropics World Heritage Area	
E.	Land within the Charters Towers Regional Council local government area falls within the Wet Tropics World Heritage Area and is governed by the <i>Wet Tropics World Heritage Protection and Management Act 1993</i> and the <i>Wet Tropics Management Plan 1998</i> . Prior to carrying out works, it is advised that you contact the Wet Tropics Management Authority on (07) 4241 0500 or by post at PO Box 2050 CARINS QLD 4870. For further information including viewing the Act, Management Plan and Interactive Mapping, please visit: http://www.wettropics.gov.au/
Workplace Health and Safety	
F.	Ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the project manager is obliged to ensure construction work is planned and managed in a way that prevents or minimises risks to the health and safety of members of the public at or near the workplace during construction work. It is the principal contractor's responsibility to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the principal contractor is obliged on a construction workplace to ensure that work activities at the workplace prevent or minimise risks to the health and safety of the public at or near the workplace during the work. It is the responsibility of the person in control of the workplace to ensure compliance with the <i>Work Health and Safety Act 2011</i> . It states that the person in control of the workplace is obliged to ensure there is appropriate, safe access to and from the workplace for persons other than the person's workers.
Environmental nuisance	
G.	Ensure compliance with the <i>Environmental Protection Act 1994</i> . It states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks and construction phases of this development, are to adhere to their "general environmental duty" to minimise the risk of causing environmental harm. Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area because of the emission of noise, vibration, smell,



Date: 7 November 2024
Our Ref: 4997817

Advisory Notes	
	fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council to cause undue disturbance or annoyance to persons or affect property not connected with the use.
Airport Operations	
H.	Where works may impact on the safety operation of the Charters Towers Airport such as the use of cranes, industrial lighting or involve impacts such as gaseous plumes, it is advised that you contact one of Council's Airport Reporting Officer(s) on (07) 4761 5300 prior to works commencing.
Ergon Energy and Telstra Corporation Contact Details	
I.	Where a condition requires connections to reticulated electricity and/or telecommunications or a certificate of supply, please contact the below: a) Ergon Energy Connection Solution's Team – (07) 4931 1012, and/or b) NBN Co – 1800 687 626.
Council Forms, Policies and Drawings	
J.	In achieving compliance with conditions, the below Council forms will need to be completed for this development: a) F0227 - Application to carry out works on a Council road (including pathways) b) Standard drawings and specifications for driveways and roads c) F0313 – Request for water supply connection or disconnection d) F0347 – Application for sewer main cut-in

3. Currency period for the development application approval

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of **six (6)** years.

4. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Development Permit for Building Work.
2. Development Permit for Operational Works (if required).

5. Referral agencies

The development application did not require referral under Schedule 10 of the *Planning Regulation 2017*

6. Submission(s)

Not properly made submissions were received.

7. Notice of reasons

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

This notice is prepared in accordance with Section 63(5) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a development application.

Description of the development:	The proposed development is an other change to a Development Permit for Material Change of Use for Extension of existing Hotel and Building Works approval for a partial demolition of a Local Heritage Place and demolition of a local heritage place.	
Reasons for the decision:	The proposal was assessed against the relevant provisions of the North Queensland Plan 2020 and the Charters Towers Regional Town Plan Version 2 with the proposal found to comply with the applicable codes. Despite the carpark extension being constructed within the General Residential Zone the proposal furthers the strategic framework of the Charters Towers Regional Plan.	
Assessment benchmarks:	The proposed development was assessed against the relevant assessment benchmarks of the Charters Towers Regional Town Plan including the: <ul style="list-style-type: none"> 1) Heritage Overlay Code; 2) Centre Zone Code; 3) General Residential Zone Code; and 4) Development Works Code 	
	The proposed development was assessed against all the assessment benchmarks listed about and is considered to comply or can be conditioned to comply.	
	Assessment benchmark:	Reasons for the approval despite non-compliance with benchmark:
	Overall Outcomes General Residential Zone	The proposal does not comply with the overall outcomes of the General Residential Zone Code, however it is considered appropriate to approve the development despite the non-compliance given its proximity to the existing Hotel and the carparking constraints on the hotel site. The residential amenity of the location is retained as a result of acoustic fencing to the residential boundaries and deep planting to the street frontage.
Relevant matters:	The existing Waverley Hotel is significantly undersupplied in terms of Carparking. The site directly across the road from Bow Street and the existing Hotel Carpark entrance is a unique site in terms of servicing a carparking need. The direct proximity of this site is a relevant matter in considering the conflicts with the Residential Zone Code. Additionally, as the Waverley Hotel is a place of local significance, there is no opportunity to provide additional car parking on the Mosman Street Site.	
Matters raised in submissions:	Submission Point:	Council Response:
	No properly made submissions were received.	N/a

8. Other requirements under section 43 of the *Planning Regulation 2017*

There are no other requirements.

PO Box 189 Charters Towers Qld 4820

ADMINISTRATION: 12 Mosman Street Charters Towers Qld 4820 Australia

PH. (07) 4761 5300 | **F.** (07) 4761 5344 | **E.** mail@charterstowers.qld.gov.au | **ABN.** 67 731 313 583

www.charterstowers.qld.gov.au



Date: 7 November 2024
Our Ref: 4997817

9. Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision are set out in Chapter 6, Part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*). Information about how to proceed with an appeal to the Planning and Environment Court may be found on the Court's website: <http://www.courts.qld.gov.au/courts/planning-and-environment-court>.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*. The timeframes for starting an appeal in the Planning and Environment Court are set out in Section 229 and Schedule 1 of the *Planning Act 2016*.

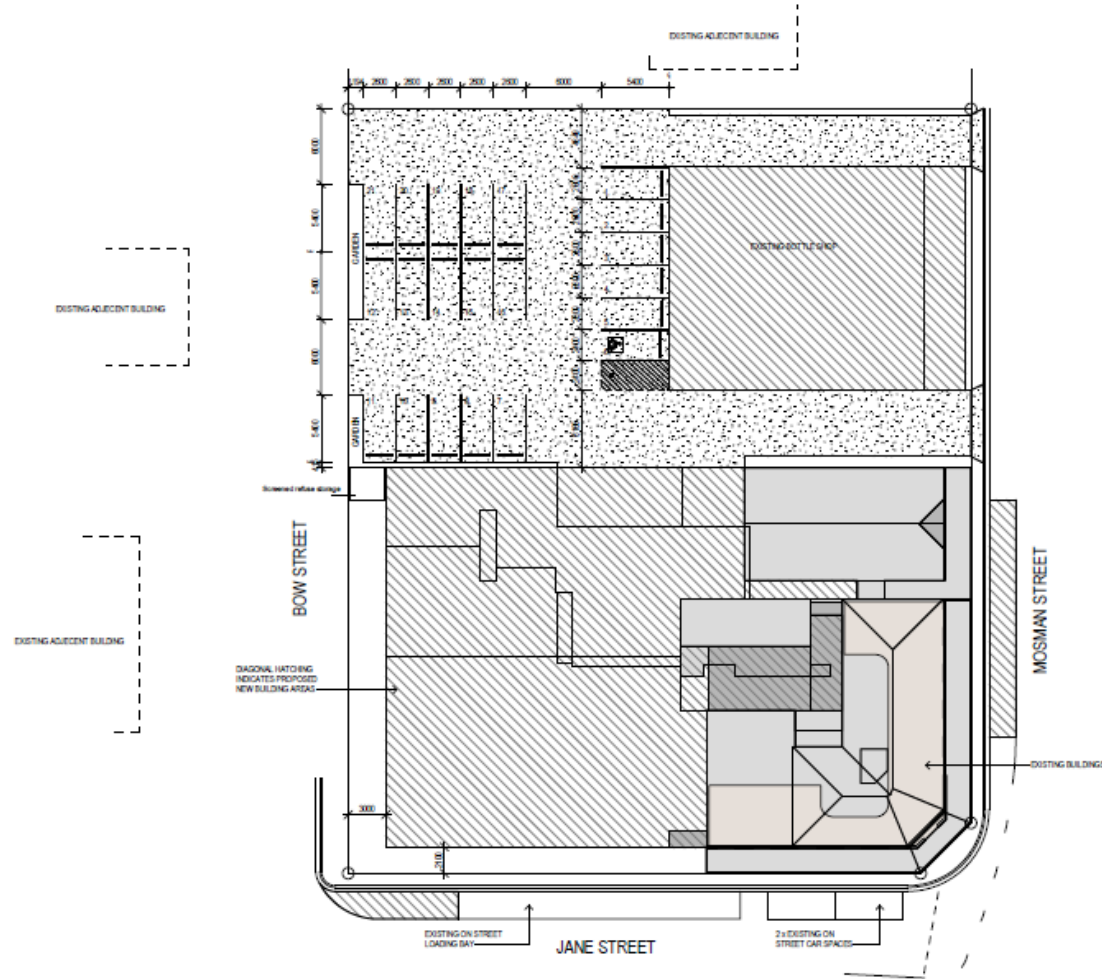
Should you wish to discuss this matter, please contact Kelly Reaston, Consultant Planner on (07) 4761 5522.

Yours faithfully



Hayley Thompson
Executive Manager Corporate and Community Building

WIND CATEGORY C2



1 SITE PLAN
1:200

REAL PROPERTY DESCRIPTION
LOT 1 ON DP 218857
AREA OF LAND: 302sqm
LOCAL GOVERNMENT: CHARTERS TOWERS COUNCIL

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NQ Pty Ltd & IS NOT TO BE COPIED OR DUPLICATED IN PART OR FULL WITH OUT THE PERMISSION OF THE DESIGN HOUSE NQ Pty Ltd

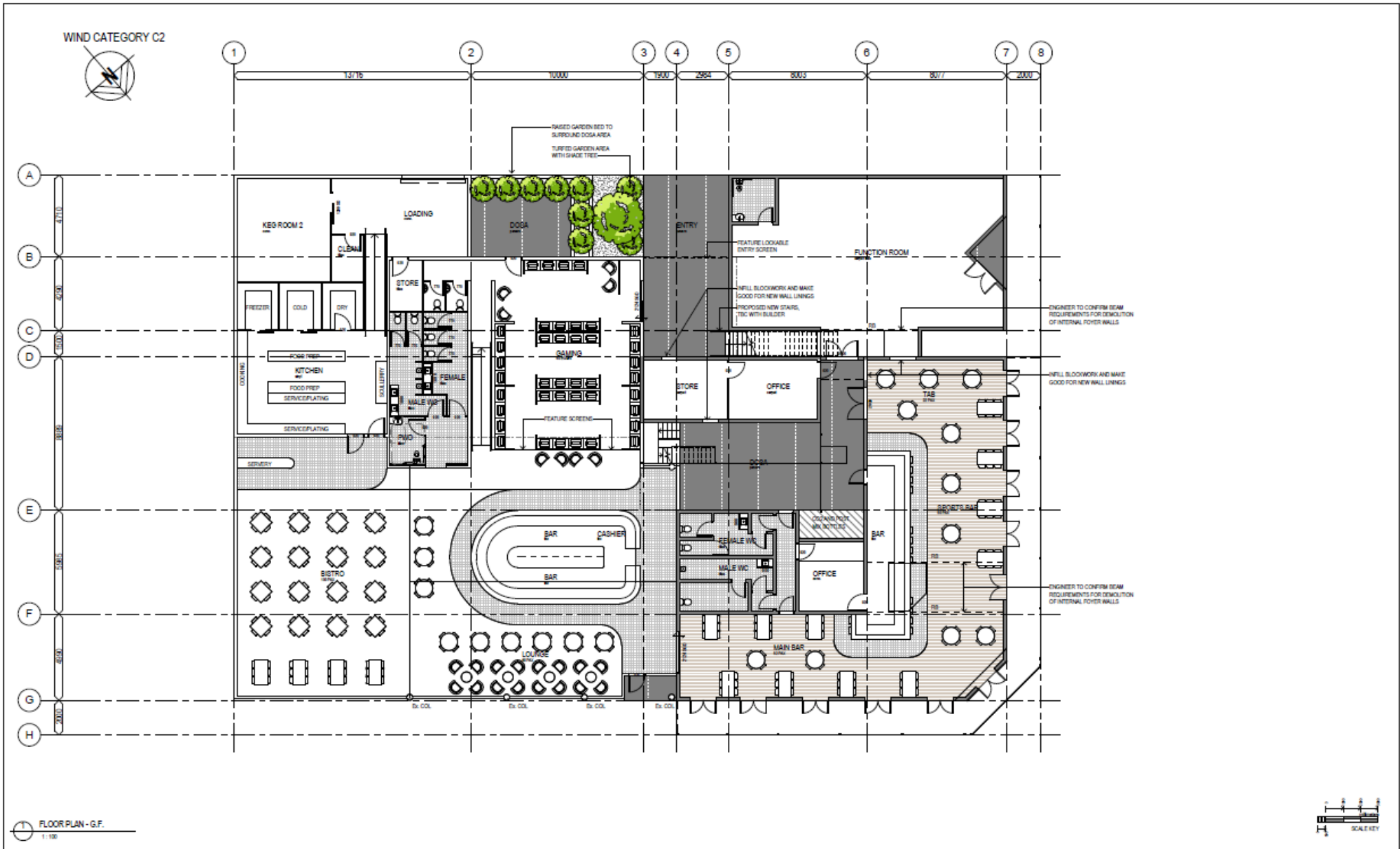
ISSUE: DATE: DESCRIPTION:

THE DESIGN HOUSE NQ
m: 0423 623 647
a: 11 Cashell Crescent, Bushland Beach, QLD 4818
e: nathan@thedesigthouse.nq.com.au
w: www.thedesigthouse.nq.com.au
© COPYRIGHT
QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
Client: WAVERLY HOTEL
Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: SITE PLAN - GENERAL
Date: 02.06.23 Drawn: N.H
Scale: 1 : 200 Designed: N.H
Job No.: | Drawing No.: | Rev.
2023-011-C | DD 08 | 4



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NQ Pty Ltd & IS NOT TO BE COPIED OR DUPLICATED IN PART OR FULL WITH OUT THE PERMISSION OF THE DESIGN HOUSE NQ Pty Ltd

ISSUE: DATE: DESCRIPTION:

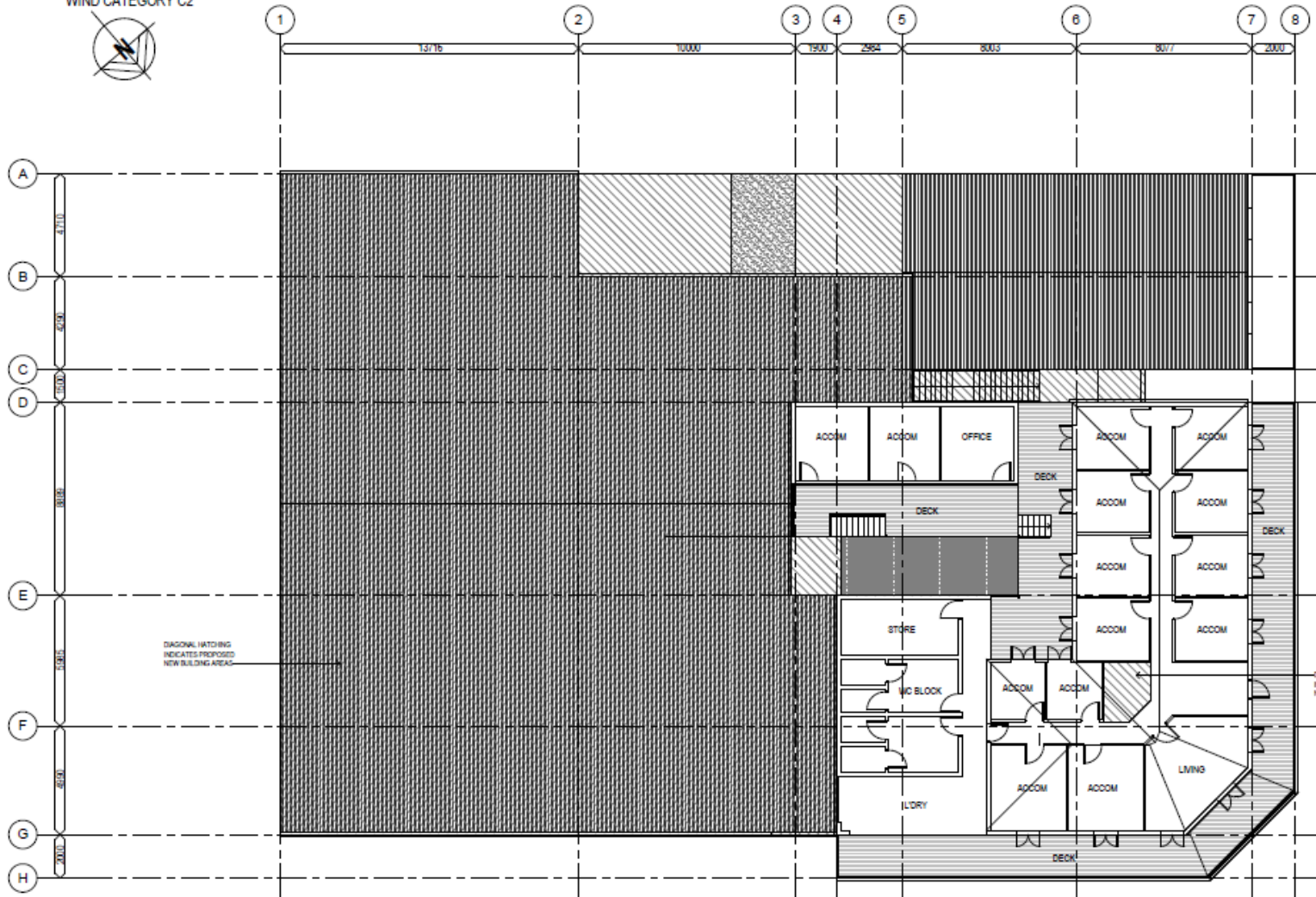
THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: FLOOR PLAN - GROUND FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1 : 100 Designed: N.H
 Job No.: 2023-011-C Drawing No.: DD 09 Rev.: 4

WIND CATEGORY C2



DIAGONAL HATCHING INDICATES PROPOSED NEW BUILDING AREAS

DIAGONAL HATCHING INDICATES PROPOSED NEW FLOOR FILL

1 FLOOR PLAN - F.F.
1:100



NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT

THIS DRAWING IS THE PROPERTY OF THE DESIGN HOUSE. IT IS TO BE KEPT IN CONFIDENCE AND NOT TO BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE.

ISSUE: DATE: DESCRIPTION:

THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesignhousenq.com.au
 w: www.thedesignhousenq.com.au

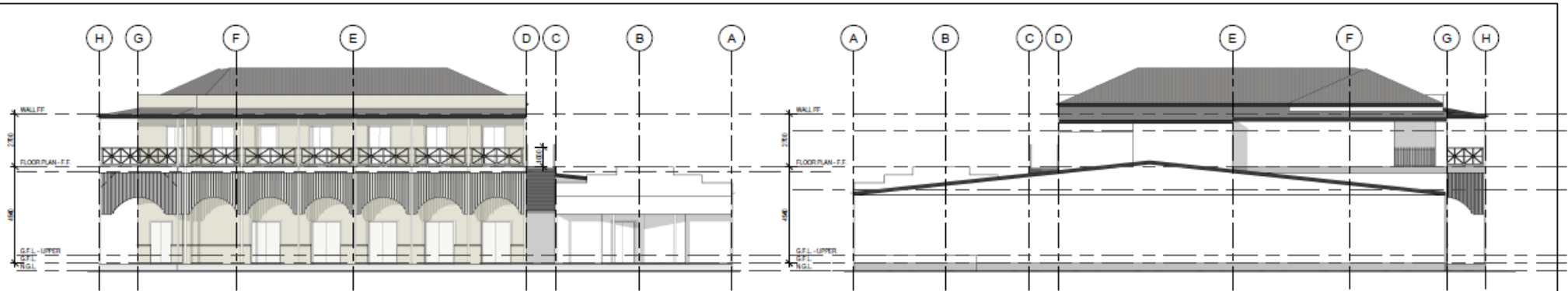
© COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

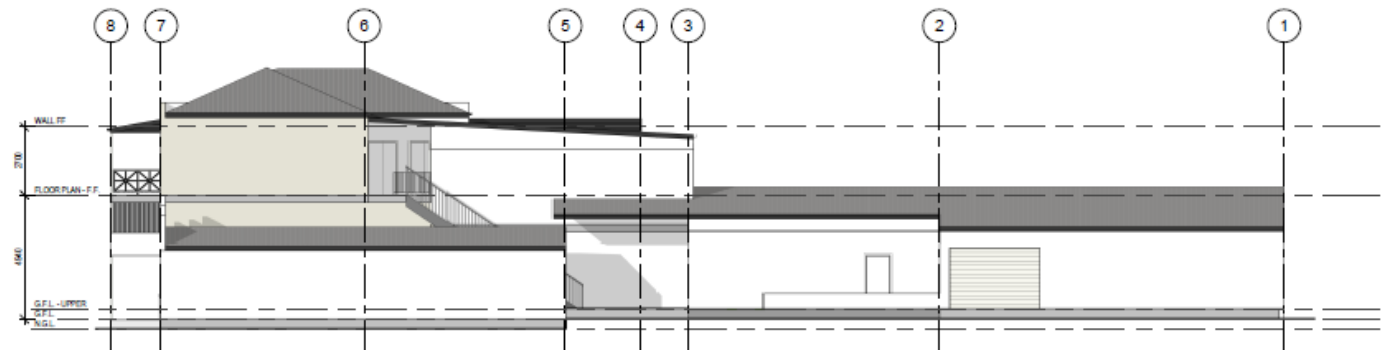
TITLE: FLOOR PLAN - FIRST FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1:100 Designed: N.H

Job No.: 2023-011-C	Drawing No.: DD 10	Rev.: 4
---------------------	--------------------	---------

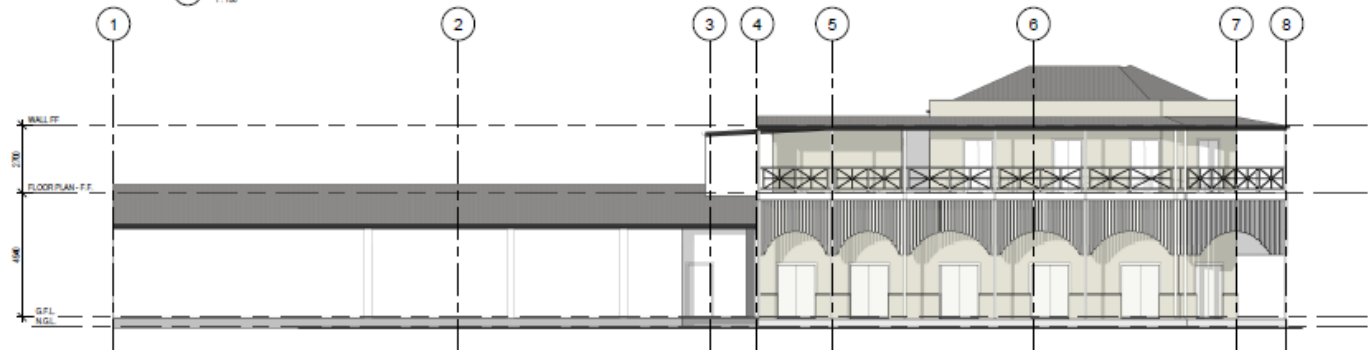


1 ELEV 1
1:100

2 ELEV 3
1:100



3 ELEV 2
1:100



4 ELEV 4
1:100

NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGNER AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE PERMISSION OF THE DESIGNER

ISSUE:	DATE:	DESCRIPTION:

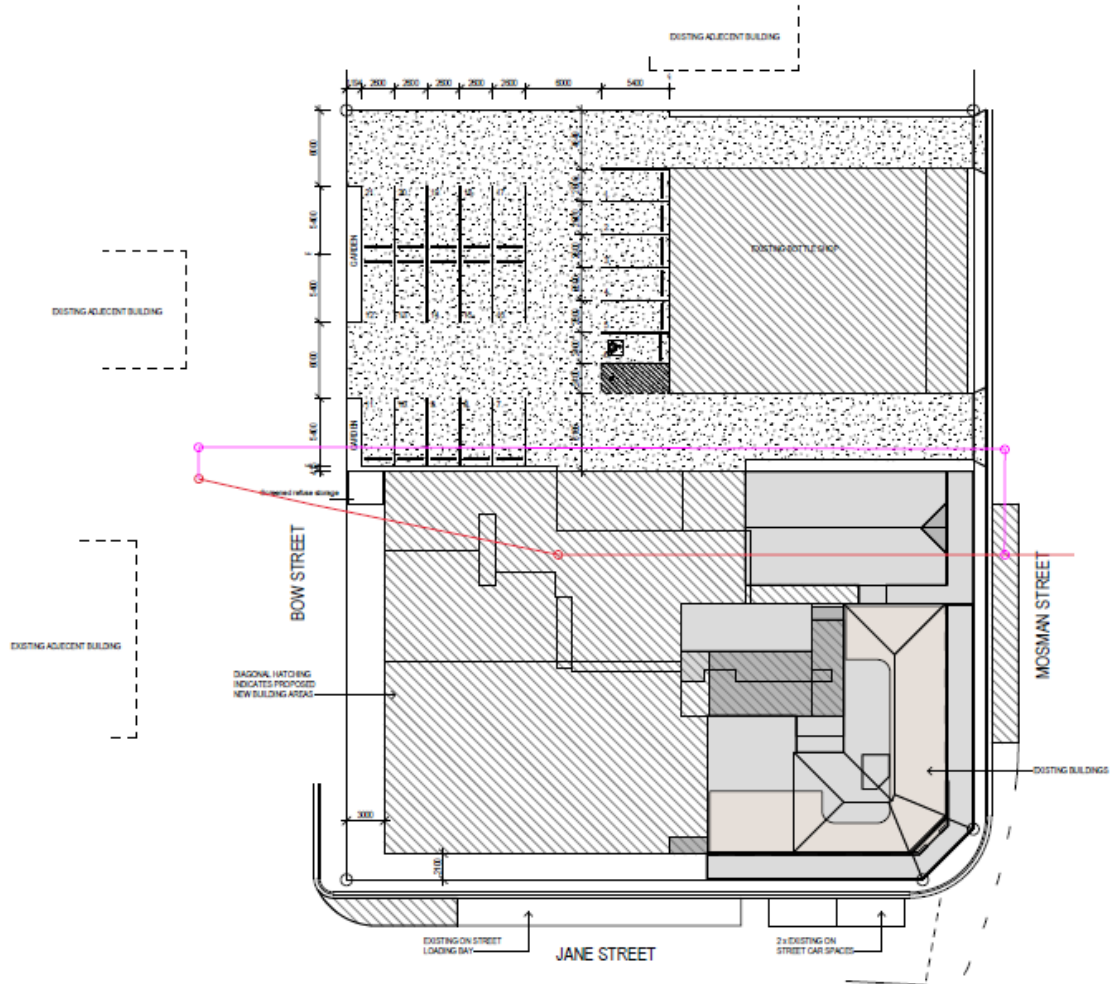
THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: ELEVATIONS		
Date: 02.06.23	Drawn: Author	
Scale: 1:100	Designed: Designer	
Job No.: 2023-011-C	Drawing No.: DD 11	Rev.: 4

WIND CATEGORY C2



1 SITE PLAN
1:200

REAL PROPERTY DESCRIPTION
LOTS ON SP 21887
AREA OF LAND: 2122sqm
LOCAL GOVERNMENT: CHARTERS TOWERS COUNCIL

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NQ Pty Ltd & IS NOT TO BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE NQ Pty Ltd

ISSUE: DATE: DESCRIPTION:

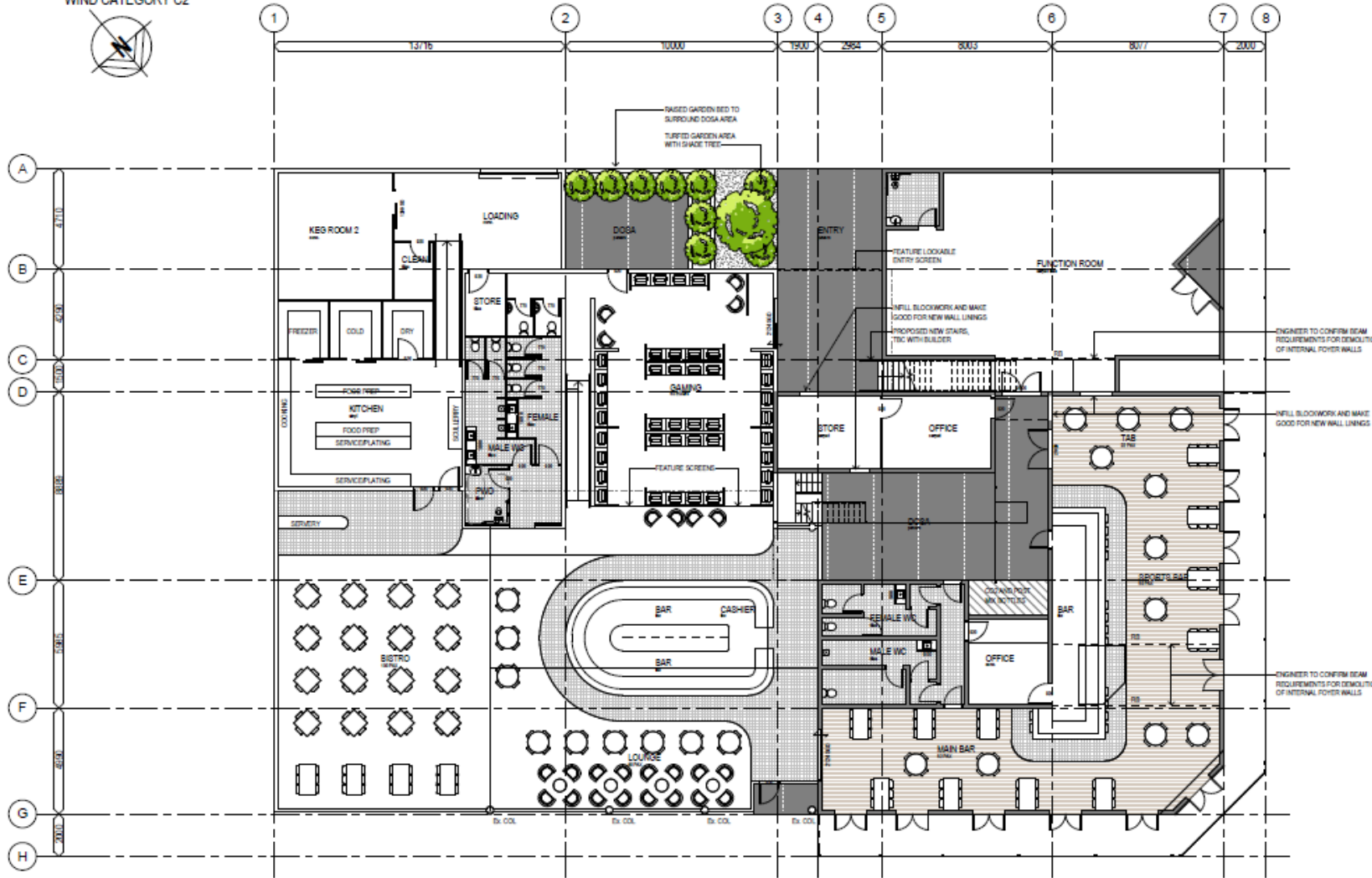
THE DESIGN HOUSE NQ
m: 0423 623 647
a: 11 Cashell Crescent, Bushland Beach, QLD 4818
e: nathan@thedesigthouse.com.au
w: www.thedesigthouse.com.au
© COPYRIGHT
QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



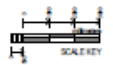
Project: RENOVATIONS & EXTENSION
Client: WAVERLY HOTEL
Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: SITE PLAN - GENERAL
Date: 02.06.23 Drawn: N.H
Scale: 1 : 200 Designed: N.H
Job No.: 2023-011-C Drawing No.: DD 08 Rev. 4

WIND CATEGORY C2



1 FLOOR PLAN - G.F.
1:100



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALES
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 TO THE DESIGN AND NOT BE COPIED OR REPRODUCED FOR ANY OTHER PURPOSE

ISSUE:	DATE:	DESCRIPTION:

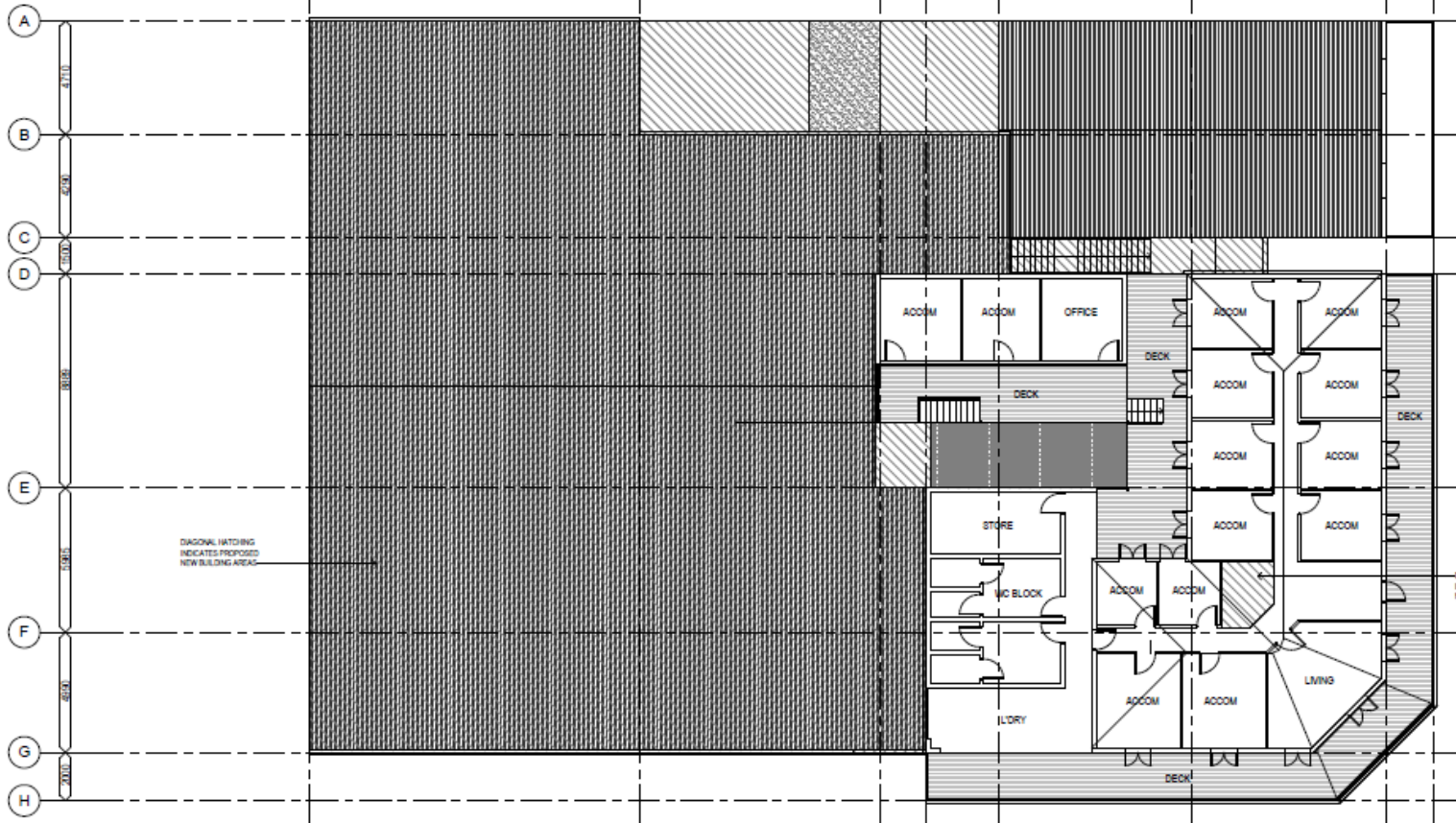
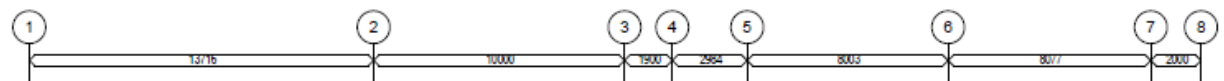
THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: FLOOR PLAN - GROUND FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1:100 Designed: N.H
 Job No.: 2023-011-C
 Drawing No.: DD 09
 Rev: 4

WIND CATEGORY C2



DIAGONAL HATCHING INDICATES PROPOSED NEW BUILDING AREAS

DIAGONAL HATCHING INDICATES PROPOSED NEW FLOOR APPL

FLOOR PLAN - FF.
1:100



NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NO. IT IS NOT TO BE COPIED OR REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE PERMISSION OF THE DESIGN HOUSE NO. (Pty) Ltd

ISSUE: DATE: DESCRIPTION:

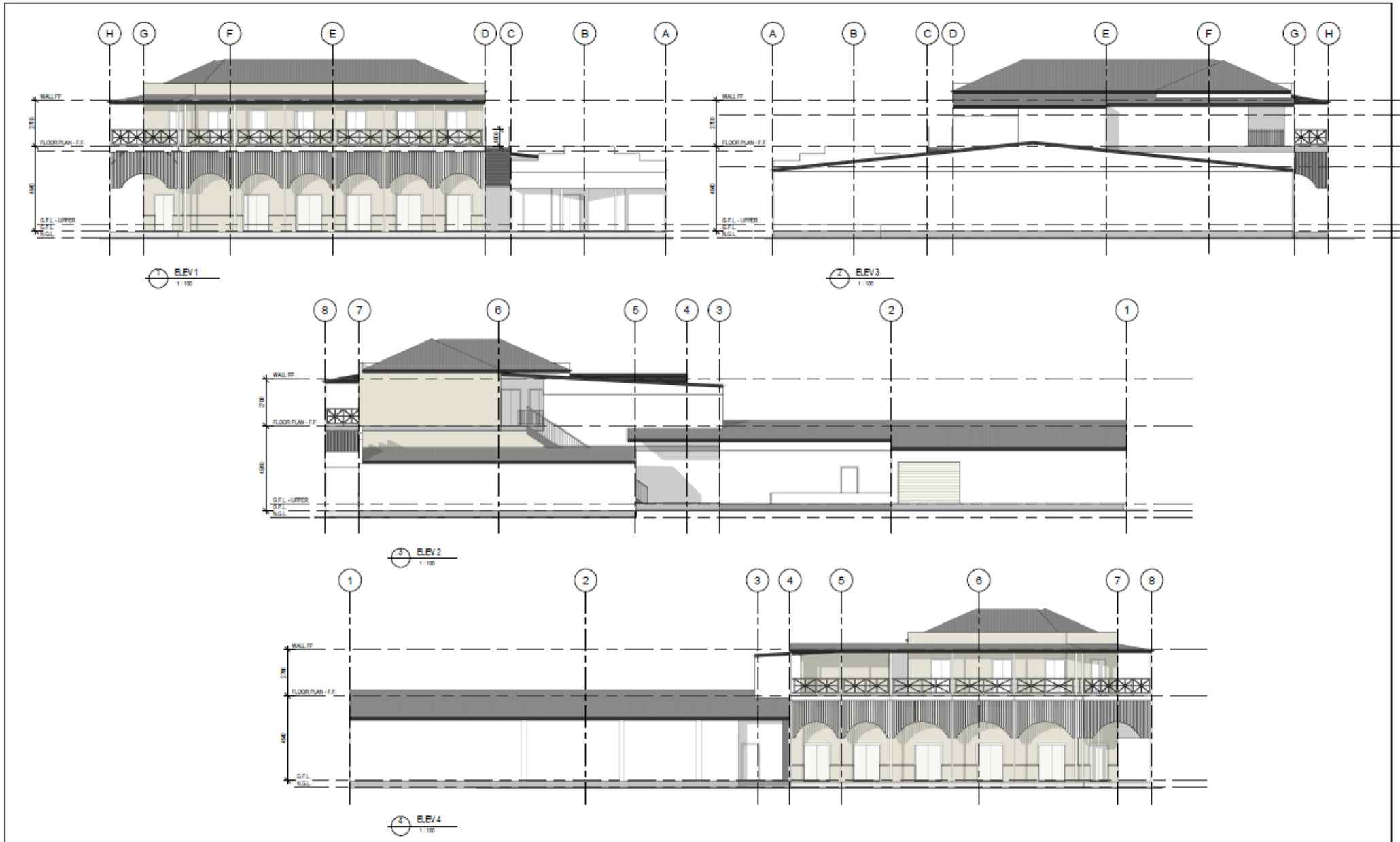
ISSUE:	DATE:	DESCRIPTION:

THE DESIGN HOUSE NO
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouseenq.com.au
 w: www.thedesigthouseenq.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: FLOOR PLAN - FIRST FLOOR
 Date: 02.06.23 Drawn: N.H
 Scale: 1 : 100 Designed: N.H
 Job No.: 2023-011-C | Drawing No.: DD 10 | Rev. 4



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NO. 11 CASHELL CRESCENT, BUSHLAND BEACH, QLD 4818. IT IS NOT TO BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE NO.

ISSUE:	DATE:	DESCRIPTION:

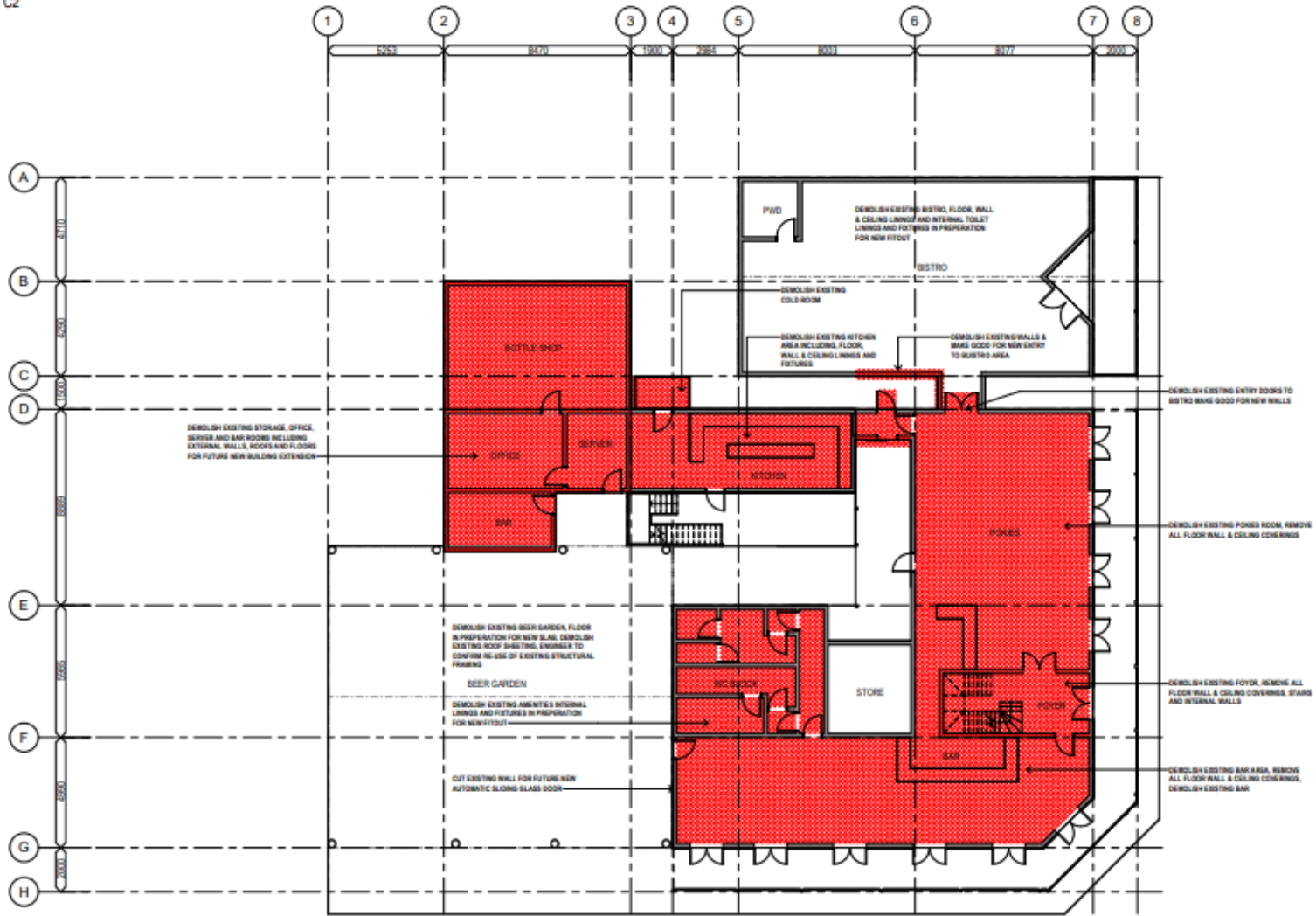
THE DESIGN HOUSE NO
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: ELEVATIONS		
Date: 02.06.23	Drawn: Author	
Scale: 1 : 100	Designed: Designer	
Job No.: 2023-011-C	Drawing No.: DD 11	Rev. 4

WIND CATEGORY C2



DEMOLITION PLAN - G.F.
1:100



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT
 5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NO. IT IS NOT TO BE COPIED OR REPRODUCED IN ANY FORM WITHOUT THE PERMISSION OF THE DESIGN HOUSE NO. BY MEANS OF ANY MEANS

ISSUE:	DATE:	DESCRIPTION:

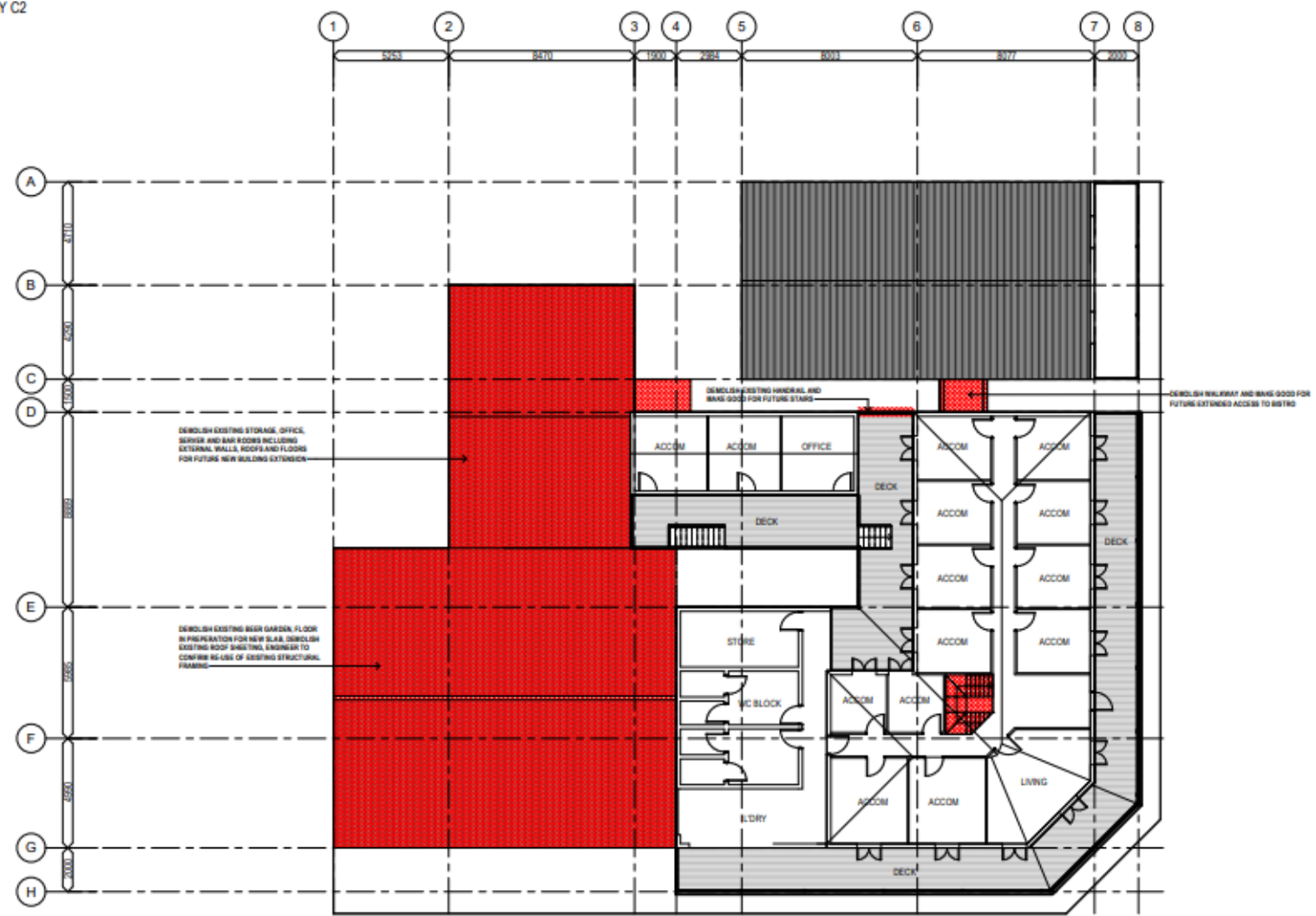
THE DESIGN HOUSE NO
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: DEMOLITION PLAN - GF
 Date: 23.01.23 Drawn: N.H
 Scale: 1 : 100 Designed: N.H
 Job No.: 2023-011-C Drawing No.: DD 06 Rev. 1

WIND CATEGORY C2



DEMOLITION PLAN - F.F.
1:100



NOTES:
 1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
 2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
 3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
 4. THIS DRAWING IS ONLY INTENDED TO OBTAIN LOCAL AUTHORITY BUILDING PERMIT
 LOCAL AUTHORITY BUILDING PERMIT TO THE DESIGN HOUSE NO 1418 & IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE DESIGN HOUSE NO 1418

ISSUE:	DATE:	DESCRIPTION:

THE DESIGN HOUSE NQ
 m: 0423 623 647
 a: 11 Cashell Crescent, Bushland Beach, QLD 4818
 e: nathan@thedesigthouse.com.au
 w: www.thedesigthouse.com.au
 © COPYRIGHT
 QBCC LICENCE NO. 15046263
 BUILDING DESIGN OPEN RISE



Project: RENOVATIONS & EXTENSION
 Client: WAVERLY HOTEL
 Location: 19 MOSMAN STREET, CHARTERS TOWERS

TITLE: DEMOLITION PLAN - FF
 Date: 23.01.23 Drawn: N.H
 Scale: 1:100 Designed: N.H
 Job No.: 2023-011-C Drawing No.: DD 07 Rev.: 1

Planning Act 2016

Reprint current from 2 August 2024

Chapter 6 > Part 1

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against a decision of the Minister, under chapter 7, part 4, to amend the registration of premises to include additional land in the affected area for the premises—20 business days after the day a notice is published under section 269A(2)(a); or
 - (e) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (f) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the

applicant gives the deemed approval notice to the assessment manager; or

- (g) for an appeal relating to the Plumbing and Drainage Act 2018—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the Plumbing and Drainage Act 2018, section 143(2)(a) (i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the Plumbing and Drainage Act 2018—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the Plumbing and Drainage Act 2018—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and

- (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
- (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

decision includes—

 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.