

15 June 2021

Our Ref: 1456850  
File Ref: 05/APP/02  
Enquiries: Lachlan Deon

Matt Bennetto  
3 Burdekin Street  
**RICHMOND HILL QLD 4820**

Sent via email: [msbennetto@bigpond.com](mailto:msbennetto@bigpond.com)

Dear Matt Bennetto

**Decision Notice – Approval**  
(Given under Section 63 of the *Planning Act 2016*)

The assessment manager wishes to advise that the application was approved under delegated authority on 15 June 2021. The approval is subject to reasonable and relevant conditions and supported by a notice of reasons as detailed below:

**Applicant details**

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Applicant name: M and B Bennetto

**Location details**

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Street address: 68-70 Mary Street, Charters Towers QLD 4820  
Real property description: Lot 1 on RP709628  
Current lawful use: Vacant

**Application details**

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Application number: MC21/81  
Approval type: Development Permit  
Development type: Material Change of Use  
Category of assessment: Code Assessment  
Description of development: Multiple Dwellings (Four Units)  
Definition of use: A residential use of premises involving three or more Dwellings, whether attached or detached, for separate households  
Categorising instrument: Charters Towers Regional Town Plan Version 2

**1. Details of the approval**

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Details of the approval are listed below in accordance with the *Planning Regulation 2017*.



Date: 15 June 2021

Our Ref: 1456850

	Planning Regulation 2017 reference	Development Permit	Preliminary Approval
Development assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval		<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 2. Conditions of approval

Condition Number	Condition	Timing																																																							
Approved Plans/Documents																																																									
1)	<div>Development is to be carried out generally in accordance with the submitted application including the following plans except where amendments are required to satisfy the conditions of this approval:</div> <table><tr><th>Drawing Title:</th><th>Prepared by:</th><th>Date:</th><th>Reference No:</th><th>Revision:</th></tr><tr><td>Site Plan</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_02</td><td>-</td></tr><tr><td>Site Reconfiguration</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_03</td><td>-</td></tr><tr><td>Area Layout</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_04</td><td>-</td></tr><tr><td>Unit 1,2,3,4 Floor Plan</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 sk_16</td><td>-</td></tr><tr><td>Unit 1,2,3,4 Elevations</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 sk_17</td><td>-</td></tr><tr><td>Units 1,2,7,8 Floor Plan</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_05</td><td>-</td></tr><tr><td>Units 1,2,7,8 Roof Plan</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_06</td><td>-</td></tr><tr><td>Units 1,2,7,8 Elevations</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_07</td><td>-</td></tr><tr><td>Units 3,4,5,6 Floor Plan</td><td>Concept Building Design</td><td>August 2020</td><td>20-036 wd_11</td><td>-</td></tr><tr><td>Units 3,4,5,6 Roof Plan</td><td>Concept Building</td><td>August 2020</td><td>20-036 wd_12</td><td>-</td></tr></table>	Drawing Title:	Prepared by:	Date:	Reference No:	Revision:	Site Plan	Concept Building Design	August 2020	20-036 wd_02	-	Site Reconfiguration	Concept Building Design	August 2020	20-036 wd_03	-	Area Layout	Concept Building Design	August 2020	20-036 wd_04	-	Unit 1,2,3,4 Floor Plan	Concept Building Design	August 2020	20-036 sk_16	-	Unit 1,2,3,4 Elevations	Concept Building Design	August 2020	20-036 sk_17	-	Units 1,2,7,8 Floor Plan	Concept Building Design	August 2020	20-036 wd_05	-	Units 1,2,7,8 Roof Plan	Concept Building Design	August 2020	20-036 wd_06	-	Units 1,2,7,8 Elevations	Concept Building Design	August 2020	20-036 wd_07	-	Units 3,4,5,6 Floor Plan	Concept Building Design	August 2020	20-036 wd_11	-	Units 3,4,5,6 Roof Plan	Concept Building	August 2020	20-036 wd_12	-	At all times
Drawing Title:	Prepared by:	Date:	Reference No:	Revision:																																																					
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Condition Number	Condition					Timing
		Design				
	Units 3,4,5,6 Elevations	Concept Building Design	August 2020	20-036 wd_13	-	
	Landscaping Works	Enviro Design Landscaping Architecture	March 2021	LS-01		
	Surface Treatment Plan	Enviro Design Landscaping Architecture	March 2021	LS-02		
	Planting Plan	Enviro Design Landscaping Architecture	March 2021	LS-03	-	
	Landscaping Details & Planting Schedule	Enviro Design Landscaping Architecture	March 2021	LS-04		
	a) Provide amended plans which incorporate at least four different textures, colours and designs within the external façade of the building. Details of the proposed colour scheme, materials and finishes for all external areas of the buildings are to be submitted to Council for approval.					
<b>General</b>						
2)	a) Comply with all conditions within this Development Permit with conditions prevailing over the approved plan(s) and document(s) in all instances b) Meet the cost of all works associated with the development including any alterations, relocations or repairs to damaged Council infrastructure, and c) All repairs, alterations and relocations of Council infrastructure are to be in accordance with the relevant Council policy and/or Australian Standard.					At all times
<b>Environmental</b>						
3)	Ensure that erosion and sedimentation control management is undertaken and maintained to prevent soil erosion and sedimentation runoff to watercourses and Council’s storm water drainage system. Erosion and sediment control is to be in accordance with <i>International Erosion Control Association – Best Practice Erosion &amp; Sediment Control guidelines</i> and the <i>Queensland Urban Drainage Manual 2017</i> .					At all times
4)	The construction of the development (not operation) must be limited to 0630—1830 Monday to Saturday and not at all on Sunday and public holidays as per Section 440R of the <i>Environmental Protection Act 1994</i> . Noise generated from construction must be within the limits set by the <i>Environmental Protection Act 1994</i> and the <i>Environmental Protection (Noise) Policy 20019</i> .					At all times
5)	Ensure that: a) Works occur so they do not cause unreasonable interference with the amenity of adjoining premises because of noise, air or other chemical					As part of construction works



Condition Number	Condition	Timing
	<p>pollutants</p> <p>b) The premises including the adjoining Council controlled road reserve are kept in a safe, clean, and tidy state, and</p> <p>c) All construction materials are contained wholly within the premises.</p>	
<b>Building, Plumbing and Drainage Works</b>		
6)	Obtain a Development Permit and Building Final for Building Works in accordance with the <i>Planning Act 2016</i> . Construction is to comply with the <i>Building Act 1975</i> , the <i>National Construction Code</i> and the requirements of other relevant authorities.	Prior to construction
7)	Obtain a Permit for Plumbing and Drainage Works and Final Inspection Certificate in accordance with the <i>Plumbing and Drainage Act 2018</i> and the <i>Plumbing and Drainage Regulation 2019</i> . Construction is to comply with the <i>National Construction Code: Volume Three – Plumbing Code of Australia 2019</i> , the <i>Queensland Plumbing and Waste Water Code 1: 2019</i> and the requirements of other relevant authorities.	Prior to construction
8)	All plant and equipment (including air conditioners, exhaust fans and the like) are to be housed, screened and located so that these do not cause environmental nuisance or harm to residential uses in the surrounding area.	As part of construction
9)	Outdoor lighting is to comply with <i>Australian Standard AS4282 – Control of the Obtrusive Effects of Outdoor Lighting</i> . All lighting at ground level and associated with illuminating ground level areas must be focused downwards and be provided with hoods, shades or other permanent devices to direct illumination downwards and not allow upward lighting to adversely affect the residential uses on this site and the adjoining sites.	As part of construction
10)	A maximum 1.2m high timber fence is to be constructed around the entire Mary, Ryan and Church Street frontage of the premises unless otherwise approved by Council.	As part of construction
11)	A mail box (for each Dwelling) is to be constructed a maximum of 6m from the front property boundary. The mail box is to be easily identifiable for emergency services from the frontage of the site.	As part of construction
12)	<p>Where a habitable room window is within 9m of another habitable room window or private open space of another Dwelling Unit either on the premises or an adjacent premise</p> <p>a) Windows are provided with fixed translucent glazing, such as frosted or textured glazing, for any part of the window less than 1.5m above floor level, or</p> <p>b) Windows are provided with fixed with permanent external screens that are:</p> <p>i) Solid translucent screens, or</p> <p>ii) Perforated panels or trellises that have a maximum of 50% openings, with a maximum opening dimension of 50mm, and that are permanently fixed and durable, and</p> <p>iii) Offset a minimum of 300mm from the wall of the building.</p>	As part of construction
<b>Transport</b>		
13)	Lodge and obtain approval for an application to carry out public	Prior to



Condition Number	Condition	Timing
	access/footpath work as part of works within the Council controlled road reserve.	construction within Council's road reserve
14)	Construct a driveway crossover at the frontage of Mary Street and Ryan Street in accordance with Council's standard drawing <i>CTRC-002 Roads urban concrete driveway</i> .	As part of construction
15)	All disused driveway crossovers at the frontage of Mary and Ryan Streets are to be reinstated with kerb and channel in accordance with Council's standard drawing <i>CTRC-012 Kerb and channel profiles &amp; dimensions, including edge restrains, medium and invert</i> .	As part of construction of Operational Works
<b>Water and Sewer</b>		
16)	Lodge and have approved, an application for connection to water supply as part of the development's connection into Council's controlled water service infrastructure.	Prior to works on Council's water infrastructure
17)	Provide a 40mm water meter service connection from Council's water supply infrastructure to the front property boundary at no cost to Council. Each Unit is to be separately sub-metered with the meters located within three meters of any property boundary.	As part of construction
18)	Lodge and have approved an application for sewer main cut-in for connection to sewer supply as part of connection to Council's controlled sewer service infrastructure.	Prior to works on Council's sewer infrastructure
<b>Stormwater</b>		
19)	All stormwater runoff must be piped from roofed areas and discharged to a kerb and channel drainage system in a Council controlled road, or an approved inter allotment stormwater drainage system, in accordance with <i>Queensland Urban Drainage Manual 2016</i> and <i>AS3500.3:2018 Plumbing and Drainage - Stormwater Drainage</i> .	At all times
20)	Submit for approval by Council, a Site Based Stormwater Management Plan. The Site Based Stormwater Management Plan must address both stormwater quantity and quality and be in accordance with the <i>State Planning Policy – July 2017</i> , the <i>Queensland Urban Drainage Manual 2016</i> and <i>AS3500.3:2018 Plumbing and Drainage - Stormwater Drainage</i> . The Site Based Stormwater Management Plan must be certified by a Registered Professional Engineer of Queensland experienced in this type of work.	Prior to the lodgement of any subsequent Development Applications
<b>Waste Management</b>		
21)	Waste storage area/s are to be sufficient in size to house all waste collection containers including recycling waste containers. The waste storage area/s must be suitably enclosed and imperviously paved, with a hose cock and hose fitted near the enclosure to ensure the area can be easily and effectively cleaned.	Prior to the commencement of the use
22)	Waste storage areas shall be: a) Situated in locations not visible from the street front, and b) Provided with a 1.8m solid screen fence located around storage areas.	Prior to the commencement of the use
<b>Electrical and Telecommunications</b>		
23)	Submit to Council a Certificate of Electricity Supply demonstrating that	Prior to the





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Condition Number	Condition	Timing
	supply is provided and available to the premises.	commencement of the use
24)	Submit to Council a Provisioning of Telecommunication Services demonstrating that supply is provided and available to the premises.	Prior to the commencement of the use
<b>Lawful Commencement</b>		
25)	Request a Compliance Inspection be undertaken by Council to confirm that all conditions of this Development Permit are considered compliant.	Prior to the commencement of the use
26)	Notify Council within 20 business days that this approved use has lawfully commenced.	Prior to the commencement of the use

#### Advisory Notes

##### Scale or Intensity of Use

- A. Any proposal to increase the scale or intensity of the use/new use on the subject land, that is assessable development under the Planning Scheme, would be subject to a separate application for assessment in accordance with the *Planning Act 2016* and would have to comply with the requirements of the relevant provisions.

##### Aboriginal and Cultural Heritage

- B. The *Aboriginal Cultural Heritage Act 2003* and *Torres Strait Islander Cultural Heritage Act 2003* requires anyone who carries out a land-use activity to exercise a duty of care. Land users must take all reasonable and practicable measures to ensure their activity does not harm Aboriginal or Torres Strait Islander cultural heritage. Prior to carrying out works, it is advised that you contact the Department of Aboriginal and Torres Strait Islander Partnerships on (07) 4799 7470 or by post at PO Box 5620 TOWNSVILLE QLD 4810. For further information on cultural heritage duty of care please visit: <https://www.datsip.qld.gov.au/people-communities/aboriginal-torres-strait-islander-cultural-heritage/cultural-heritage-duty-care>

##### Abandoned Mine Shafts

- C. The city of Charters Towers is subject to a significant number of abandoned mine shafts due to the former gold rush era. It is recommended that all searches be undertaken through the Queensland State Government's Department of Natural Resources Mines and Energy (DNRME) to ensure that the development is not unduly impacted upon by these shafts. The DNRME can be contacted on 13 74 68.

##### Workplace Health and Safety

- D. Ensure compliance with the *Work Health and Safety Act 2011*. It states that the project manager is obliged to ensure construction work is planned and managed in a way that prevents or minimises risks to the health and safety of members of the public at or near the workplace during construction work. It is the principal contractor's responsibility to ensure compliance with the *Work Health and Safety Act 2011*. It states that the principal contractor is obliged on a construction workplace to ensure that work activities at the workplace prevent or minimise risks to the health and safety of the public at or near the workplace during the work. It is the responsibility of the person in control of the workplace to ensure compliance with the *Work Health and Safety Act 2011*. It states that the person in control of the workplace is obliged to ensure there is appropriate, safe access to and from the workplace for persons other than the person's workers.

##### Environmental nuisance

- E. Ensure compliance with the *Environmental Protection Act 1994*. It states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable



<b>Advisory Notes</b>	
	<p>and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard persons and entities, involved in the civil, earthworks and construction phases of this development, are to adhere to their "general environmental duty" to minimise the risk of causing environmental harm.</p> <p>Environmental harm is defined by the Act as any adverse effect, or potential adverse effect whether temporary or permanent and of whatever magnitude, duration or frequency on an environmental value and includes environmental nuisance. Therefore, no person should cause any interference with the environment or amenity of the area because of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Council to cause undue disturbance or annoyance to persons or affect property not connected with the use.</p>
<b>Ergon Energy and Telstra Corporation Contact Details</b>	
F.	<p>Where a condition requires connections to reticulated electricity and/or telecommunications or a certificate of supply, please contact the below:</p> <ul style="list-style-type: none"> <li>a) Ergon Energy Connection Solution's Team – (07) 4931 1012, and/or</li> <li>b) NBN Co – 1800 687 626.</li> </ul>
<b>Council Forms, Policies and Drawings</b>	
G.	<p>In achieving compliance with conditions, the below Council forms will need to be completed for this development:</p> <ul style="list-style-type: none"> <li>a) <a href="#">F0227 - Application to carry out works on a Council road (including pathways)</a></li> <li>b) <a href="#">Standard drawings and specifications for driveways and roads</a></li> <li>c) <a href="#">SRAT0028 – Road risk management</a></li> <li>d) <a href="#">F0313 – Request for water supply connection or disconnection, and</a></li> <li>e) <a href="#">F0347 – Application for sewer main cut-in.</a></li> </ul>

### 3. Currency period for the development application approval

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of six years.

### 4. Further development permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- 1) Building Works, and
- 2) Plumbing and Drainage Works.

### 5. Referral agencies

There were no referral agencies triggered by Schedule 10 of the *Planning Regulation 2017*.

### 6. Submission(s)

Properly made submissions were not made in relation this development.



## 7. Notice of reasons

This notice is prepared in accordance with Section 63(5) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a development application.

<b>Description of the development:</b>	The proposed development is for the Material Change of Use of a Premise for Multiple Dwellings (Four Units).	
<b>Reasons for the decision:</b>	The proposed development is supported as it presents an infill opportunity which will provide additional Dwellings located within proximity of the Central Business District of Charters Towers. Additionally, as the proposal is connected to both the reticulated water and sewer network It demonstrates the sustainable use of Council's reticulated service networks.	
<b>Assessment benchmarks:</b>	The proposed development was assessed against the relevant assessment benchmarks of the Charters Towers Regional Town Plan including the: <ul style="list-style-type: none"> <li>1) Residential Character Overlay Code</li> <li>2) General Residential Zone Code</li> <li>3) Development Works Code, and</li> <li>4) Landscaping Code.</li> </ul>	
	The proposed development was assessed against all the assessment benchmarks listed about and complies with all with the exceptions listed and responded to below.	
	<b>Assessment benchmark:</b>	<b>Reasons for the approval despite non-compliance with benchmark:</b>
	Residential Character Overlay Code Acceptable Outcome 1.2 Performance Outcome 1	In response, the Residential Character Overlay Code requires the built form to include a raised stumped house which is complementary to the design and streetscape of the locality. The Applicant has indicated that the construction of the Multiple Dwellings will not be on stumps. Therefore, to ensure that the final development achieves an attractive design, conditions have been recommended that amended plans are provided which incorporate at least four different textures, colours and designs within the external façade of the building. Conditions have also been recommended that the construction of a fence no higher than 1.2m in height and constructed out of timber is provided along all property boundaries, unless otherwise approved by Council.
	General Residential Zone Code Acceptable Outcome 2.1 Performance Outcome 2	In response, the proposed plans show that the designated setback for both frontages on Mary and Ryan Street being three metres. This does not achieve compliance with the Acceptable Outcome. However, as the surrounding locality has buildings which are already within the designated setbacks of the General Residential Zone Code being six meters, it is considered reasonable to allow the Multiple Dwellings to be setback three metres from the boundary of the property.
	General Residential Zone Code Acceptable Outcome 4.1	In response, the proposal does not achieve the requirements of the Acceptable Outcome as the designated private open space does not comply with the 30m <sup>2</sup> requirement. However, as there has been a private patio incorporated into each of the proposed Dwelling Units, private space has been incorporated. Additionally, the location is in proximity to Lissner Park, being the largest park in the City. This provides open space for residents to use at their leisure. Therefore, it is considered that partial compliance is achieved with the Performance Outcome.





Date: 15 June 2021

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	Development Works Code Acceptable Outcome 12 Performance Outcome 12	In response, the frontages of both Mary and Ryan Streets do not currently have footpath access along the frontages of the lots and the Applicant has not proposed footpaths as part of the proposal. It is considered that as there are no existing footpaths constructed on adjacent properties, it is unreasonable for the Applicant to provide new footpaths as part of the development. Therefore, the issue of noncompliance is acceptable for the Acceptable and Performance Outcomes.
<b>Relevant matters:</b>	N/A	
<b>Matters raised in submissions:</b>	<b>Submission Point:</b>	<b>Council Response:</b>
	N/A	N/A

## 8. Other requirements under section 43 of the *Planning Regulation 2017*

There are no other requirements.

## 9. Appeal rights

The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision are set out in Chapter 6, Part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*). Information about how to proceed with an appeal to the Planning and Environment Court may be found on the Court's website: <http://www.courts.qld.gov.au/courts/planning-and-environment-court>.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*. The timeframes for starting an appeal in the Planning and Environment Court are set out in Section 229 and Schedule 1 of the *Planning Act 2016*.

Should you wish to discuss this matter, please contact Matthew Kelly, Manager Regional Development on (07) 4761 5300.

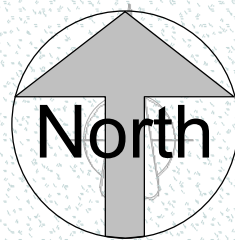
Yours faithfully



Matthew Kelly  
Manager Regional Development







## FEATURE LEGEND

THESE CONVENTIONS APPLY TO ALL DRAWINGS UNLESS OTHERWISE SPECIFIED. THE DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

- MAJOR CONTOUR
- MINOR CONTOUR
- FENCE LINE
- POWER LINE O'HEAD
- WATER LINE
- SEWER LINE
- STORMWATER LINE
- TELSTRA LINE
- BOUNDARY
- EASEMENT
- CHANGE IN GRADE
- TOP OF BANK
- BOTTOM OF BANK
- TOP OF WALL
- BOTTOM WALL
- TOP OF KERB
- KERB INVERT
- ROAD CROWN
- EDGE OF BITUMEN
- EDGE OF CONCRETE
- EDGE OF PAVING
- BOTTOM OF DRAIN
- BUILDING
- STRUCTURAL EAVES
- SEWER MANHOLE
- TELSTRA PIT
- WATER STOP VALVE
- WATER TAP
- WATER METER
- FIRE HYDRANT
- POWER POLE
- LIGHT POLE
- TRANSFORMER POLE
- POWER M/H
- STORMWATER GRATED PIT
- STORMWATER MANHOLE
- TRAFFIC SIGN
- TBM
- CONTROL STATION
- TREE
- PALM TREE
- UNABLE TO LIFT

This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice.

App Ref: MC21/81

Date: 15 June 2021

Signed:

Church Street

Mary Street

proposed lot 1  
area 1999.30 m2  
approx

proposed lot 2  
area 972.50 m2  
approx

Lot 1 on CT 18211

Lot 1 on RP 709628

Ryan Street

1 site reconfiguration

1 : 200



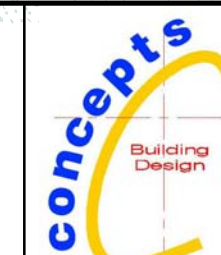
Preliminary  
not to be used for construction purposes

### NOTES:

THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT. COMPLY WITH ALL RELEVANT AUTHORITY REG. & BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

### Revision Schedule

No	Description	Date
1		



tel: 07 4728 3228

project:  
Proposed Multiple Dwellings

for:  
B & M Bennetto  
at:  
68-70 Mary Street  
Charters Towers

Issue Date august 2020

Drawn Author

scale 1 : 200

sheet wd\_03

20-036

printed 13/04/2021 2:41:28 PM





## FEATURE LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- FENCE LINE
- POWER LINE GROUND
- WATER LINE
- SEWER LINE
- STORMWATER LINE
- TELSTRA LINE
- BOUNDARY
- EASEMENT
- CHANGE IN GRADE
- TOP OF BANK
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- WATER STOP VALVE
- WATER TAP
- WATER METER
- FIRE HYDRANT
- POWER POLE
- LIGHT POLE
- TRANSFORMER POLE
- POWER M/H
- STORMWATER GRATED PIT
- STORMWATER MANHOLE
- TRAFFIC SIGN
- TREE
- CONTROL STATION
- PALM TREE
- UNABLE TO LIFT

PROPERTY DESCRIPTION  
LOT No: Lot 1  
PLAN No: CT 18211  
LOT No: Lot 1  
PLAN No: RP 709628

### note

1. provide hard standing area for bulk refuse and wheelie bins provide hose cock & hose
2. a/c condensers are to be located below fence lines and not located on the frontage of the buildings or on balconies and must not be visible from the street frontage or from adjoining properties.

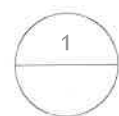
1800ht painted timber picket screen fences between units and to adjoining boundaries unless other wise noted

1no: recycle & general refuse bin each unit (typical) provide concrete hardstand

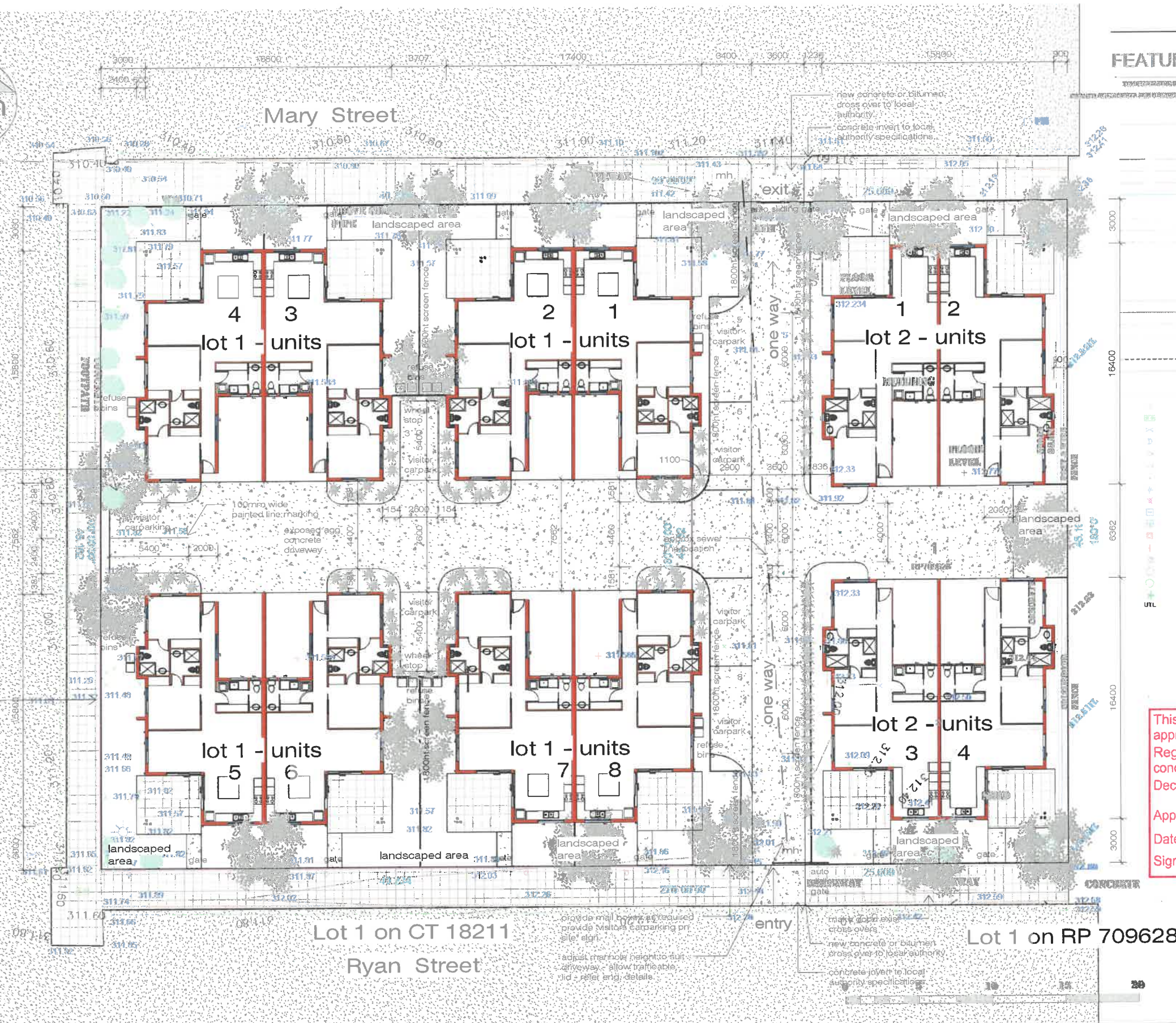
1200ht painted timber picket fence to street boundaries

### note

drawings to be read in conjunction with local authority development approval - MC20-127 dated 11/12/2020



site plan  
1 : 200



This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice.

App Ref: MC21/81  
Date: 15 June 2021  
Signed: *ML*

Lot 1 on CT 18211  
Ryan Street

Lot 1 on RP 709628



Preliminary  
not to be used for construction purposes

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### Revision Schedule

No	Description	Date
No		



project:  
Proposed Multiple Dwellings

for:  
B & M Bennetto  
at:  
68-70 Mary Street  
Charters Towers

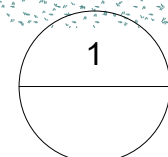
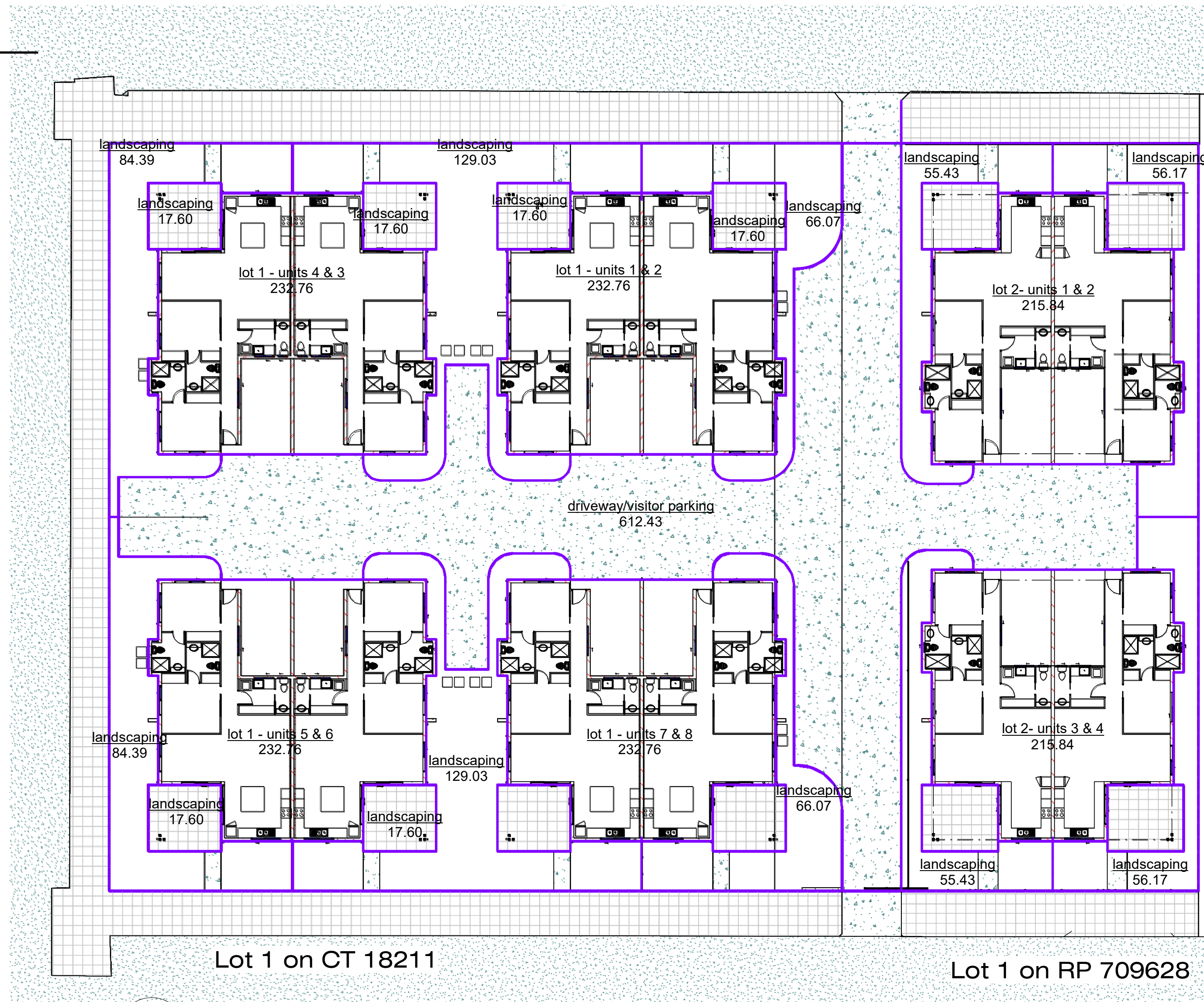
Issue Date august 2020

Drawn	Author
scale	As indicated
sheet	wd 02

20-036

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1 site area break down

1 : 200

Gross Area Schedule				
number	Count	Name	Area	percentage
building				
1	1	lot 1 - units 1 & 2	232.76 m <sup>2</sup>	8%
2	1	lot 1 - units 4 & 3	232.76 m <sup>2</sup>	8%
3	1	lot 1 - units 5 & 6	232.76 m <sup>2</sup>	8%
4	1	lot 1 - units 7 & 8	232.76 m <sup>2</sup>	8%
5	1	lot 2- units 1 & 2	215.84 m <sup>2</sup>	8%
6	1	lot 2- units 3 & 4	215.84 m <sup>2</sup>	8%
building: 6	6		1362.72 m <sup>2</sup>	48%
driveway/parking				
7	1	driveway/visitor parking	612.43 m <sup>2</sup>	21%
driveway/parking: 1	1		612.43 m <sup>2</sup>	21%
landscape				
8	1	landscaping	84.39 m <sup>2</sup>	3%
9	1	landscaping	129.03 m <sup>2</sup>	5%
10	1	landscaping	66.07 m <sup>2</sup>	2%
11	1	landscaping	17.60 m <sup>2</sup>	1%
12	1	landscaping	17.60 m <sup>2</sup>	1%
13	1	landscaping	17.60 m <sup>2</sup>	1%
14	1	landscaping	17.60 m <sup>2</sup>	1%
15	1	landscaping	17.60 m <sup>2</sup>	1%
16	1	landscaping	84.39 m <sup>2</sup>	3%
17	1	landscaping	66.07 m <sup>2</sup>	2%
18	1	landscaping	129.03 m <sup>2</sup>	5%
19	1	landscaping	17.60 m <sup>2</sup>	1%
20	1	landscaping	55.43 m <sup>2</sup>	2%
21	1	landscaping	56.17 m <sup>2</sup>	2%
22	1	landscaping	56.17 m <sup>2</sup>	2%
23	1	landscaping	55.43 m <sup>2</sup>	2%
landscape: 16	16		887.78 m <sup>2</sup>	31%
Grand total: 23	23		2862.93 m <sup>2</sup>	100%

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App Ref: MC21/81

Date: 15 June 2021

Signed:

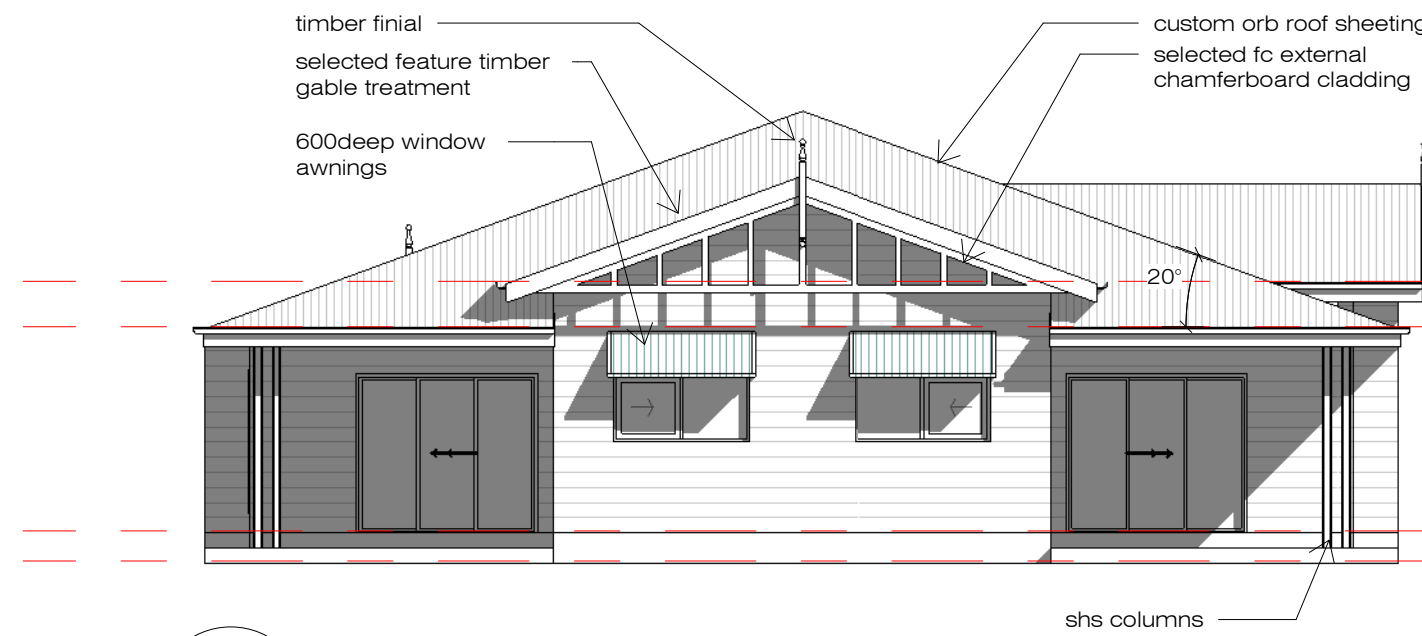
#### NOTES:

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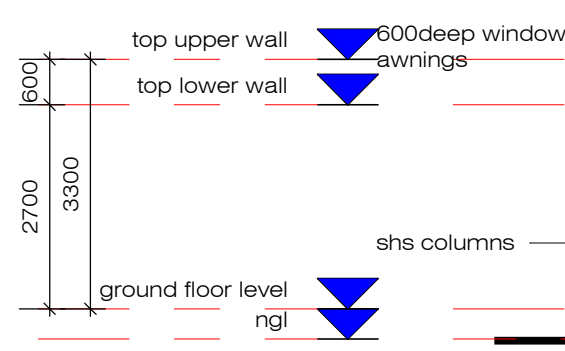
No	Description	Date
1		



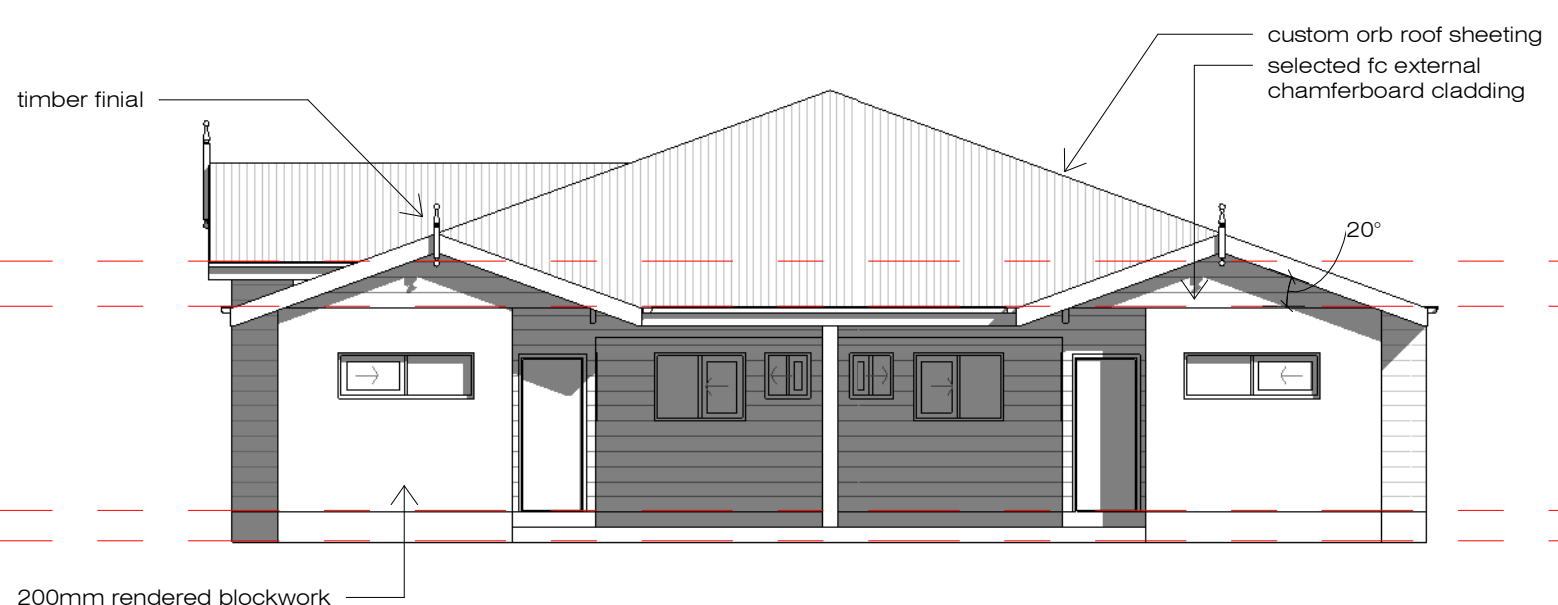




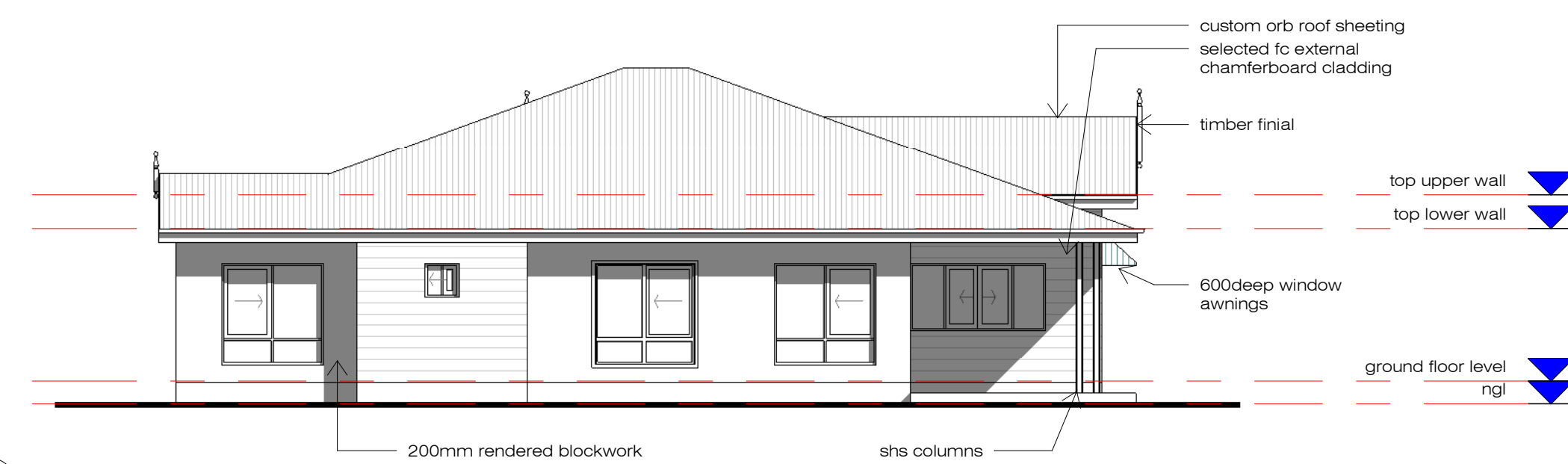
1 front elevation (street)  
1 : 100



4 side elevation (street/main driveway)  
1 : 100



2 rear elevation (center driveway)  
1 : 100



3 side elevation  
1 : 100



5 3D View A

lot 2 - units 1, 2, 3, 4  
unit 3 and 4 mirrored

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No	Revision Schedule	Date
	Description	



project:  
Proposed Multiple Dwellings  
for:  
B & M Bennetto  
at:  
68-70 Mary Street  
Charters Towers

Issue Date	august 2020
Drawn	Author
scale	1 : 100
sheet	sk_17
20-036	
printed 13/04/2021 4:51:07 PM	

Preliminary  
not to be used for construction purposes

note

drawings to be read in conjunction with local authority development approval

1. provide hard standing area for wheelie bins  
provide hose cock & hose
2. a/c condensers are to be located below fence lines and not located on the frontage of the buildings or on balconies and must not be visible from the street frontage or from adjoining properties.
3. refer engineers details for all civil & storm water details

building classification = 1

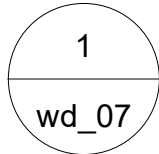
1. all structural/civil content of the project to engineers details.
2. the electrical contractor is to confirm with the relevant authority that sufficient electrical supply is available for the development
3. refer air-conditioning supplier for location/size of units and air-conditioning requirements allow powder coated aluminium windows at ceiling transitions, steel framed bulkheads are to be provided and lined with 10mm plasterboard to internal face unless otherwise noted on drawings. provide suspended ceilings/ducts as required to conceal services
4. provide colorbond flashing/capping as required
5. the kitchen cupboard layout shown on this plan is only an indicative layout. the final design shall be determined by the p.c. allowance shown in the proposal
6. wc doors to be provided with lift off hinges as per b.c.a.
7. all structural timber to be stress grade f14 unless otherwise noted. all framing to as 1684.3-2006 residential timber-framed construction part 3 cyclonic areas.
8. all steelwork to be primed & painted. all welds to be 6.0mm continuous fillets.
9. roof framing plan to be supplied to local authority, building contractor & relevant consultants with all relevant roof bracing, girder truss tie-down details & any relevant information by roof manufacturer prior to the commencement of any construction.

sd indicates smoke detectors  
(install to Australian standards)

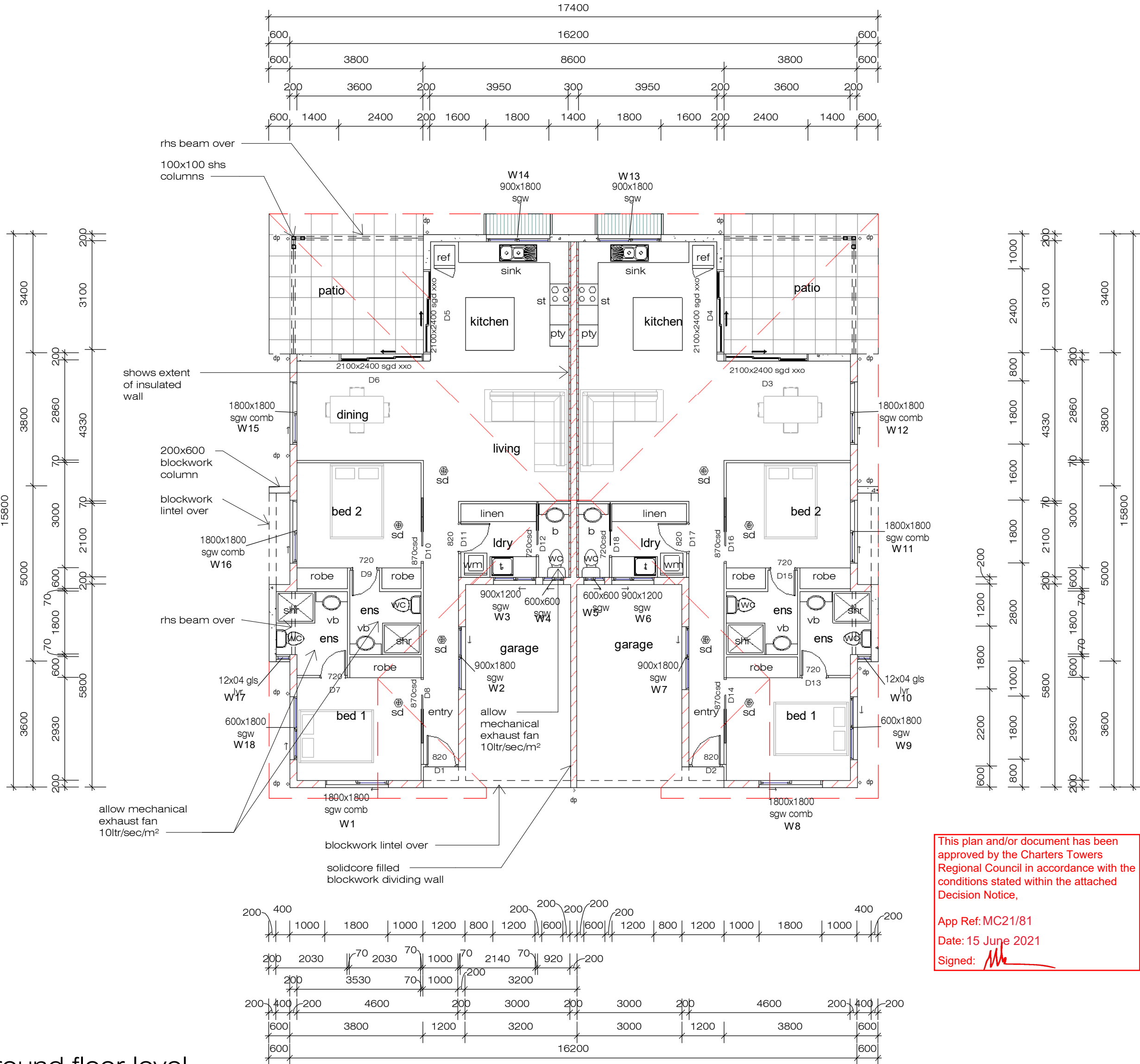
internal s/w partition

(use f5 or the mgp10 equivalent)

wall ht	stud framing
2700mm	70x35 f5 stud framing at 450max. crs.(not notched)
2701 to 3600mm	90x35 f5 stud framing at 450max. crs.(not notched)
3601 to 4200mm	90x45 f5 stud framing at 450max. crs.(not notched)
nogging	at 1350 crs
top & bottom lining	single top & bottom plate. 10mm plasterboard lining. 6mm villaboard to wet areas.



ground floor level  
1 : 100



sustainable buildings schedule

class 1 and 2 buildings

1. specification of 3-star rating water consumption hydraulic/ablutionary fixtures
2. 5 star gas hot water service
3. dual flush toilets (4-star)
4. energy efficient lighting (80% total internal fixed fixtures)
5. passive energy efficiency through orientation of openings and building to suit prevailing breezes
6. windows locations to promote cross ventilation
7. wall shading (as per NCC)
8. insulation to roof space (as per the NCC)
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17. provision of water tanks as required to meet queensland development code part MP 4.2

renovations/extensions  
(additional requirements)

1. existing water/lighting fixtures and air-conditioners to be upgraded as required to meet queensland development code part MP 4.1 refer table MP 4.1 for extent or works

Area Schedule (Gross Building)

Count	Name	Area	%
-------	------	------	---

unit 1			
1	unit 1 patio	17.60	7%
1	unit 1 living	97.68	36%
1	unit 1 garage/entry	18.70	7%
3		133.98	
unit 2			
1	unit 2 patio	17.60	7%
1	unit 2 living	97.68	36%
1	unit 2 garage/entry	18.70	7%
3		133.98	
6		267.96	



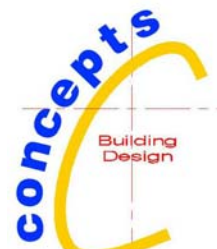
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Revision Schedule

No Description Date



tel: 07 4728 3228

project:  
Proposed Multiple Dwellings

for:  
B & M Bennetto  
at:  
68-70 Mary Street  
Charters Towers

Issue Date august 2020

Drawn

scale 1 : 100

sheet wd\_05

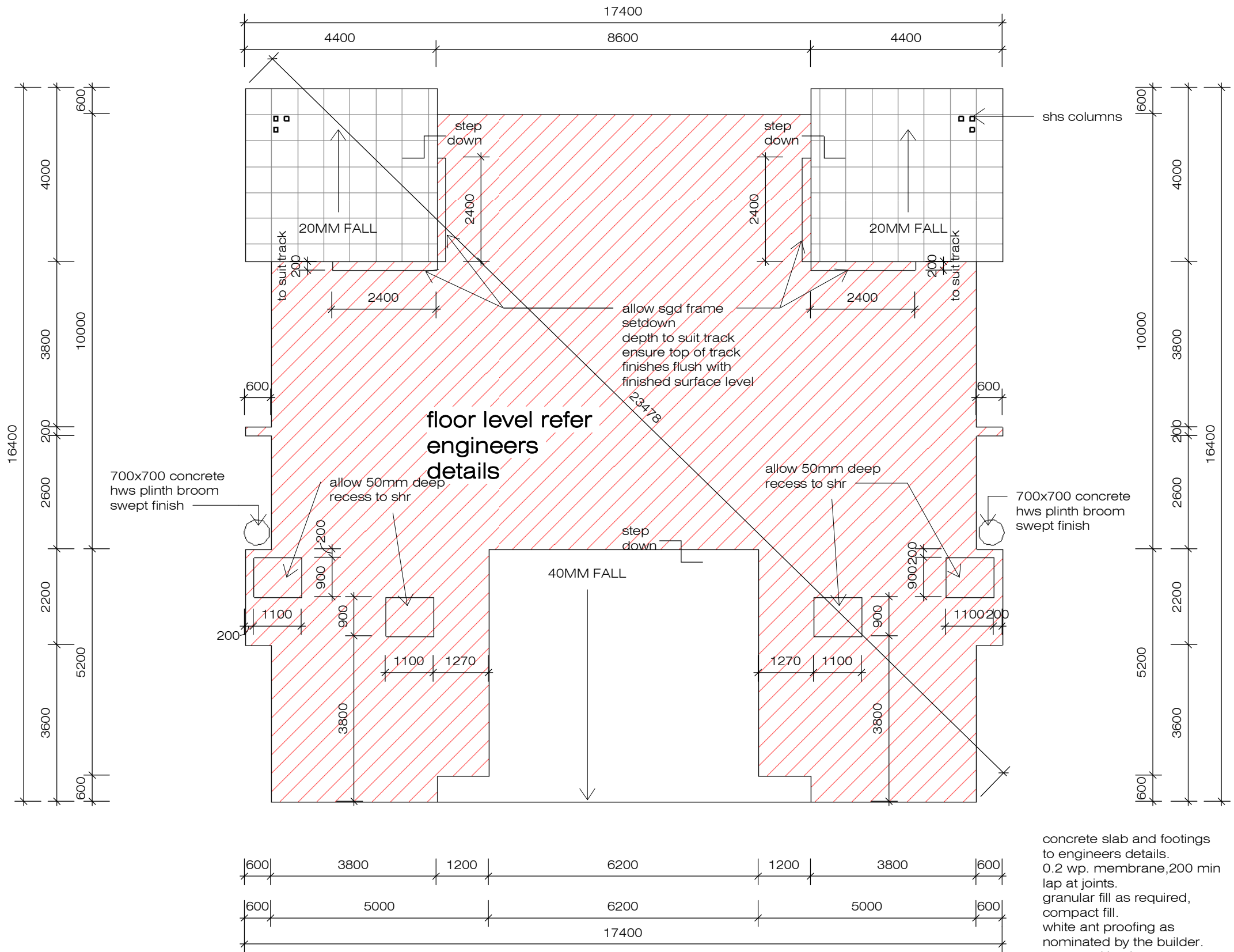
20-036

printed 13/04/2021 2:58:01 PM

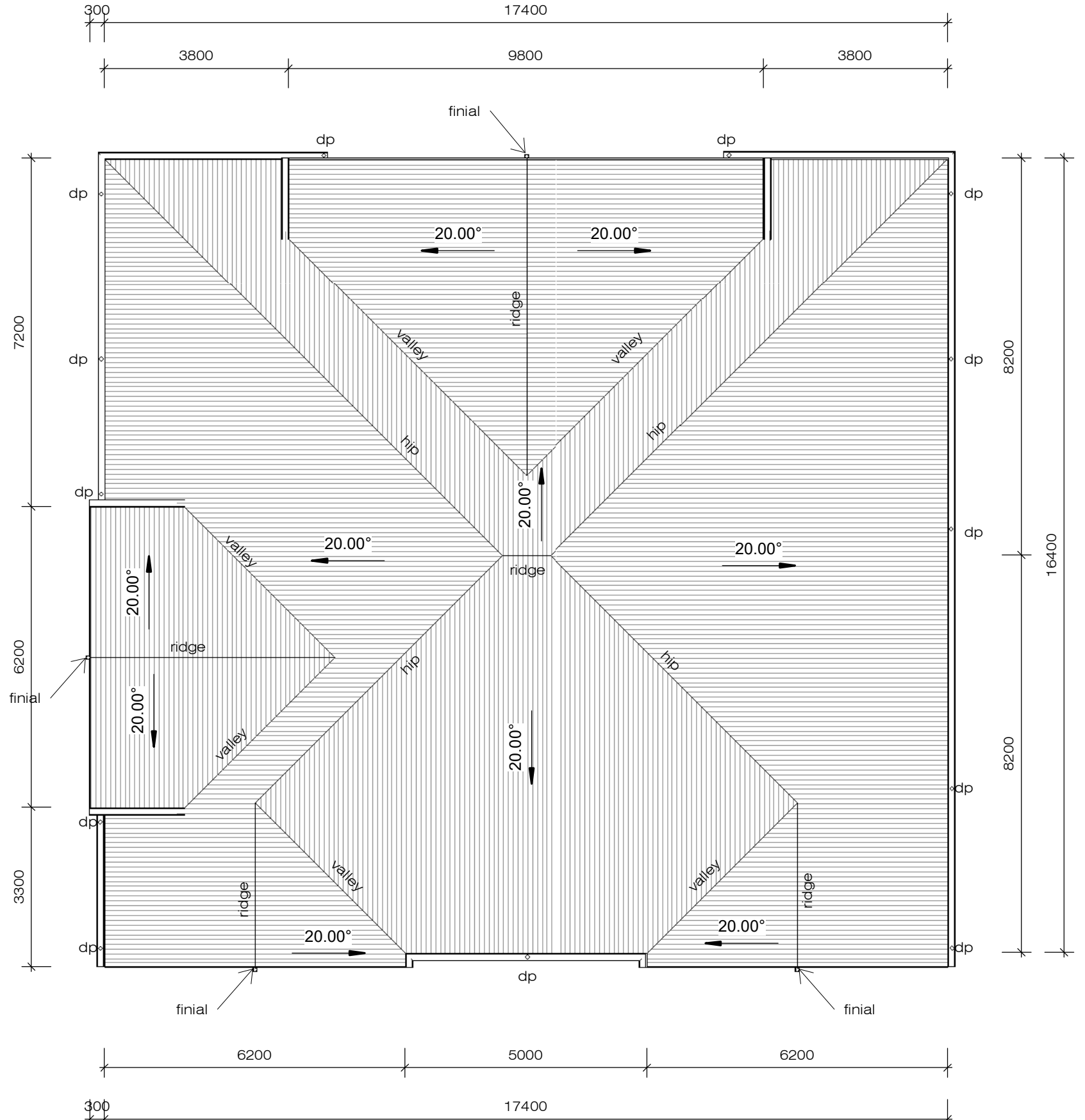


Gutters and downpipes  
(refer Part 3.5.2 NCC 2016 for further details)

125mm "D" Gutter  
min 400wide valley gutter  
1:100 fall to downpipes (evenly split falls between downpipes)  
min 90dia upvc down pipes  
location of downpipes as per floor plan  
drain roof run off from downpipes away from structure (ensure no ponding of water)  
overflow:- external edge of gutter to be 10mm min below top of fascia (refer table 3.5.2.4 -A - controlled front height bead)  
vermin and bird proof



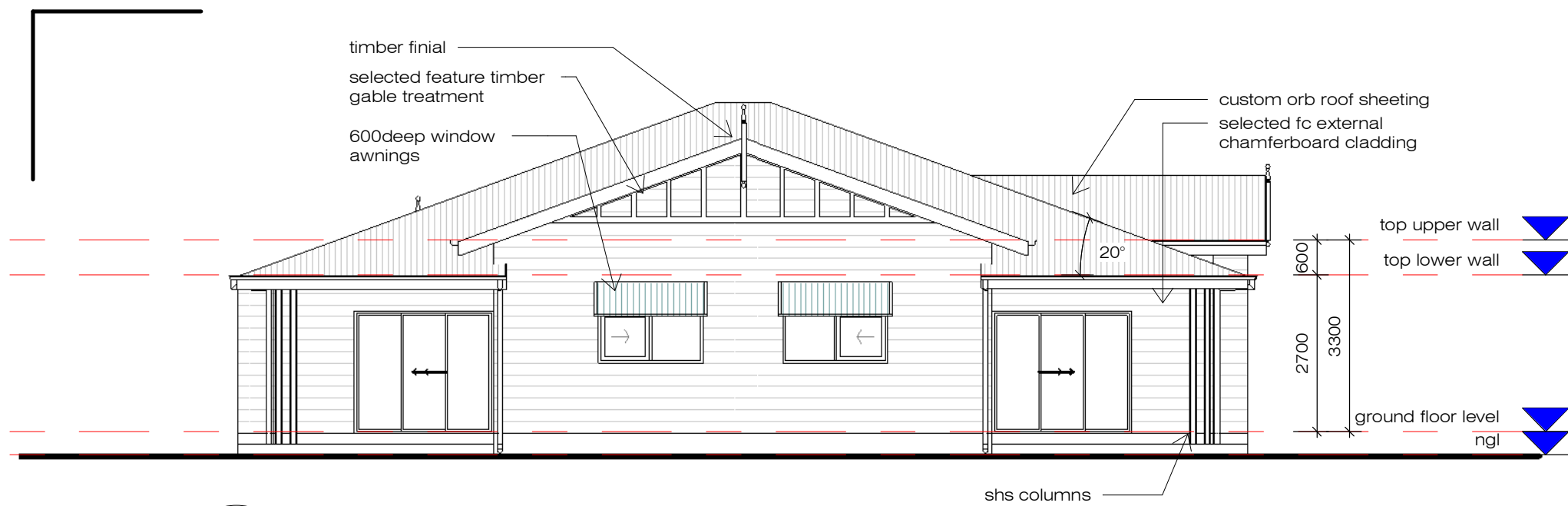
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wd\_07 1 : 100



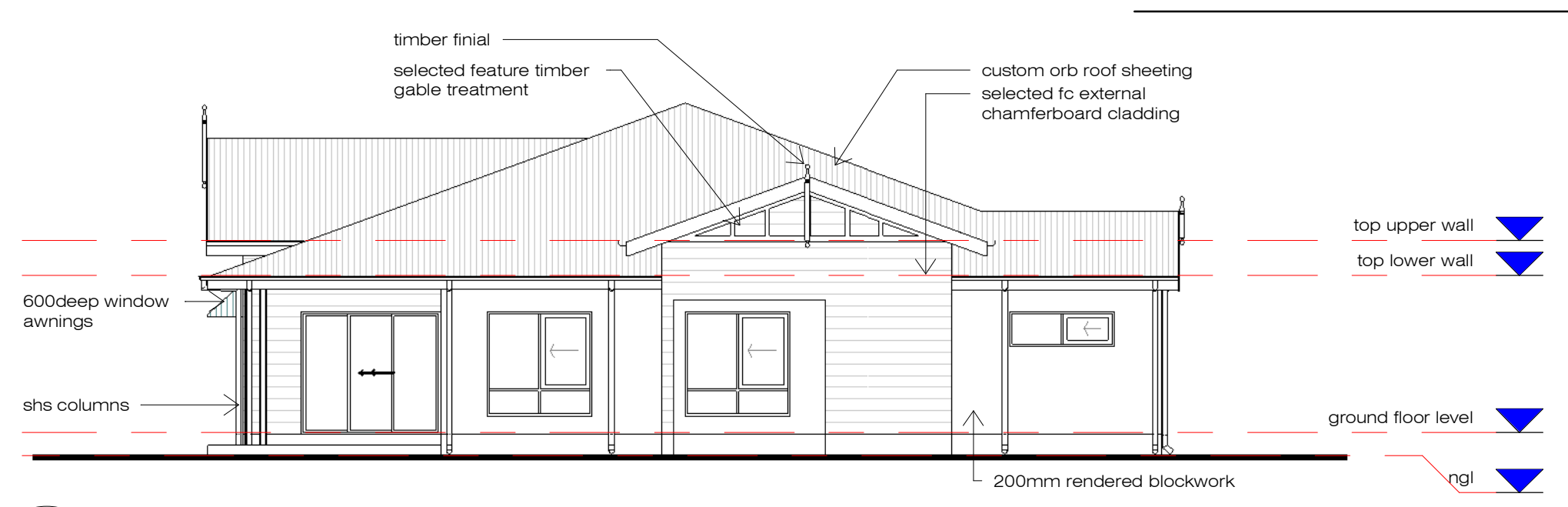
2 roof plan  
wd\_07 1 : 100

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Date: 15 June 2021  
Signed: [Signature]

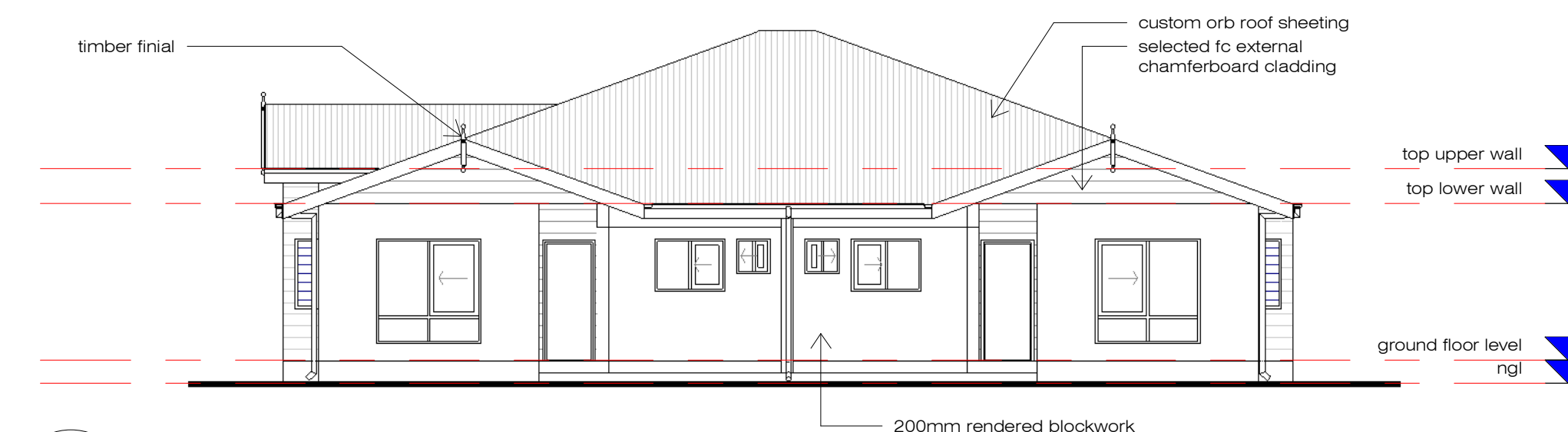
Lot 1 - units 1,2,7,8



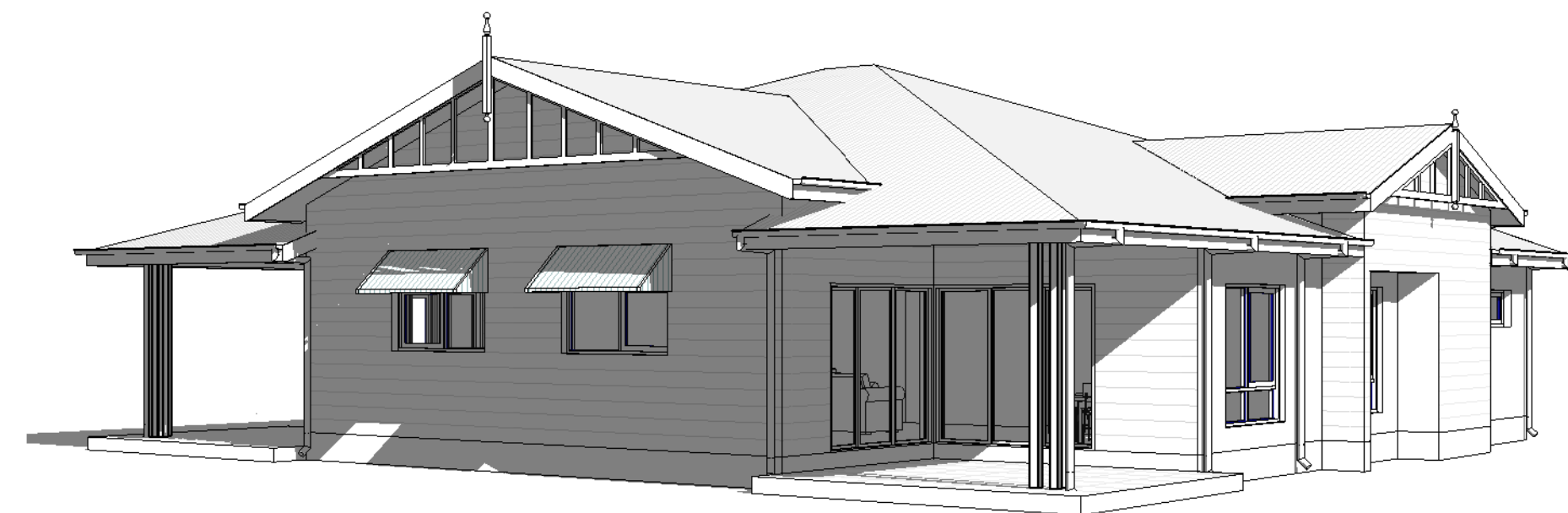
1 front elevation (street)  
1 : 100



4 side elevation (street/main driveway)  
1 : 100



2 rear elevation (center driveway)  
1 : 100



5 3D View A

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Signed:



3 side elevation  
1 : 100

Lot 1 - units 1,2,7,8



drawings to be read in conjunction with local authority development approval

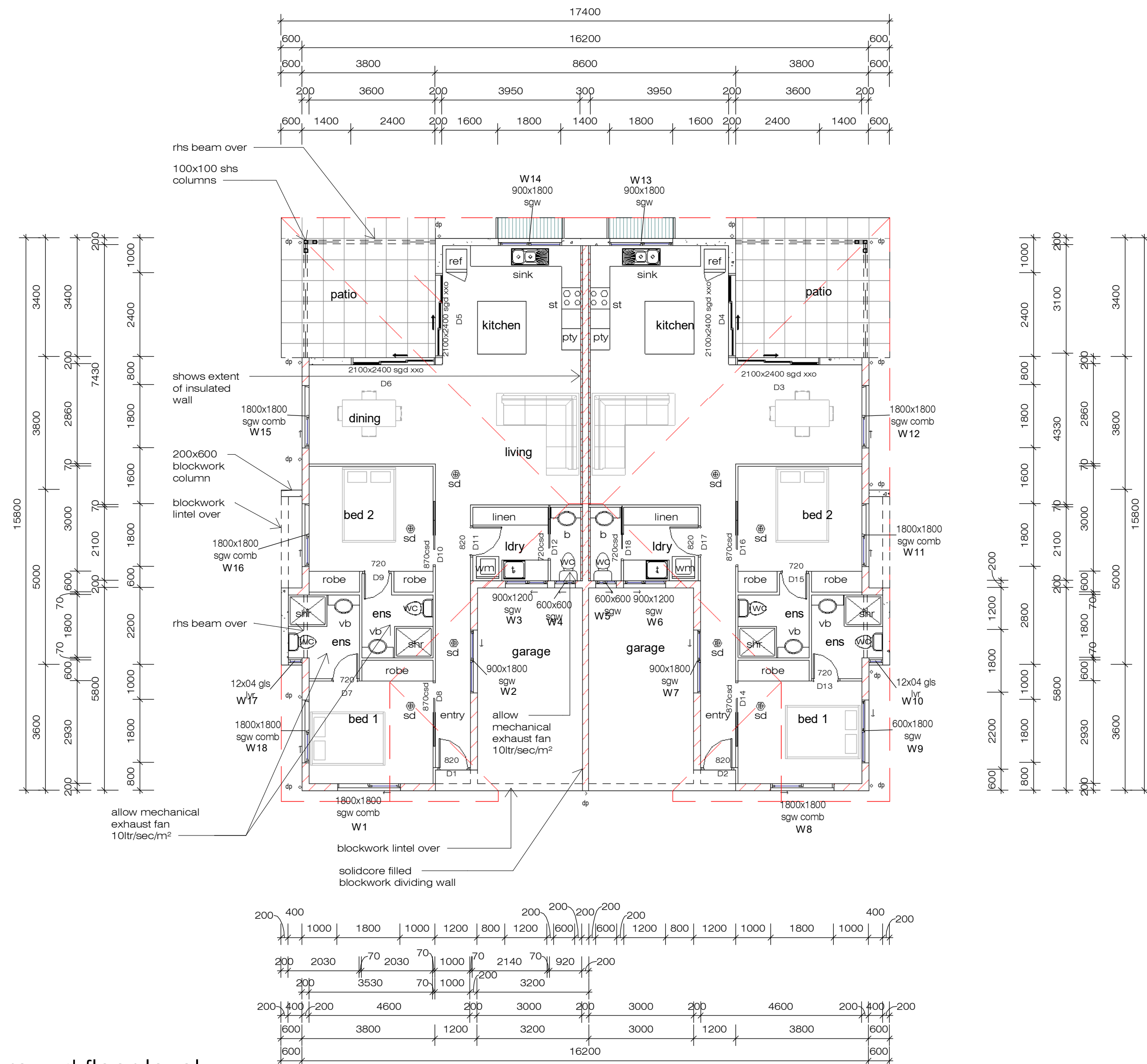
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 indicates smoke detectors  
sd (install to australian standards)

internal s/w partition (use f5 or the mgp10 equivalent)	
wall ht	stud framing
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nogging	at 1350 crs
top & bottom lining	single top & bottom plate, 10mm plasterboard lining.
	6mm villaboard to wet areas.



1

wd 13

ground floor level

1 : 100

Lot 1 - units 3,4,5,6

## class 1 and 2 buildings

1. specification of 3-star rating water consumption hydraulic/ablutatory fixtures
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1	unit 2 garage/entry	7%
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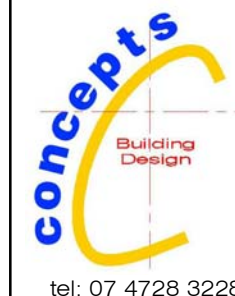


Preliminary  
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Revision Schedule		
No	Description	Date



project:	Proposed Multiple Dwellings
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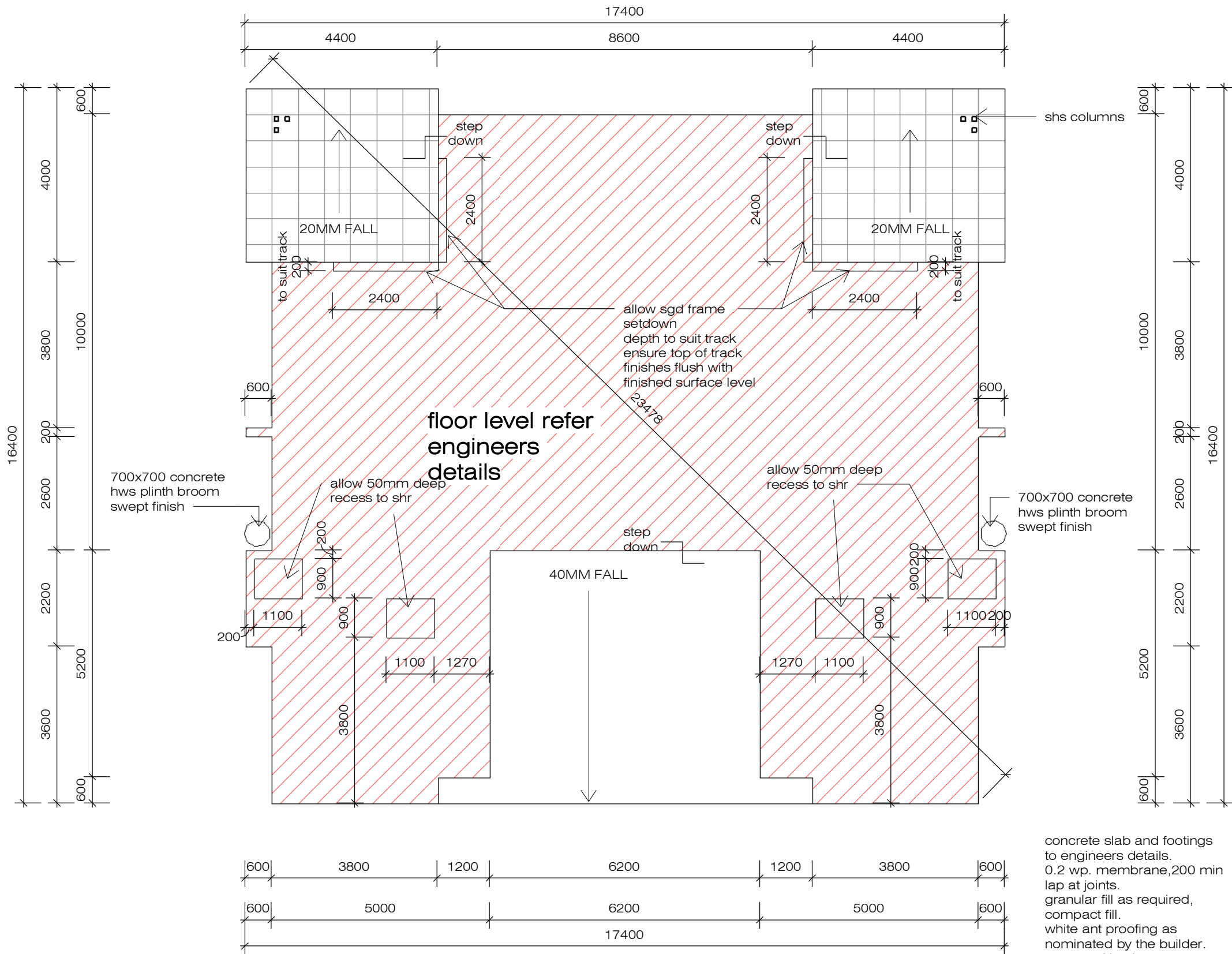
for:  
B & M Bennetto  
at:  
68-70 Mary Street  
Charters Towers

Issue Date		august 2020
Drawn		
scale	1 : 100	
sheet	wd_11	
20-036		
printed 13/04/2021 2:55:51 PM		



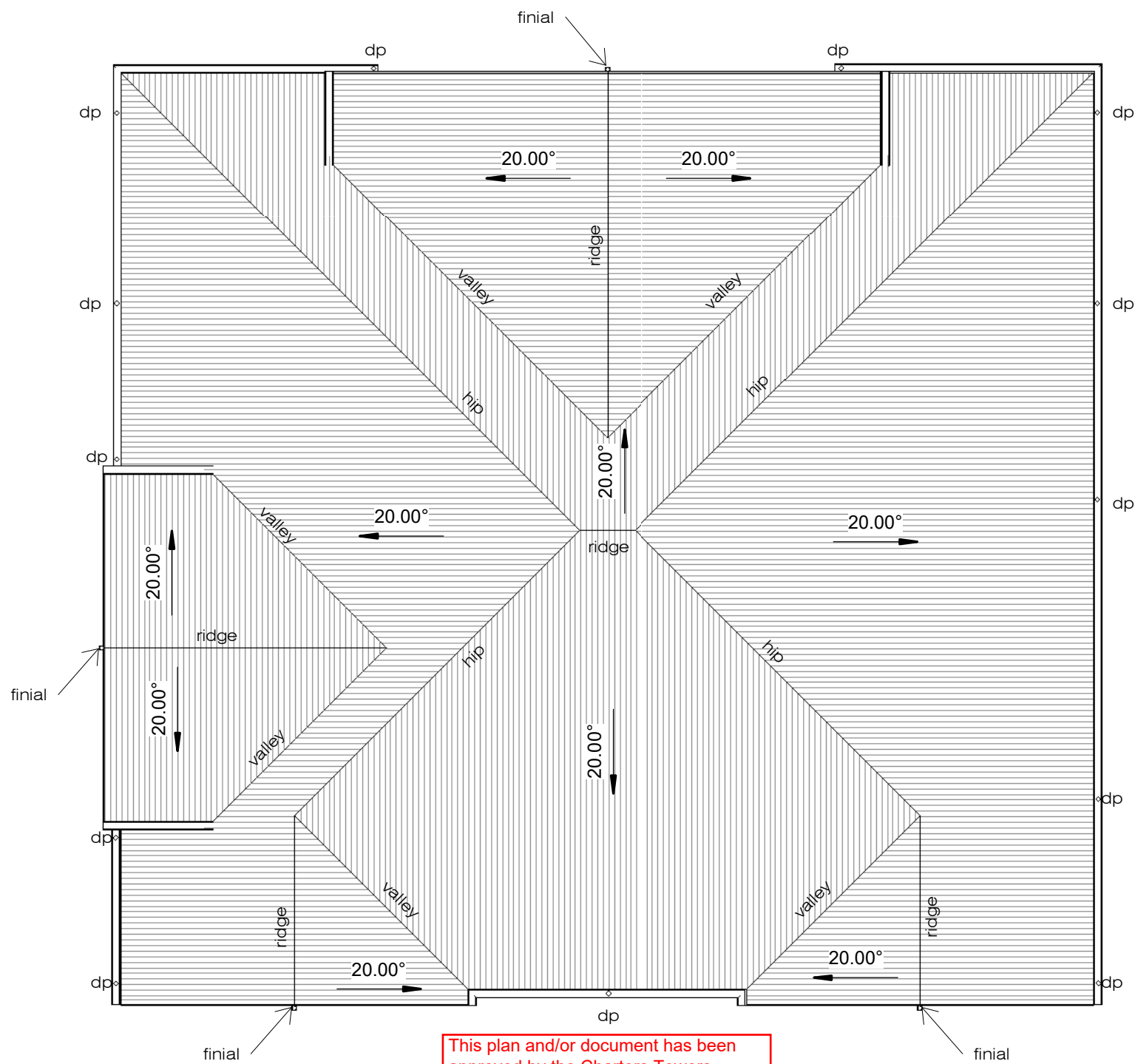
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drain roof run off from downpipes away from structure (ensure no ponding of water)  
overflow:- external edge of gutter to be 10mm min below top of fascia (refer table 3.5.2.4 -A - controlled front height bead)  
vermin and bird proof



concrete slab and footings to engineers details.  
0.2 wp. membrane, 200 min lap at joints.  
granular fill as required, compact fill.  
white ant proofing as nominated by the builder.  
approved by the owner and comply with Australian standards.

fall all external slabs to outside edges.

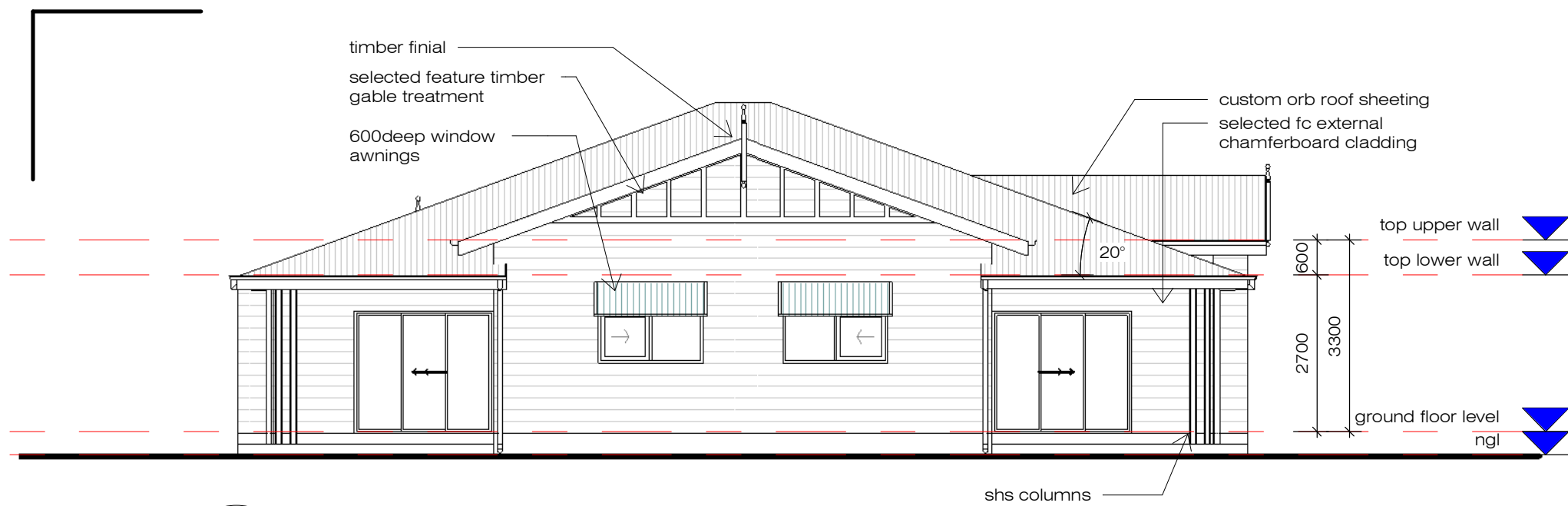


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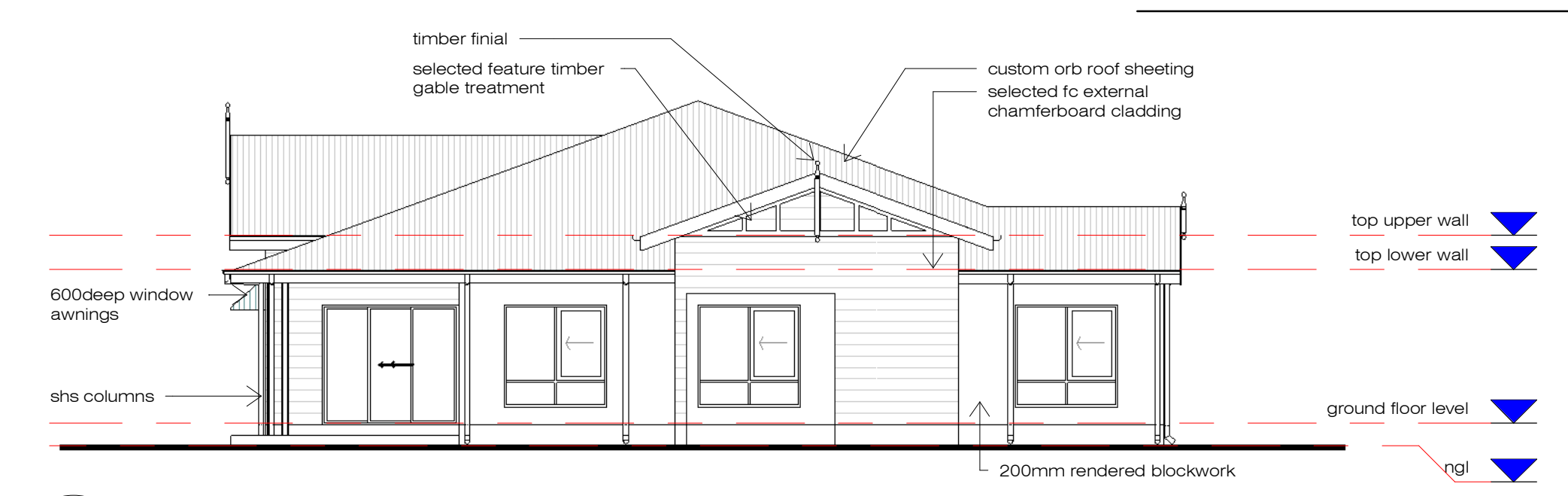
1 slab layout  
wd\_13  
1 : 100

2 roof plan  
wd\_13  
1 : 100

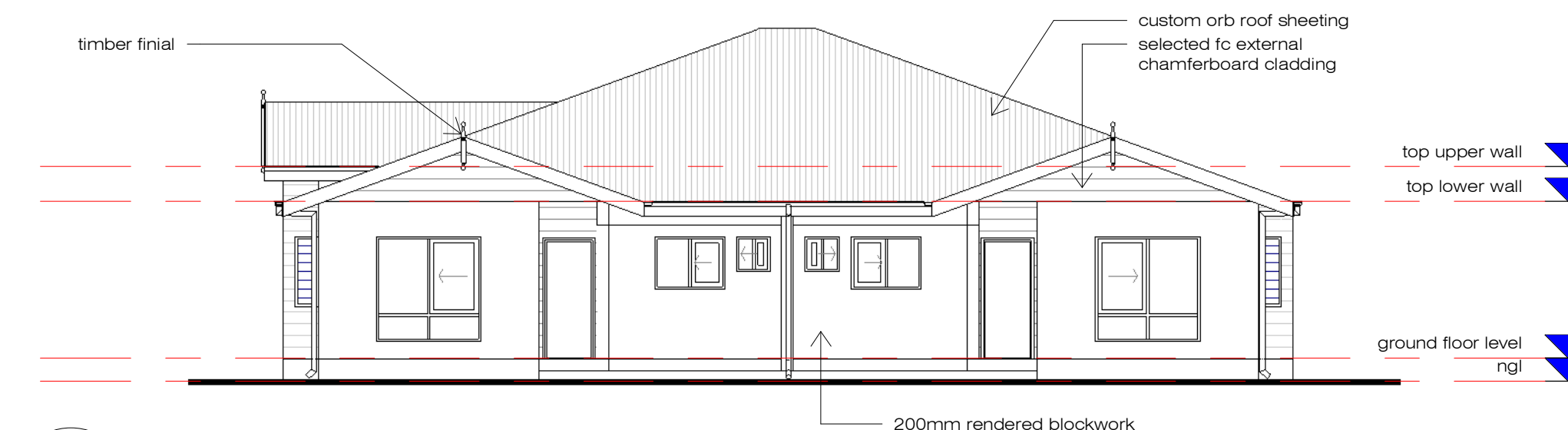
lot 1 - units 3,4,5,6



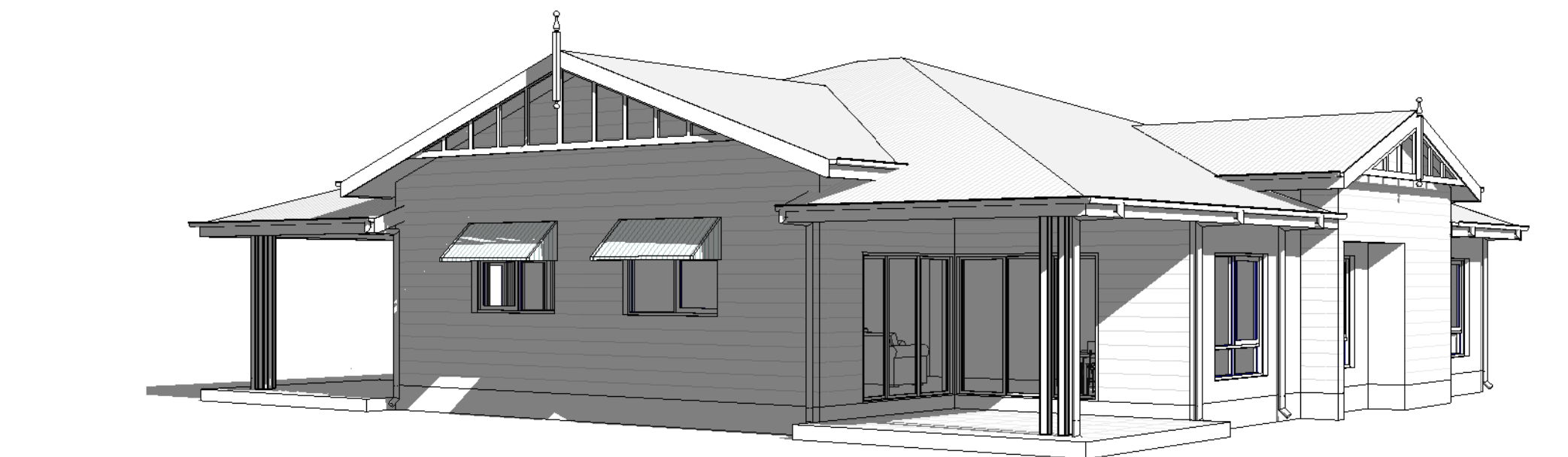
1 front elevation (street)  
1 : 100



4 side elevation (street/main driveway)  
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2 rear elevation (center driveway)  
1 : 100






5 3D View A

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Signed:



3 side elevation  
1 : 100

## Lot 1 - units 3,4,5,6

 <div>NORTHERN CONSULTING engineers</div>	 <div>RJG BUILDERS YOUR CHOICE FOR A PROFESSIONAL BUILD</div>	<div>Preliminary</div> <div>not to be used for construction purposes</div>	<div>NOTES:</div> <div>THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT. COMPLY WITH ALL RELEVANT AUTHORITY REG. &amp; BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS &amp; LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.</div>	<table><thead><tr><th>No</th><th>Revision Schedule</th><th>Date</th></tr></thead><tbody><tr><td></td><td>Description</td><td></td></tr></tbody></table>	No	Revision Schedule	Date		Description		 <div>tel: 07 4728 3228</div>	<div>project: Proposed Multiple Dwellings</div> <div>for: B &amp; M Bennetto</div> <div>at: 68-70 Mary Street Charters Towers</div>	<table><tr><td>Issue Date</td><td>august 2020</td></tr><tr><td>Drawn</td><td></td></tr><tr><td>scale</td><td>1 : 100</td></tr><tr><td>sheet</td><td>wd_13</td></tr><tr><td colspan="2">20-036</td></tr><tr><td colspan="2">printed 13/04/2021 2:55:51 PM</td></tr></table>	Issue Date	august 2020	Drawn		scale	1 : 100	sheet	wd_13	20-036		printed 13/04/2021 2:55:51 PM	
No	Revision Schedule	Date																							
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LANDSCAPE SPECIFICATION

GENERAL:

The landscape contractor is to check all drawings and report any ambiguities or anomalies to the landscape architect for clarification as soon as practicable. No claim for extras arising from failure to obtain clarification of such matters will be allowed.

Landscape drawings are to be read in conjunction with associated approved architectural and engineering drawings.

All works to be carried out in accordance with relevant local authority specifications & details where applicable.

EXISTING SERVICES:

The landscape contractor shall locate any existing services before commencement of work. Any existing services damaged in any way as a result of the activities of the landscape contractor shall be restored to its original condition to the satisfaction of the Project Manager, either by or at the expense of the landscape contractor.

SITE MANAGEMENT:

Ensure all vehicles leaving the job site are reasonably free and clean from soil and/or mud.

RUBBISH REMOVAL:

All rubbish including weed material and builders' debris shall be removed from site and disposed of in accordance with Council requirements.

PLANT MATERIAL:

Confirm at time of tendering that all plant material species, minimum sizes & numbers as scheduled, will be available. No substitutions to be made without approval.

Plants shall be well established with good form & free from pest & disease with large healthy root systems with a good root to shoot ratio, not pot bound & hardened off. Plant containers shall be free from weeds.

All plants are to confirm to the current issue of NATSPEC Guide to Specifying Trees.

Plants are to be inspected for quality and approved for delivery by the Project Manager and Landscape Architect.

SITE PREPARATION:

Cultivate to the following depths;

- 200mm for turf
- 300mm for shrubs and ground covers
- 800mm for trees

prior to backfilling with imported organic garden soil.

Imported garden soil must comply with the current version of AS 4419 Soils for landscaping and garden use.

The organic material used in the soil mix must also be fully composted to ensure minimal slumpage over time.

Backfill in layers compacting the soil regularly to minimise subsidence over time. Finish imported soil 75mm below adjacent pavements after settlement.

PLANTING:

Planting to be in accordance with NATSPEC Guide 0250 Landscape Gardening.

Do not vary the plant locations from those shown on the drawings unless otherwise directed. Obtain approval of setout before planting. Do not plant in unsuitable weather or site conditions. Excavate planting holes to a size that allows a minimum of 100mm site topsoil backfill beneath & around the root system of the plant.

Apply a slow release fertiliser to manufacturers specifications at time of planting. Water immediately after planting & thereafter as directed to maintain growth free of stress.

TURF:

Turf to be in accordance with NATSPEC Guide 0250 Landscape gardening

Turf shall be a minimum 25mm mat delivered moist, not crumbly and laid within 48 hours of cutting.

Turf shall be free of weeds, rolled on placement and watered thoroughly for establishment.

MULCHING:

All garden areas are to be mulched with a specified garden mulch to a maximum depth of 100mm after settlement. Top up mulch, as and when required, to maintain this depth, at all times.

Mulch must comply with the current version of AS4454 Composts, soil conditioners and mulches.

WATERING:

Deep water all plants at time of planting & as directed thereafter during the maintenance period of the works for the establishment of the plant material.

MAINTENANCE PERIOD:

The maintenance period of 13 weeks for all soft landscape works shall commence at the time of practical completion & shall include;

- min 1 visit per week for the first 6 weeks
- min 1 visit per fortnight for the 6 weeks following

Works to be carried out during this period includes but is not limited to; watering, mowing, weeding, fertilising, pest & disease control, re-seeding, re-staking, re-tying, replacement planting, re-mulching, cultivating, pruning, aerating, renovating, top-dressing and keeping the site tidy.

This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice,

App Ref:MC21/81

Date: 15 June 2021

Signed: 

PROPOSED  
MULTIPLE DWELLINGS

LANDSCAPE WORKS

For

B & M Bennetto

69-70 Mary Street  
Charters Towers Qld

Property Description

Lot 1 on CT 18211 & Lot 1 on RP709628

Charters Towers Regional Council  
MC20-127 dated 11.12.2020

DRAWING LIST

LS-01 Locality Plan, Notes & Drawing List

LS-02 Surface Treatment Plan

LS-03 Planting Plan

LS-04 Landscape Details & Plant Schedule

Drawing Notes:

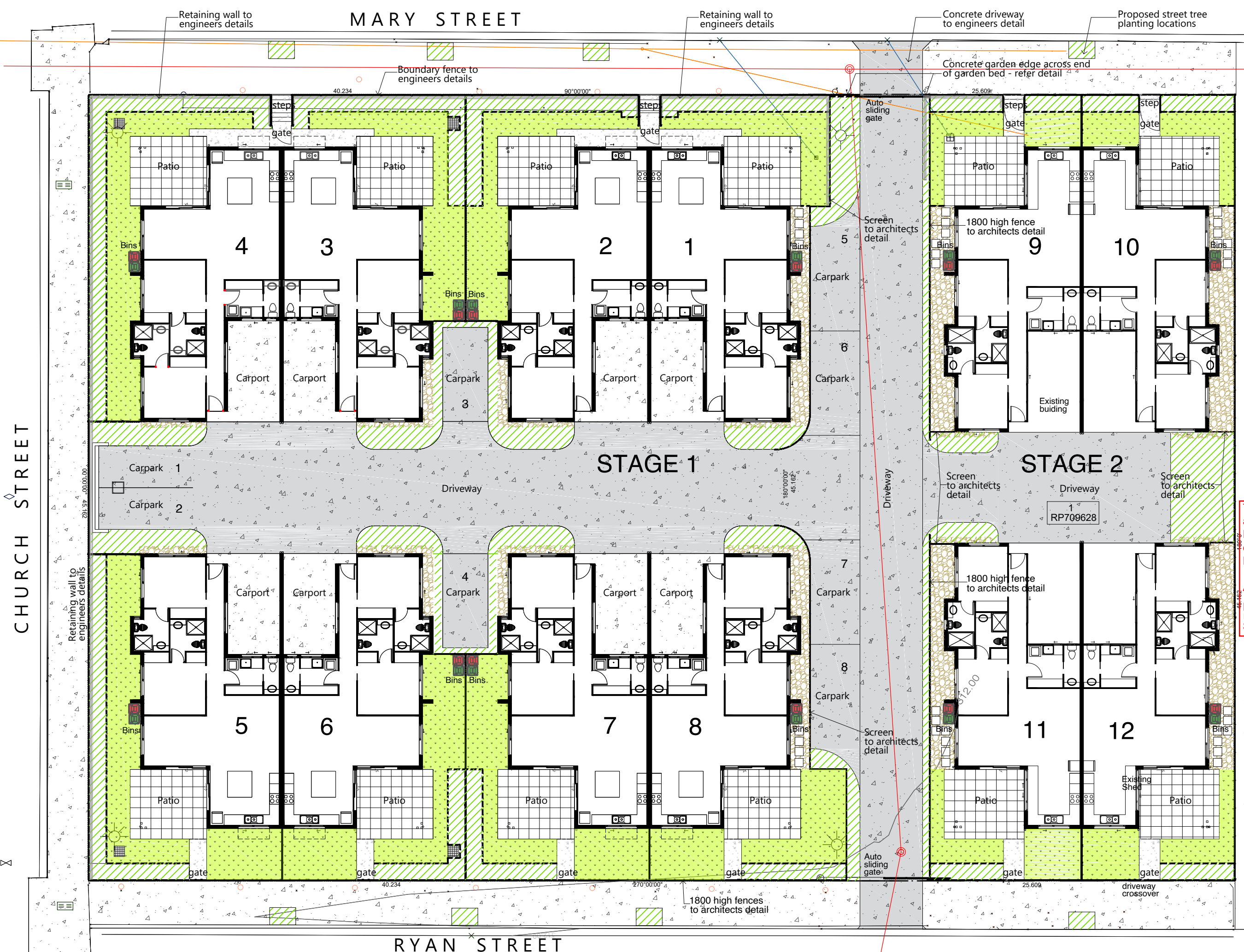
These drawings are to be read in conjunction with architectural, engineering, hydraulics, communications and electrical drawings.

Refer to architectural drawings for all building setout and dimensions.



LOCALITY PLAN

Not to scale



- ### LEGEND-Surfaces
- 3.75 — Existing surface contours
  - Driveway surface -to engineers detail
  - Concrete footpath -to engineers detail
  - Pavement to architects detail
  - Select pebble surface 20mm dia washed gravel
  - Mulched & planted garden beds
  - Turf grass surface as specified
  - Concrete garden edge Colour; black or dark grey -refer detail LS-04
  - Paver steppers in gravel; 400x400x40mm nominal
  - Concrete SWD field inlet
  - Poly SWD field inlets

- ### LEGEND - Existing services
- Water
  - Stormwater
  - Electrical
  - Power

This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice,

App Ref: MC21/81

Date: 15 June 2021

DRAWING NOTES:

- Signed:
- These drawings are to be read in conjunction with architectural, engineering, hydraulics, communications and electrical drawings. Refer to architectural drawings for all building setout and dimensions.
  - Refer drawing LS-01 for landscape specification.
  - All services and locations shown on the drawing have been derived from survey data and information from approved service authorities. The contractor is to confirm the actual locations of all existing underground services prior to commencing landscape works.
  - All dimensions are in millimetres unless noted otherwise.
  - An automatic irrigation system shall be installed upon completion of the landscape works by a suitably experienced landscape contractor & maintained during the establishment period.





**LEGEND-Planting**

- 3.75 Existing surface contours
- Pavement to architects detail
- Turf grass surface as specified
- Proposed trees & shrubs in mulched garden beds - plants as specified
- Concrete garden edge Colour: black or dark grey - refer detail LS-04

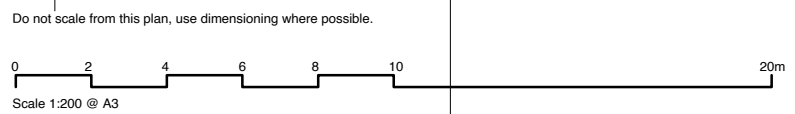
**LEGEND - Existing services**

- Water
- Stormwater
- Sewer
- Power

This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice,

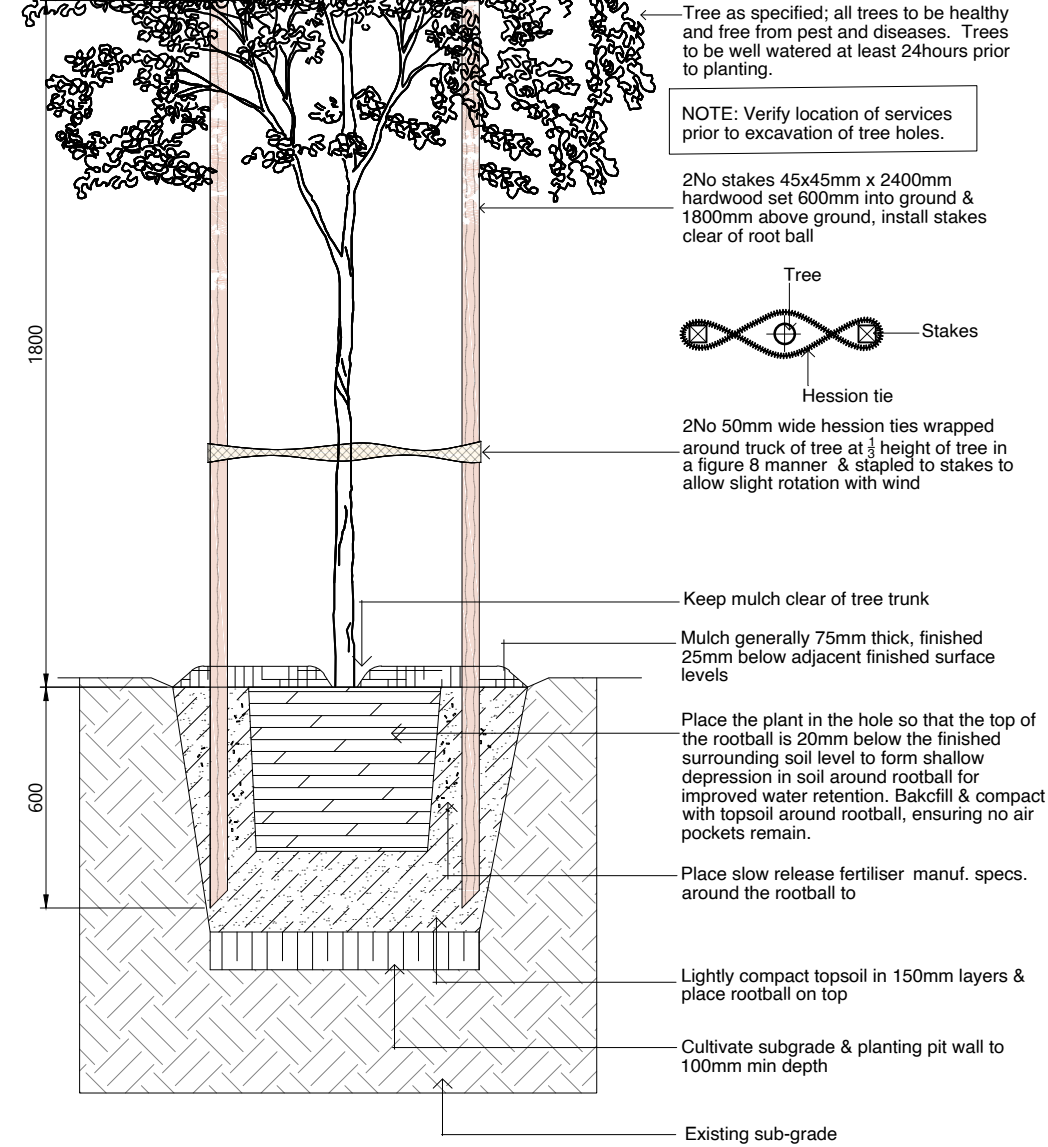
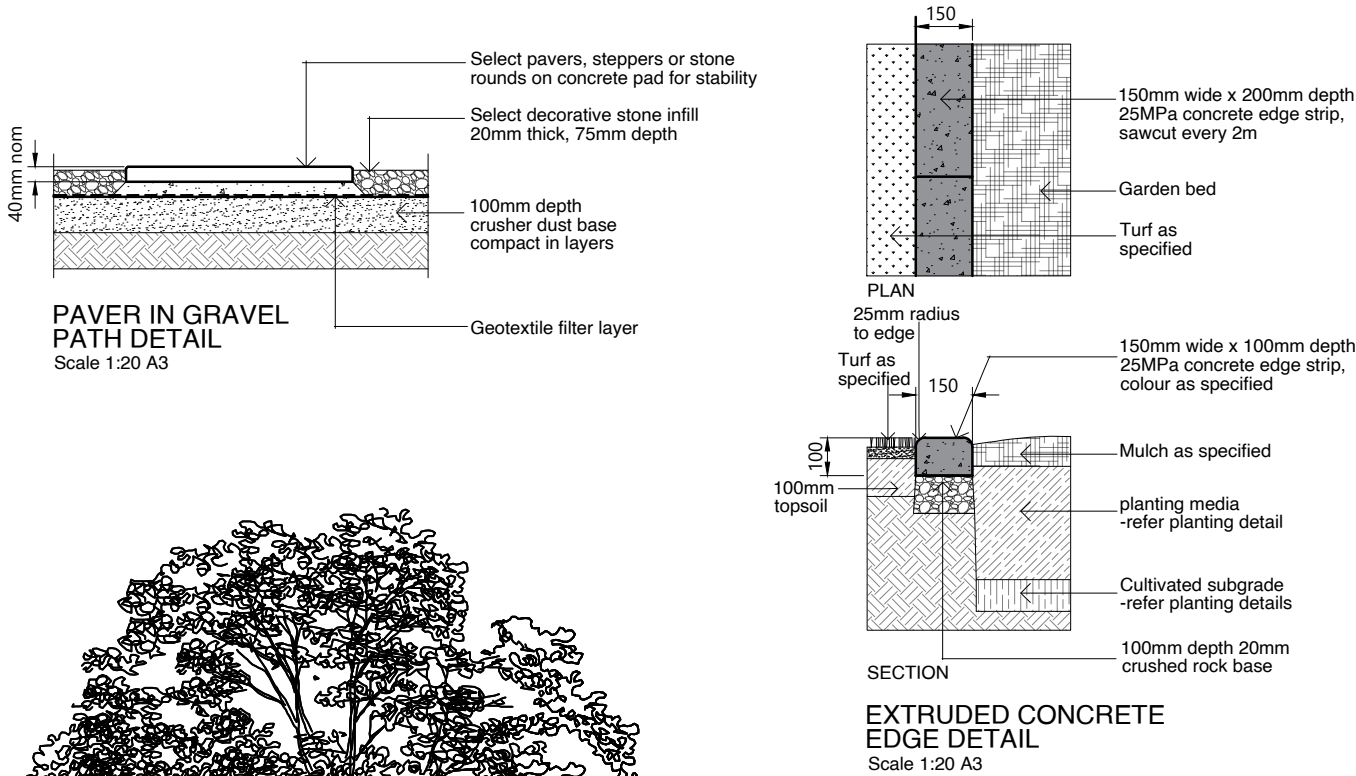
App Ref: MC 2021-001  
Date: 15 June 2021  
Signed: [Signature]

- DRAWING NOTES:**
- These drawings are to be read in conjunction with architectural, engineering, hydraulics, communications and electrical drawings. Refer to architectural drawings for all building setout and dimensions.
  - Refer drawing LS-01 for landscape specification.
  - All services and locations shown on the drawing have been derived from survey data and information from approved service authorities. The contractor is to confirm the actual locations of all existing underground services prior to commencing landscape works.
  - All dimensions are in millimetres unless noted otherwise.
  - An automatic irrigation system shall be installed upon completion of the landscape works by a suitably experienced landscape contractor & maintained during the establishment period. Refer irrigation notes on drawing LS-04.



C	24.05.21	Revision-swales
B	14.05.21	Revision-Stage 2
A	30.03.21	For Approval
Issue	Date	Revision





## IRRIGATION NOTES:

Irrigation systems are to be in accordance with NATSPEC Guide 0254 - Landscape irrigation and shall be installed by a suitably qualified landscape contractor.

Irrigation systems are to be provided to all garden beds & turf areas.

All irrigation systems are too be fully pop-up spray, drip emitter or subsurface micro porous flexible pipe.

Spray sprinklers are to be located for head to head coverage & minimal over-spray onto adjacent hard surfaces.

All irrigation sprinklers are to deliver sufficient moisture for maximum soil absorption an water uptake by plants with minimum runoff.

Prioritise deep, less frequent watering times.

Turf and planted areas shall be on separate irrigation lines.

Automatic control valves shall be located in pits in planting areas; not in turfed areas or near paths or road edges.

Provide protective weatherproof covers to irrigation control equipment to prevent vandalism.

## PLANT SCHEDULE

Abbrev	Botanical name	Common Name	Qty	Container	Hgt at Maturity
<b>TREES</b>					
HAR pen	<i>Harpullia pendula</i>	Tulipwood	14	45L	6m
LIV dec	<i>Livistona decora (decipiens)</i>	Native Cabbage Palm	2	100L+	8m
SYZ Str	<i>Syzygium 'Straight &amp; Narrow'</i>	Columnar Lillypilly	12	25L	3m
TRI lau	<i>Tristania laurina 'Luscious'</i>	Water Gum	7	45L	4m

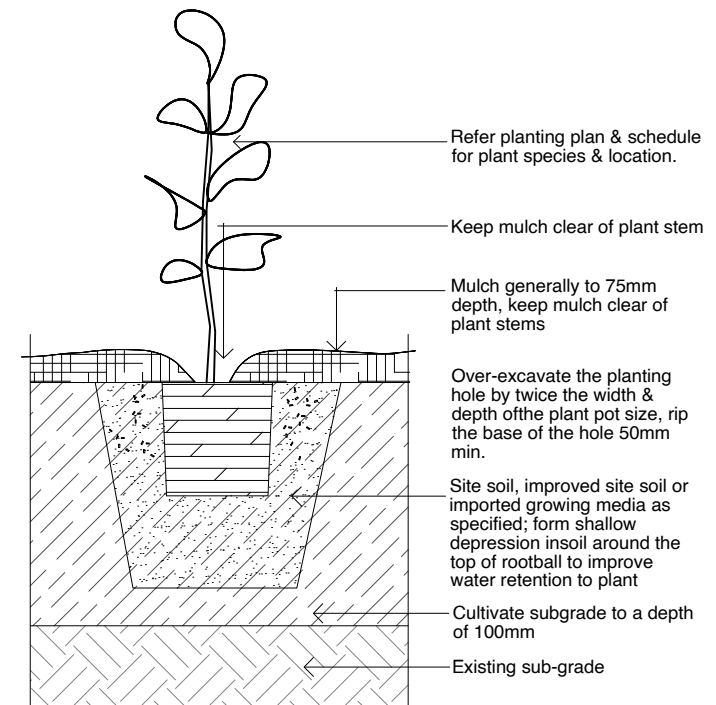
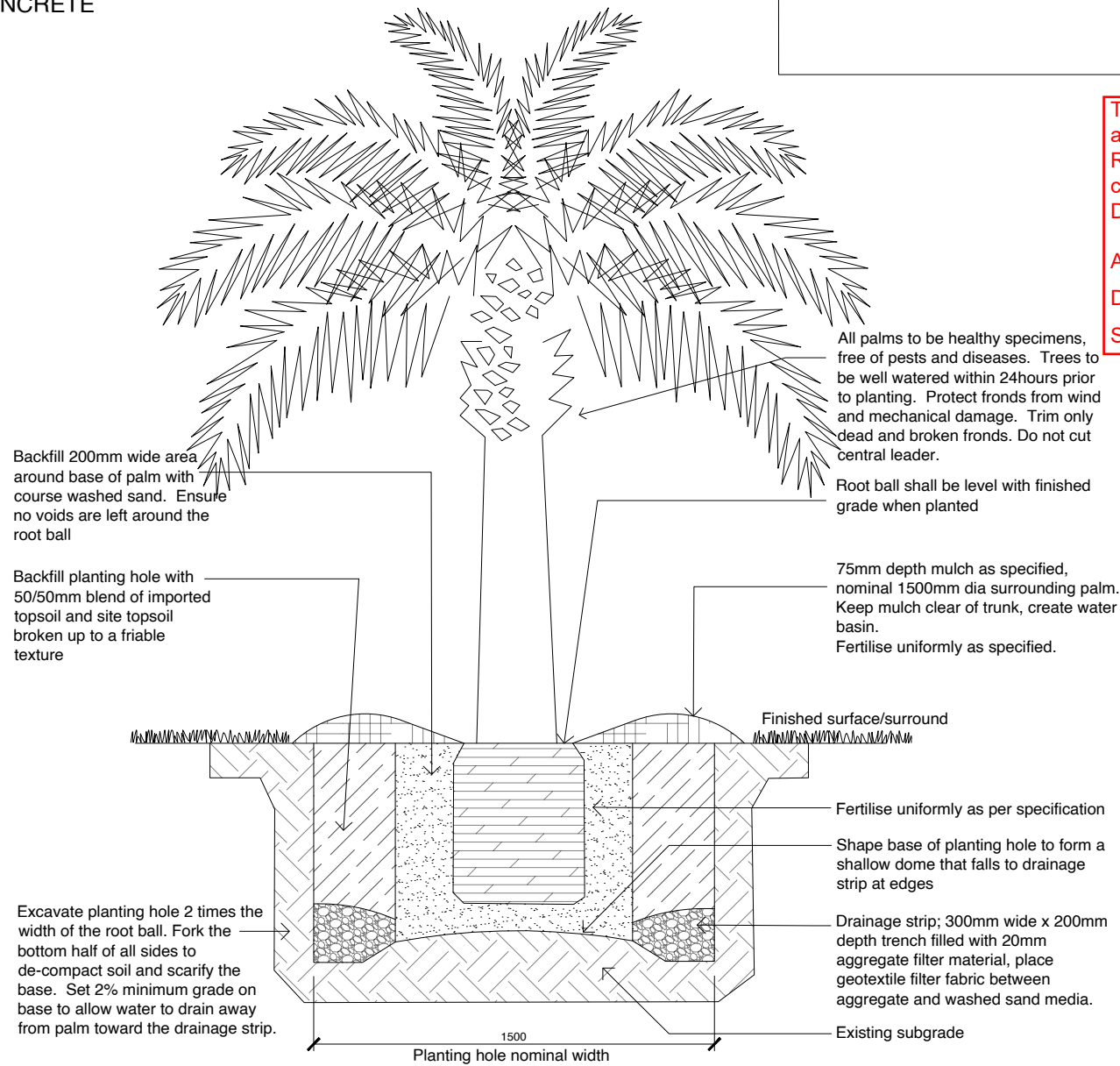
## SHRUBS

CAL GBF	<i>Callistemon 'Great Balls of Fire'</i>	Dwarf Bottlebrush	20	140mm	1m
CAL Sli	<i>Callistemon 'Slim'</i>	Slender Bottlebrush	16	200mm	2.5m
DIA LJ	<i>Dianella 'Little Jess'</i>	Native Flax Lily	102	140mm	0.6m
DIE gra	<i>Dietes grandiflora</i>	Wild Iris	88	140mm	1m
IXO chi	<i>Ixora chinense</i>	Dwarf Gold (or similar)	12	200mm	0.6m
LIR eve	<i>Liriope 'Evergreen Giant'</i>	Turf lily	32	140mm	0.5m
RAP CW	<i>Raphiolepis indica</i>	'Cosmic White'	37	200mm	1.2m
VIB DF	<i>Viburnum 'Dense Fence'</i>	Compact Viburnum	176	200mm	1.2m
WES gre	<i>Westringia fruticosa 'Grey Box'</i>	Dwarf Native Rosemary	12	140mm	0.3m

Plant stock to be sourced locally where possible.

**TURF:** Green couch 'Greenlees Park' or equivalent, suitable for heavy traffic areas & adaptable to a range of soils, drought tolerant once established.

**GARDEN MULCH:** Organic, chipped & aged composted mulch, consisting of leaf & bark; 'Forest Mulch' or approved equivalent



This plan and/or document has been approved by the Charters Towers Regional Council in accordance with the conditions stated within the attached Decision Notice,

App Ref: MC21/81

Date: 15 June 2021

Signed:

15 June 2021

Our Ref: 1456852  
File Ref: 05/APP/02  
Enquiries: Matthew Kelly

Matt Bennetto  
3 Burdekin Street  
**RICHMOND HILL QLD 4820**

Sent via email: [msbennetto@bigpond.com](mailto:msbennetto@bigpond.com)

Dear Matt Bennetto

**Infrastructure Charges Notice**  
(Given under Section 119 of the *Planning Act 2016*)

Reference is made to the decision notice which was issued by Council on 15 June 2021. As a result, Council hereby provides this infrastructure charges notice.

**Applicant details**

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Applicant name: M and B Bennetto

**Location details**

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Street address: 68-70 Mary Street, Charters Towers City QLD 4820  
Real property description: Lot 1 on RP709628

**Application details**

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Application number: MC21/81  
Approval type: Development Permit  
Development type: Material Change of Use  
Category of assessment: Code Assessment  
Description of development: Multiple Dwellings (Four Units)  
Categorising instrument: Charters Towers Regional Town Plan Version 2

**Total levied charge payable**

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The total amount payable is **\$13,621.00**. The levied charge will not be subject to an automatic increase and no offset or refund applies.

Goods and Services Tax (GST) does not apply to payments or contributions made by applicants to Government which relate to an application for the provision, retention, or amendment of a permission, exemption, authority or licence (however described) under the *Planning Act 2016*.



Date: 15 June 2021

Our Ref: 1456852

### Calculation of charge

The levied charge has been calculated against the Infrastructure Charges Resolution (No. 3) 2020 which took effect from 28 October 2020 as follows:

**Table One: Gross Charge**

Charge	Quantity	Rate	Gross Charge Amount
Multiple Dwellings (2 Bedroom or less)	4	\$5,239	\$20,956
		<b>Gross Charge Amount</b>	<b>\$20,956</b>

**Table Two: Applied Credit**

Credit	Quantity	Rate	Gross Credit Amount
Lot	1	\$7,335	\$7,335
		<b>Gross Credit Amount</b>	<b>\$7,335</b>

**Table Three: Total Charge**

Charge	(Minus) Credit	Net Charge Amount
\$20,956	\$7,335	<b>\$13,621</b>

### When the charge is payable

As per Section 122 of the *Planning Act 2016*, the charge is payable for a Reconfiguration of a Lot prior to Council executing a plan of survey whilst for a Material Change of Use at the commencement of the use. Notwithstanding the above, this notice stops having effect to the extent that the development approval stops having effect pursuant to Section 85 of the *Planning Act 2016*.

### Methods of payment

Payments can be made either:

- 1) Over the counter at Council's Administration Officer located at 12 Mosman Street, Charters Towers, or
- 2) Through Council's nominated bank account being Account No. 00000022 and BSB No. 064-805.

The payment must have the reference number as: **ICN MC21/81**.

### Other details

Pursuant to Chapter 6, Part 1 and Schedule 1 of the *Planning Act 2016* a person may appeal against an infrastructure charges notice.

Should you wish to discuss this matter, please contact Lachlan Deon, Graduate Planner on (07) 4761 5300.

Yours faithfully



Matthew Kelly

**Manager Regional Development**

